

**BUREAU OF ENGINEERING
DEPARTMENT OF PUBLIC WORKS
CITY OF LOS ANGELES**

RESEDA SKATING FACILITY

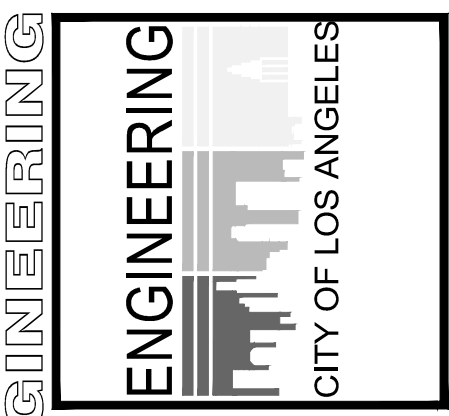
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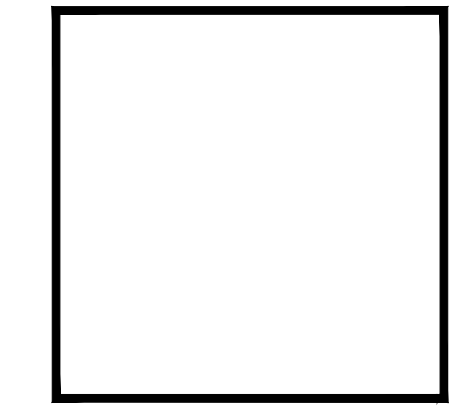
CITY OF LOS ANGELES
DEPARTMENT OF RECREATION AND PARKS
18210

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WORK ACCEPTED	SERIAL NO.
INDEX NO.	STRUCTURE NO.



ACCEPTED BY:	CITY ENGINEER	DATE
GARY LEE MORE, P.E. ENV. SP.		
DEPUTY CITY ENGINEER / PROGRAM MANAGER		
CITY ENGINEER		



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PROJECT MANAGEMENT: BUREAU OF ENGINEERING, ARCHITECTURE DIVISION STEVEN FIERCE PRINCIPAL ARCHITECT REZA BAGHERZADEH, PE DAVID WANG, RA RAY ARAUJO, PE PROJECT MANAGERS	STRUCTURAL ENGINEER: LABIB FUNK & ASSOCIATES FABIO ZANGOLI PRINCIPAL IN CHARGE	CIVIL ENGINEER: VCA ENGINEERING AUTUMN WAGGONER PROJECT MANAGER
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	LANDSCAPE ARCHITECT: HONGJOO KIM LANDSCAPE ARCHITECTS HONGJOO KIM PRINCIPAL	COST ETIMATOR: LELAND SAYLOR ASSOCIATES JEFF SAYLOR PRINCIPAL
		LEED/ COMMISSIONING: ARGENTO/ GRAHAM ANNIE ARGENTO PRINCIPAL
		CONTRACTIBILITY REVIEW: MARRS SERVICES, INC



BROOKS+SCARPA ARCHITECTS INC.
3929 W. 139TH STREET
HAWTHORNE, CA 90250
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VERTICAL CONTROL: (SAMPLE) 24-038715, 18-045830, NG3/023, 1885 AD	COVER SHEET
HORIZONTAL CONTROL: (SAMPLE) NAD83, EPOCH 1991.5	PROJECT: RESEDA SKATE FACILITY
SHEET TITLE:	ADDRESS: 18210 SHERMAN WAY RESEDA, CA 91335
WORK ORDER NO. E170121B	
DRAWING NO. A0.00	
SHEET - OF - SHEETS	

BUREAU OF ENGINEERING
DEPARTMENT OF PUBLIC WORKS
CITY OF LOS ANGELES

PROJECT DESCRIPTION & DATA

THE PROJECT WILL CONSIST OF AN ICE HOCKEY/ICE SKATING BUILDING AND A ROLLER SKATE PARK, LOCATED AT 18210 SHERMAN WAY (APN: 2125036902, APN: 2125036903) RESEDA, CA 91335. THE TWO LOTS AT 18210 SHERMAN WAY ARE UNCONNECTED AND SEPARATED BY A 20' WIDE PUBLIC ALLEY.

THE ICE RINK BUILDING, LOCATED AT THE SOUTH LOT, INCLUDES AN 85'X200' REGULATION SIZE ICE SURFACE, WITH ICE ROOM, DASHER BOARDS AND GLASS PLACED ON TOP OF THE DASHER BOARDS, MECHANICAL & ELECTRICAL ROOM, ICE RESURFACING ROOM, 4 LOCKER ROOMS, ADA COMPLIANT RESTROOMS, OFFICE SPACE, SKATE RENTAL AREA, PRO SHOP AND SKATE SHOP. THE ICE RINK PROGRAM WILL BE DEVELOPED UNDER A SINGLE STORY MEMBRANE STRUCTURE AND A CMU STRUCTURE.

THE NORTH LOT WILL INCLUDE AN OUTDOOR SKATE PARK, LANDSCAPE AREA, FIRE LANE, 2 PARKING SPACES AND A ZONE FOR ELECTRICAL EQUIPMENT TO SERVE THE ICE RINK BUILDING. THIS LOT WILL BE FENCED ALL AROUND WITH GATES ON THE NORTH AND SOUTH SIDE TO ALLOW ACCESS TO FIRE DEPT. VISITORS AND USERS OF THE ICE RINK BUILDING WILL BE COMING IN FROM SHERMAN WAY VIA THE NORTH LOT.

THE TWO LOTS AT 18210 SHERMAN WAY, ARE DESIGNATED AS Q: C2-1L-CDO AND Q: P-1L-CDO. HOWEVER THEY HAVE BEEN ACQUIRED BY THE DEPARTMENT OF RECREATION AND PARKS, CITY OF LA AND WILL BE RE-ZONED AND RE-DESIGNATED TO OPEN SPACE (SEE A0.31)

THE PROJECT IS LOCATED IN COUNCIL DISTRICT 3, BOB BLUMENFIELD

THE PROJECT IS FUNDED BY PROPOSITION K- L.A. FOR KIDS PROGRAM BALLOT MEASURE AND OTHER SOURCES.

THE ICE RINK BUILDING IS APPROXIMATELY 28,235 GROSS SF AND WILL BE 'NFPA 13' FULLY AUTOMATIC SPRINKLERED.

SUSTAINABILITY: THE PROJECT SHALL OBTAIN LEED SILVER RATING MINIMUM FROM THE USGBC.

SEE SHEET A0.30 FOR CODE ANALYSIS AND MORE INFORMATION.

SITE IS NOT IN A 'METHANE ZONE.'

NOTES:

- DEFERRED SUBMITTALS ARE LISTED ON SHT. A0.30. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, ENGINEERING AND PERMITTING OF ALL DEFERRED SUBMITTALS. PROVIDE ARCHITECT WITH A MIN. 3 WEEKS REVIEW TIME PRIOR TO SUBMITTING FOR PLAN CHECK.
- THE CITY OF LA IS IN THE PROCESS OF ACQUIRING A 25'-0" X 265'-0" PIECE OF LAND TO EXPAND THE SOUTH LOT ON THE WEST. THE LAND ACQUISITION IS NOT YET COMPLETED AND NOT REFLECTED ON SURVEY HEREIN, BUT IT IS TAKEN INTO CONSIDERATION FOR THE PROPOSED ICE RINK DESIGN.
- THE ICE RINK SITE IS VERY TIGHT THEREFORE CONTRACTOR'S MAXIMUM TOLERANCE AT CMU WALL ALONG GRID LINE 'A' SHALL BE NO GREATER THAN 1/2". CONTRACTOR SHALL MAINTAIN A STRAIGHT AND TRUE VERTICAL PLUMB WALL AT GRID LINE I.1 SEE A1.10.
- THE WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS, IS TO BE PERFORMED BY TWO PRIME CONTRACTORS AS DESCRIBED BELOW:
 - SHELL & CORE (S&C) SCOPE TO INCLUDE BUILDING AND LIFE SAFETY, MEP, HEATING AND VENTILATION SYSTEMS AND INFRASTRUCTURE AS WELL AS DISABLED ACCESS COMPLIANCE. S&C SCOPE ALSO INCLUDES SITE WORK, GRADING AND EXCAVATION, UTILITIES, LANDSCAPE AND HARDSCAPE, STRUCTURAL WORK, ALL PLUMBING FIXTURES, BATHROOM ACCESSORIES AND LIGHTING AS NOTED.
 - FACILITY FURNISHING AND EQUIPMENT (FF&E) SCOPE SHALL INCLUDE ALL RELATED ICE EQUIPMENT, ICE RINK FLOOR AND RELATED SUB FLOOR ICE RINK PIPING, DEHUMIDIFIER EQUIPMENT, SCOREBOARD AND SOUND SYSTEMS, SPECIALTY LIGHTING, NETTING, ALL BUILDING FURNISHING INCLUDING: BENCHES, BLEACHERS, SCOREBOARD, SKATE RACKS, DESKS, SKATE SHARPENER, VENDING MACHINES.
- S&C ARCHAL DRAWINGS INCLUDE BOTH S&C AND FF&E ITEMS FOR PURPOSES OF COORDINATION. S&C CONTRACTOR SHALL ENSURE PROPER COORDINATION OF THE INFRASTRUCTURE NECESSARY TO COMPLETE ALL FF&E WORK.
- FF&E ITEMS ARE NOTED AS 'NIC' ON THE ARCHAL DRAWINGS. FF&E (NIC) SCOPE OF WORK WILL BE UNDER A SEPARATE CONTRACT AND WILL BE PERFORMED BY A SEPARATE (FF&E) CONTRACTOR.
- S&C AND FF&E CONTRACTORS SHALL COORDINATE WITH EACH OTHER AS REQUIRED FOR COMPLETION OF TURNKEY BUILDING SYSTEMS AND FURNISHING.
- S&C AND FF&E CONTRACTORS SHALL PREPARE AND SUBMIT COORDINATION PLANS TO THE CITY & ARCHITECT PRIOR TO PERFORMING ANY WORK.
- FF&E CONTRACTOR SHALL PROVIDE EQUIPMENT SPECIFIED OR EQUIVALENT.
- SEE EACH DISCIPLINE'S DRAWINGS FOR FURTHER NOTES AND CLARIFICATION ON THE SCOPE OF WORK.
- PER TOS No 57, THE PROJECT ORIGINALLY INCLUDED TWO MORE LOTS AT 18132 SHERMAN WAY RESEDA CA 91335, TO BE USED AS ON-GRADE PARKING LOTS. DUE TO LIMITED BUDGET THE CITY OF LA HAS DECIDED TO MINIMIZE THE WORK ONLY ON THE (E) SOUTH LOT TO INCLUDE THE FOLLOWING : REMOVAL OF ALL WEEDS, PATCH, SLURRY AND RE-STRIPING OF THE (E) ASPHALT LOT. THIS WORK SHALL BE PERFORMED BY THE S&C CONTRACTOR.

ABBREVIATIONS

ABV ABOVE	EXT EXTERIOR	MIN MINIMUM	SIM SIMILAR
ABS ABSOLUTE	F FIXED	MOD MODULE	SP STAND PIPE
ACC ACCESSIBLE	FE FIRE EXTINGUISHER	MTD MOUNTED	SPECS SPECIFICATIONS
ADJ ADJACENT	FF FINISHED FLOOR	MTL METAL	S.S. STAINLESS STEEL
AFF ABOVE FINISH FLOOR	FF&E FACILITY FURNISHING & EQUIPMENT	N/A NOT APPLICABLE	STL STEEL
ALUM ALUMINUM	FH FIRE HYDRANT	NIC NOT IN (SHELL & CORE) CONTRACT	STOR STORAGE
@ AT	FIN FINISH	NO NUMBER	STRUC T STRUCTURE
BLDG BUILDING	FLR FLOOR	N NORTH	STRUC TL STRUCTURAL
BLKG BLOCKING	FLRG FLOORING	(N) NEW	SUSP SUSPENDED
BM BEAM	FLUOR FLUORESCENT	NR NON RATED	
B.O. BOTTOM OF	F.O.PLY FACE OF PLYWOOD	OAE OR APPROVED EQUAL	TEMP TEMPERED
BTWN BETWEEN	F.O.C. FACE OF CONCRETE	OC ON CENTER	THK THICK
BUR BUILT UP ROOF	F.O.F. FACE OF FINISH	OFCI OWNER FURNISHED/CONTRACTOR INSTALL	THRU THROUGH
CEM CEMENT	F.O.S. FACE OF STUD	OPPP OPPOSITE	T.O. TOP OF
CFCI CONTRACTOR FURNISHED / INSTALLED	FRMG FRAMING	OPR OPERABLE	T.O.S TOP OF SLAB
CJ CONTROL JOINT	FSR FLAME SPREAD RATING		TYP TYPICAL
CL CENTER LINE	FURR FURRING	OPER OPERABLE	UFAS UNIFORM ACCESSIBILITY STANDARDS
CLNG CEILING	GA GAUGE	PIC POURED-IN-PLACE CONCRETE	UNO UNLESS NOTED OTHERWISE
CLR CLEAR	GALV GALVANIZED	PL PROPERTY LINE	URNL URINAL
CMU CONCRETE MASONRY UNIT	GEO GEOTECHNICAL	PLAS PLASTER	
COL COLUMN	GI GALVANIZED IRON	PLAS LAM PLASTIC LAMINATE	VER VERIFY
CONC CONCRETE	GLAZ GLAZING	PLY PLYWOOD	VIF VERIFY IN FIELD
CONST CONSTRUCTION	GYP-BD GYPSUM BOARD	PN PLAN NORTH	VNR VENEER
CONTS CONTINUOUS	HB HOSE BIBB	PNL PANEL	W WITH
CT CERAMIC TILE	HC HOLLOW CORE	POT PATH OF TRAVEL	WD WASHER / DRYER
D/B DESIGN BUILD	HM HOLLOW METAL	PP POWER POLE	WO WITHOUT
DBL DOUBLE	HR HOUR	PR PAIR	WD WOOD
D.G. DECOMPOSED GRANITE	HT HEIGHT	PT POINT	WND WINDOW
DIA DIAMETER	HW HOT WATER	PTD PAINTED	WM WATER METER
DIM DIMENSION		RAD RADIUS	WP WATERPROOFING
DN DOWN	INSUL INSULATION / INSULATED	REF REFER TO	WR WATER RESISTANT
DR DOOR	INT INTERIOR	REFR REFRIGERATOR	
DS DOWNSPOUT	JAN JANITOR	RES RESISTANT	
DETL DETAIL	JT JOINT	RESIL RESILIENT	
DWGS DRAWINGS	KIT KITCHEN	REQD REQUIRED	
DHW DOMESTIC HOT WATER	LAV LAVATORY	RF ROOF	
(E) EXISTING	LDSC LANDSCAPE	RFNG ROOFING	
EA EACH	LV LOW VOLTAGE	RM ROOM	
EJ EXPANSION JOINT	LOC LOCATION	RO ROUGH OPENING	
EL (ELEV.) ELEVATION	MAX MAXIMUM	S&C SHELL & CORE	
ELEC ELECTRICAL	MECH MECHANICAL	SCHED SCHEDULE	
ENL ENLARGED	MEMB MEMBRANE	SCRN SCREEN	
EQ EQUAL / EQUAL TO	MDF MEDIUM DENSITY FIBERBOARD	SCW SOLID CORE WOOD	
EQMT EQUIPMENT	MANUF MANUFACTURER	SD STORM DRAIN	
EVCS ELECTRIC VEHICLE CHARGING STATION		SECT SECTION	
EXP EXPANSION		SHT SHEET	
		SHWR SHOWER	

SYMBOLS

	GRID		ROOM NAME & NUMBER
	ELEVATION MARKER		DOOR NUMBER
	ELEVATION BULLET		WINDOW NUMBER
	SECTION MARKER		SMOKE DETECTOR
	WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION MARKER		CEILING MOUNTED EXIT SIGNAGE
	DETAIL MARKER		WALL MOUNTED EXIT SIGNAGE
	NORTH ARROW (PLAN NORTH)		WALL MOUNTED MOTION SENSOR
	REVISION DELTA		CEILING MOUNTED MOTION SENSOR
	DEMOLITION NOTE MARKER		SECURITY CAMERA
	KEYNOTE MARKER		SECURITY GATED INTERCOM
	TUB/SHOWER		SECURITY GATE ALARM KEYPAD
	FLOOR CLEARANCES SHOWN DOTTED		ALARMED DOOR/ SECURITY GATE
			FLOOR DRAIN (FD)
			AREA DRAIN
			PLANTER DRAIN
			EGRESS ROUTE SEE SHT. A0.41
			ACCESSIBLE PATH OF TRAVEL SEE SHT. A0.50
			BATH ACCESSORY SCHEDULE MARKER
			MECHANICAL CEILING GRILLE, SEE MECH. DWGS.
			ROLL-IN SHOWER
			HOSE BIBB

PLAN LEGEND

	1-HR RATED CMU WALL
	CMU WALL, FIN. PER SPECS. SEE PLANS AND DETAILS FOR MORE INFO.
	MEMBRANE STRUCTURE
	NON-RATED STUD WALL, PAINT PER SPECS. SEE PLANS AND DETAILS FOR MORE INFO.
	1-HR RATED STUD WALL, PAINT PER SPECS. SEE PLANS AND DETAILS FOR MORE INFO.
	PLANTED AREA

SHEET INDEX

ARCHITECTURAL		CIVIL	
Sheet Number	Sheet Title	SHEET No.	SHEET TITLE
A0.00	COVER SHEET	C100	GENERAL NOTES
A0.01A	SHEET INDEX, PROJECT DESCR. & SYMBOLS	C101	GENERAL NOTES
A0.01B	SHEET INDEX	CD100	DEMOLITION PLAN
A0.02	3D VIEWS	C200	SITE CONTROL PLAN
SRVI	SURVEY	C300	GRADING PLAN
SRVII	SURVEY	C301	GRADING SECTION
SRVIII	SURVEY	C302	GRADING SECTION
A0.09	LOT LINE ADJUSTMENT	C303	OVER EXCAVATION PLAN
A0.10	GENERAL NOTES	C400	UTILITY PLAN
A0.11	GENERAL NOTES	C401	STORMDRAIN PROFILES
A0.12	GREEN BUILDING FORMS	C402	LID PLAN
A0.13	GREEN BUILDING FORMS	C500	MISC. DETAILS
A0.14	GREEN BUILDING FORMS	C501	MISC. DETAILS
A0.15	GREEN BUILDING NOTES	C502	MISC. DETAILS
A0.16	GREEN BUILDING NOTES	C503	SUMP PUMP DETAIL & SOILS APPROVAL LETTER
A0.17	GREEN BUILDING NOTES	C504	SUMP PUMP 2 DETAIL
A0.20	ACCESSIBILITY NOTES	C600	EROSION CONTROL PLAN
A0.21	ACCESSIBILITY NOTES	C601	EROSION CONTROL DETAILS
A0.22	ACCESSIBILITY NOTES		STRUCTURAL
A0.23	ACCESSIBILITY DETAILS	S0.01	GENERAL NOTES
A0.24	ACCESSIBILITY DETAILS	S0.02	GENERAL NOTES
A0.25	ACCESSIBILITY DETAILS	S1.01	TYPICAL DETAILS
A0.26	ACCESSIBILITY DETAILS	S1.02	TYPICAL DETAILS
A0.27	ACCESSIBILITY DETAILS	S1.03	TYPICAL DETAILS
A0.28	PLAN CHECK NOTES	S1.11	TYPICAL DETAILS
A0.30	CODE ANALYSIS & PLOT PLAN	S1.12	TYPICAL DETAILS
A0.31	LETTER FROM PLANNING & RAP	S1.21	TYPICAL DETAILS
A0.32	CEQA_NOE	S1.22	TYPICAL DETAILS
A0.33	CEQA_NOE	S1.31	TYPICAL DETAILS
A0.34	ENVIRONM. DESIGN RECOMMENDATION	S1.32	TYPICAL DETAILS
A0.35	SOILS REPORT APPROVAL LETTER	S1.41	TYPICAL DETAILS
A0.36	MODIFICATION	S1.51	STANDARD QUALITY ASSURANCE PLAN
A0.40	OCCUPANCY DIAGRAM	S1.52	STANDARD QUALITY ASSURANCE PLAN
A0.41	EGRESS EXITING DIAGRAM & FIRE LANE	S1.53	STANDARD QUALITY ASSURANCE PLAN
A0.42	FIRE RATED WALL & EXIT ACCESS TRAVEL	S2.01	FIRST FLOOR FOUNDATION PLAN
A0.43	ALLOWABLE OPENINGS	S2.02	MEMBRANE ROOF FRAMING PLAN
A0.50	ACCESSIBLE PATH OF TRAVEL	S3.01	MEMBRANE FRAMING ELEVATIONS
A0.90	(E) SITE PHOTOS	S4.01	SECTION & DETAILS
A1.00	SITE PLAN	S4.02	SECTION & DETAILS
A1.01	SITE LIGHTING PLAN	S4.03	SECTION & DETAILS
A1.10	FLOOR PLAN	S4.04	SECTION & DETAILS
A1.10A	SLAB PLAN	S4.05	SECTION & DETAILS
A1.11	FINISH FLOOR PLAN		LANDSCAPE
A1.12	REFLECTED CEILING PLAN	L0.00	COVER SHEET
A1.13	SPECIALTY LIGHTING & EQUIPMENT RCP (FF&E)	L0.01	CONSTRUCTION SCHEDULE AND NOTES
A1.20	ROOF PLAN	L1.00	LANDSCAPE OVERALL PLAN
A2.00	ELEVATIONS	L1.01	LANDSCAPE ENLARGEMENT PLAN
A2.01	ELEVATIONS	L1.02	LANDSCAPE DIMENSION PLAN
A3.00	SECTIONS	L1.10	LANDSCAPE SECTIONS & ELEVATIONS
A3.01	SECTIONS	L1.20	LANDSCAPE DETAILS
A3.02	SECTIONS	L1.21	LANDSCAPE DETAILS
A3.10	ENLARGED SECTIONS	L2.01	LANDSCAPE HYDROZONE PLAN
A3.11	ENLARGED SECTIONS	L3.00	IRRIGATION NOTES
A3.12	ENLARGED SECTIONS	L3.01	IRRIGATION PLAN
A3.13	ENLARGED SECTIONS	L3.10	IRRIGATION DETAILS
A4.00	ENLARGED PLAN	L3.11	IRRIGATION DETAILS
A4.01	ENLARGED RCP	L4.00	PLANTING SCHEDULE & NOTES
A4.10	ENLARGED PLAN	L4.01	LANDSCAPE PLANTING PLAN
A4.11	ENLARGED RCP	L4.20	LANDSCAPE PLANTING DETAILS
A4.20	ENLARGED PLAN		
A4.21	ENLARGED RCP		
A4.30	ENLARGED PLAN		
A4.31	ENLARGED RCP		
A4.40	ENLARGED PLANS		
A4.41	ENLARGED RCP		
A4.50	ENLARGED PLAN		
A5.00	METAL STUD DETAILS		
A5.01	METAL STUD DETAILS		
A6.00	DOOR & WINDOW SCHEDULE		
A6.01	DOOR TYPES		
A6.02	WINDOW TYPES		
A6.10	GATEWAY DETAILS		
A6.11	GATEWAY DETAILS		
A6.12	GATEWAY DETAILS		
A6.13	GATEWAY DETAILS		
A6.14	GATEWAY DETAILS		
A6.20	DOOR DETAILS		
A7.00	SCHEDULES (SHELL & CORE)		
A7.00A	SCHEDULES (FF&E)		
A7.01	FINISH DETAILS		
A7.10	INTERIOR ELEVATIONS		
A7.11	INTERIOR ELEVATIONS		
A7.12	INTERIOR ELEVATIONS		
A7.13	INTERIOR ELEVATIONS		
A7.14	INTERIOR ELEVATIONS		

SHEET INDEX CONTINUES ON A0.01B

ENGINEERING

CITY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

DATE: _____ BY: _____

REVISIONS: _____

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: **A0.01A**

SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)

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SHEET INDEX CON'T

ELECTRICAL	
E-01	ABBREVIATIONS & GENERAL NOTES
E-02	LEGEND
E-03	ELECTRICAL SITE PLAN
E-04	FIRST FLOOR POWER PLAN
E-05	FIRE ALARM/ LOW VOLTAGE
E-05.1	SPECIALTY LIGHTING & EQUIPMENT (FF&E)
E-06	ELECTRICAL ROOF PLAN
E-07	ELECTRICAL SINGLE LINE DIAGRAM
E-08	ELECTRICAL SINGLE LINE DIAGRAM
E-09	ELECTRICAL SINGLE LINE DIAGRAM
E-10	ELECTRICAL PANEL SCHEDULES
E-11	ELECTRICAL PANEL SCHEDULES
E-12	ELECTRICAL PANEL SCHEDULES
E-13	ELECTRICAL PANEL SCHEDULES
E-14	MAIN SWITCHBOARD
DWP	LADWP PLAN FOR REFERENCE
MECHANICAL	
EL-01	INDOOR LIGHTING PLAN
EL-02	INDOOR FOOT CANDLE CALCS.
EL-03	INDOOR EGRESS FOOT CANDLE CALCS.
EL-04	OUTDOOR LIGHTING PLAN
EL-05	OUTDOOR PHOTOMETRIC PLAN
EL-06	OUTDOOR PHOTOMETRIC PLAN
EL-07	ROOF MOUNTING DETAILS
EL-08	TITLE 24 FORMS
EL-09	TITLE 24 FORMS
EL-10	TITLE 24 FORMS
EL-11	LIGHTING CATALOGUE CUTS
EL-12	LIGHTING CATALOGUE CUTS
EL-13	LIGHTING CATALOGUE CUTS
EL-14	LIGHTING CATALOGUE CUTS
EL-15	LIGHTING CATALOGUE CUTS
EL-16	LIGHTING CATALOGUE CUTS
PLUMBING	
P-01	GENERAL NOTES & ABBREVIATION
P-02	FIRST FLOOR PLUMBING PLAN
P-03	FIRST FLOOR PLUMBING PLAN
P-04	PLUMBING ROOF PLAN
P-05	PLUMBING FIXTURE SCHEDULE
P-06	PIPE SUPPORT DETAILS
P-07	PIPING DETAIL
P-08	WATER SUPPLY DIAGRAM
P-09	WASTE & VENT DIAGRAM
P-10	WATER SUPPLY FIXTURE COUNT
P-11	WASTE & VENT FIXTURE COUNT
REFRIGERANT	
R0.01	RINK COVER SHEET
R1.01	RINK LAYOUT
R1.02	RINK EQUIPMENT ROOM
R1.03	RINK ROOF-TOP CONDENSOR
R1.04	RINK SUBSOIL DRAINAGE PLAN
R1.05	RINK SUBSOIL & SNOWMELT HEATING PLAN
R5.01	RINK DETAILS
R5.02	RINK DETAILS
R5.03	RINK DETAILS
R5.04	RINK DETAILS
R6.01	RINK DETAILS
R6.02	RINK DETAILS
R6.03	RINK DETAILS
FIRE PROTECTION	
FP-01	GENERAL NOTES & SINGLE LINE DIAGRAM
FP-02	FIRE PROTECTION ZONE PLAN
FP-03	BUILDING SECTIONS
FP-04	FIRE SAFETY & SECURITY PLAN



BUREAU OF ENGINEERING

VERTICAL CONTROL: _____

HORIZONTAL CONTROL: _____

SHEET TITLE: SHEET INDEX

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

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INDEX NO. _____

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CITY OF LOS ANGELES

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP

DESIGN GROUP: _____

ENGINEER: _____

DESIGNED BY: _____

DRAWN BY: _____

CHECKED BY: _____

APPROVED BY: _____

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06



03



05



02



04



01

NOTE: SEE SHT. A1.00 FOR ALL LOCATIONS OF THESE 3D MODEL IMAGES. THESE IMAGES ARE FOR CLARIFYING PURPOSES ONLY. CONTRACTOR SHALL REFER TO A2.00 & A2.01 AND OTHER SHEETS FOR TECHNICAL INFORMATION.

ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

LICENSED ARCHITECT
LAWRENCE SORRA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE: 3D VIEWS
PROJECT: REVEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, REVEDA CA 91335

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DRAWN BY:
CHECKED BY:
APPROVED BY:

CITY ENGINEER: []
DATE: []
DESIGN GROUP:

WORK ORDER NO.
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SHEET NAME
A0.02
SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

WYANDOTTE ST.

CP 2
FD S&W LACS
FB 186-125 PG 187

AVE.

CANBY

ETIWANDA AVE.

CP 1
FD S&W LACS
FB 183-125 PG 142

ETIWANDA AVE.

CP 3
FD SSDM PER
F.B. 183-125 PG 138

LINDLEY AVE.

SEE SHEET 2

MATCHLINE

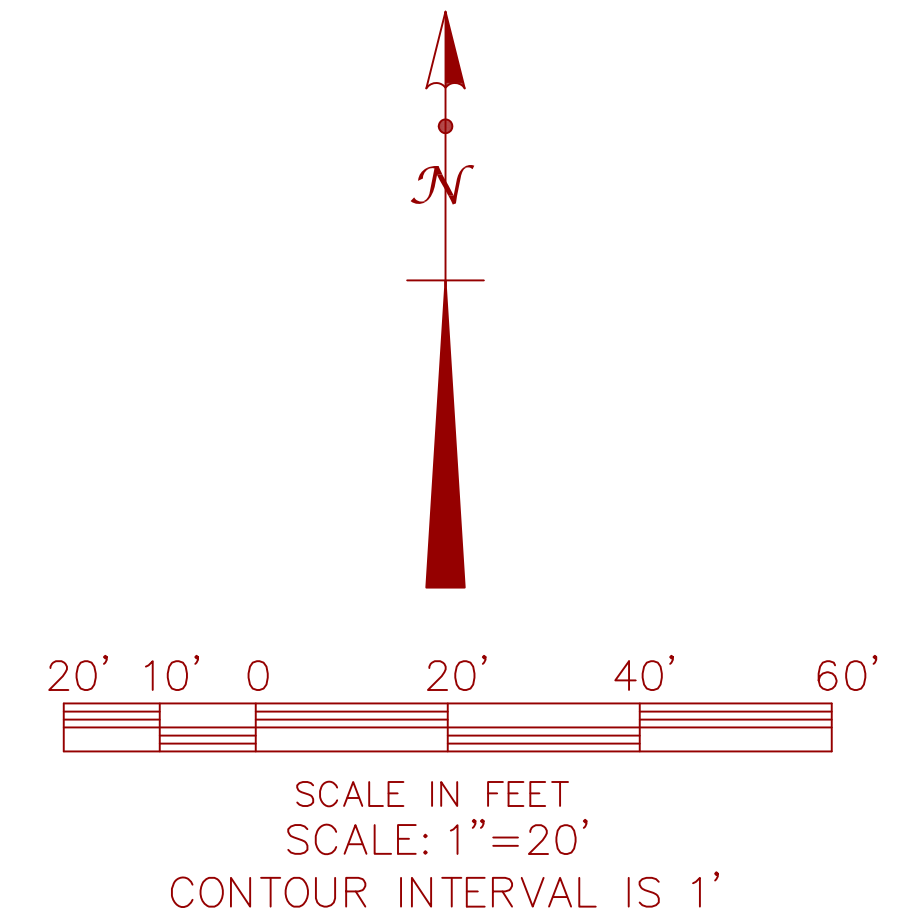
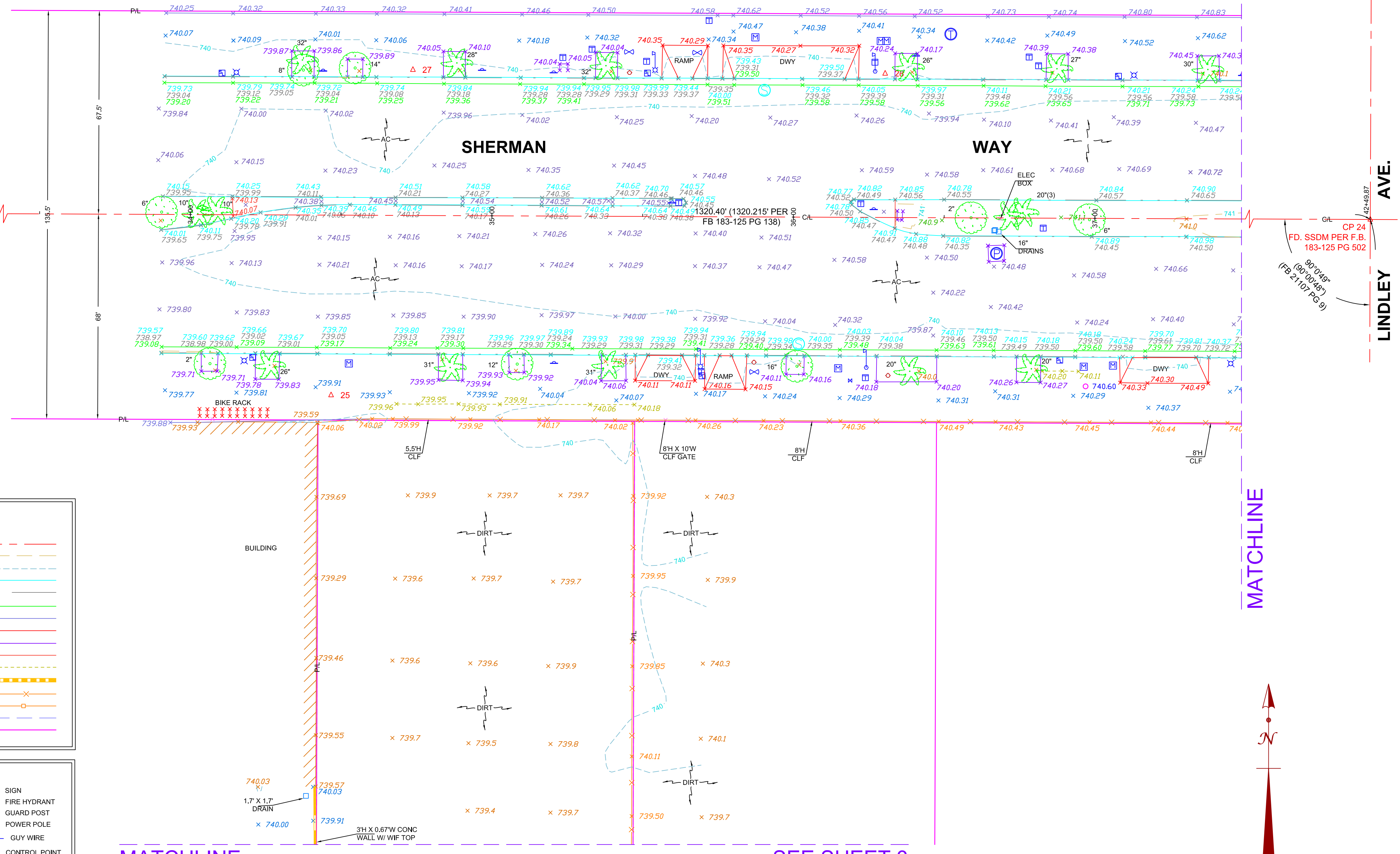
SEE SHEET 3

LEGEND ABBREVIATIONS	
AC	ASPHALT CONCRETE
AVE	AVENUE
BLDG	BUILDING
BLVD	BOULEVARD
BO	BAD ORDER
CL	CONTROL LINE
CD	CURB DRAIN
CEFB	CITY ENGINEER FIELD BOOK
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CP	CONTROL POINT
DT	DIRT
DR	DRIVE
DWY	DRIVE WAY
ELEC	ELECTRIC
FB	FIELD BOOK
FD	FOUND
H	HEIGHT
LACS	LOS ANGELES CITY SURVEYOR
MEA	MEASURE
PL	PROPERTY LINE
PA	PLANTER AREA
PG	PAGE
REF	REFERENCE
S&W	SPIKE AND WASHER
SSDM	STANDARD SURVEY DISK MONUMENT
ST	STREET
TR	TRACT
VAR	VARIES
W	WIDTH
WDF	WOOD FENCE
WIF	WROUGHT IRON FENCE
WT	WALL TOP
#	NUMBER
Ø	DIAMETER

LEGEND LINE TYPE	
	STREET CONTROL LINE
	CONTOUR LINE
	CONTOUR INDEX LINE
	CURB
	FLOW LINE
	CONCRETE GUTTER
	SIDE WALK
	DRIVEWAYS
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	GRADE CHANGE
	WALL
	CHAIN LINK FENCE
	WROUGHT IRON FENCE
	PIPE
	PROPERTY LINE

SYMBOL LEGEND	
	SEWER MAINTENANCE HOLE
	POWER MAINTENANCE HOLE
	TELEPHONE MAINTENANCE HOLE
	TRAFFIC SIGNAL PULLBOX
	STREET LIGHT PULLBOX
	ELECTRIC PULLBOX
	IRRIGATION CONTROL BOX
	WATER METER
	GAS VALVE
	WATER VALVE
	SURFACE DRAIN
	LIGHT STANDARD
	LIGHT & TRAFFIC STANDARD
	SIGN
	FIRE HYDRANT
	GUARD POST
	POWER POLE
	GUY WIRE
	CONTROL POINT
	TREE
	PALM TREE
	SHRUB

NOTES:
STREET RIGHT OF WAY
STREET RIGHT OF WAYS ON THIS MAP WERE LOCATED BY FIELD SURVEY BY RETRACEMENT OF CITY ENGINEER FIELD BOOKS AS REFERENCED HEREON.



ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DATE BY: _____
INDEX NO. 35995

GARY LEE MOORE, P.E. CITY ENGINEER
SURVEY DIVISION

DATE: 12/23/2019
FIELD SURVEYOR: THOMAS ABRAHAMIAN
DRAWN BY: VINCENT RADCLIFFE
CHECKED BY: THOMAS ABRAHAMIAN
APPROVED BY: _____

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

SHEET TITLE: SITE SURVEY
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18160 W SHERMAN WAY

WORK ORDER NO. E170121B
DRAWING NO. _____

SRVI

SHEET 1 OF 3 SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

WYANDOTTE ST.
 CP 2
 FD S&W LACS
 FB 186-125 PG 187

CANBY AVE.
 BASIS OF BEARINGS
 N 01°13'25"E
 664.04' (664.02' PER FB 21104 PG 21)

CP 1
 FD S&W LACS
 FB 183-125 PG 142

ETIWANDA AVE.
 CP 3
 FD SSDM PER
 F.B. 183-125 PG 138

SEE SHEET 1

MATCHLINE

MATCHLINE

SEE SHEET 3

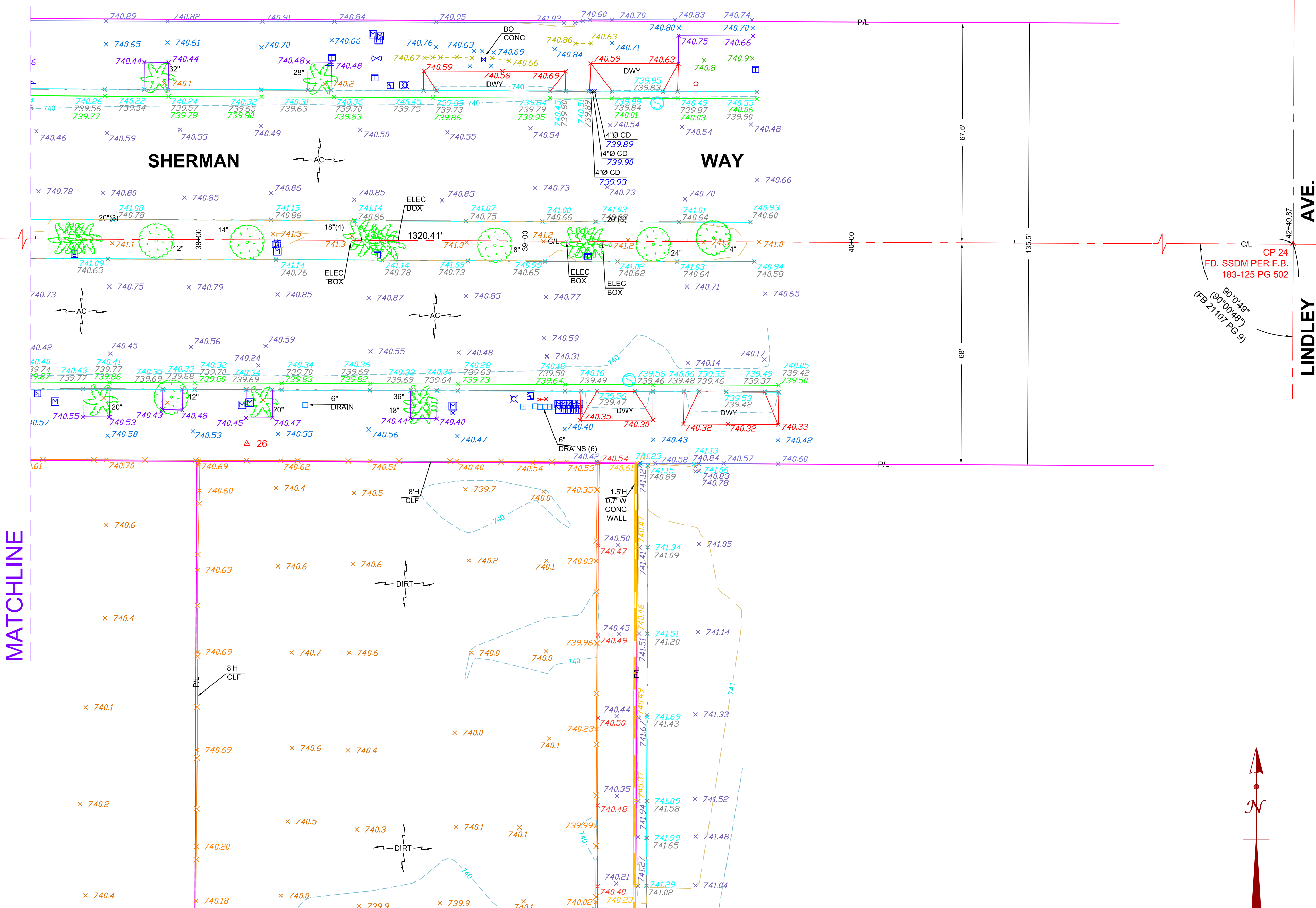
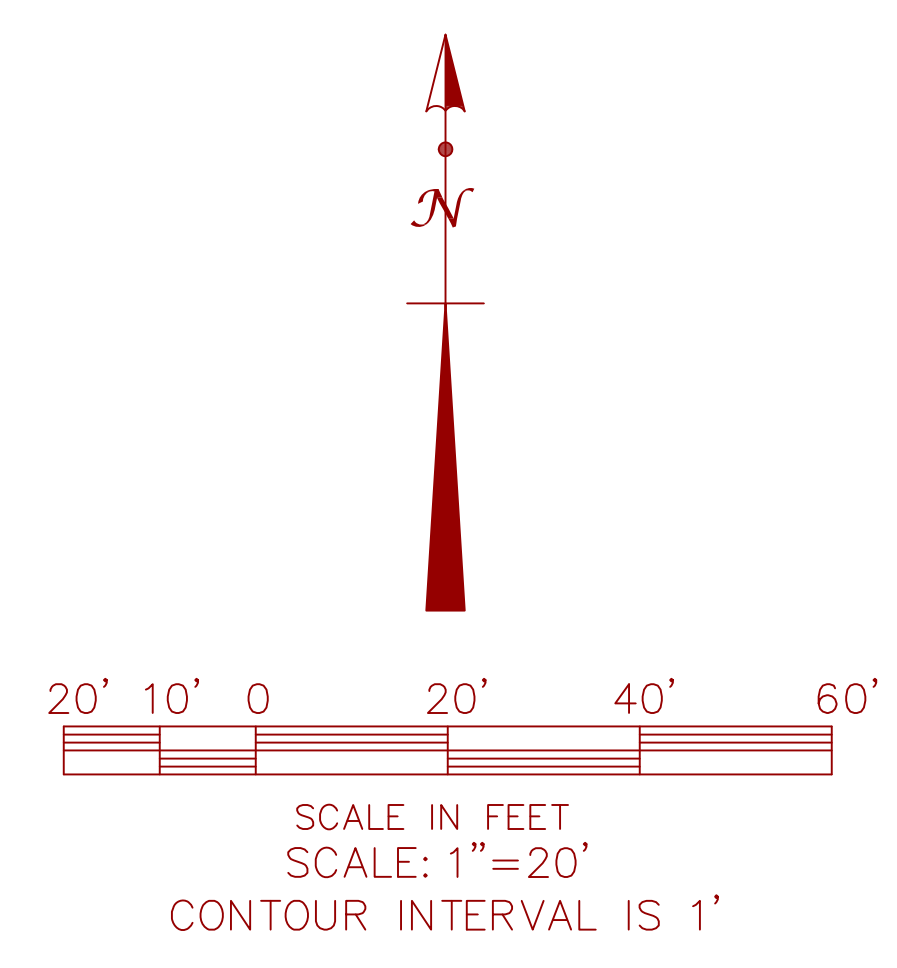
LINDLEY AVE.
 CP 24
 FD SSDM PER F.B.
 183-125 PG 602

LEGEND ABBREVIATIONS	
AC	ASPHALT CONCRETE
AVE	AVENUE
BLDG	BUILDING
BLVD	BOULEVARD
BO	BAD ORDER
CL	CONTROL LINE
CD	CURB DRAIN
CEFB	CITY ENGINEER FIELD BOOK
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CP	CONTROL POINT
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DR	DRIVE
DWY	DRIVE WAY
ELEC	ELECTRIC
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H	HEIGHT
LACS	LOS ANGELES CITY SURVEYOR
MEA	MEASURE
PL	PROPERTY LINE
PA	PLANTER AREA
PG	PAGE
REF	REFERENCE
S&W	SPIKE AND WASHER
SSDM	STANDARD SURVEY DISK MONUMENT
ST	STREET
TR	TRACT
VAR	VARIES
W	WIDTH
WDF	WOOD FENCE
WIF	WROUGHT IRON FENCE
WT	WALL TOP
#	NUMBER
Ø	DIAMETER

LEGEND LINE TYPE	
	STREET CONTROL LINE
	CONTOUR LINE
	CONTOUR INDEX LINE
	CURB
	FLOW LINE
	CONCRETE GUTTER
	SIDE WALK
	DRIVEWAYS
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	GRADE CHANGE
	WALL
	CHAIN LINK FENCE
	WROUGHT IRON FENCE
	PIPE
	PROPERTY LINE

SYMBOL LEGEND	
	SEWER MAINTENANCE HOLE
	POWER MAINTENANCE HOLE
	TELEPHONE MAINTENANCE HOLE
	TRAFFIC SIGNAL PULLBOX
	STREET LIGHT PULLBOX
	ELECTRIC PULLBOX
	IRRIGATION CONTROL BOX
	WATER METER
	GAS VALVE
	WATER VALVE
	SURFACE DRAIN
	LIGHT STANDARD
	TRAFFIC STANDARD
	LIGHT & TRAFFIC STANDARD
	SIGN
	FIRE HYDRANT
	GUARD POST
	POWER POLE
	GUY WIRE
	CONTROL POINT
	TREE
	PALM TREE
	SHRUB

NOTES:
 STREET RIGHT OF WAY
 STREET RIGHT OF WAYS ON THIS MAP WERE LOCATED BY FIELD
 SURVEY BY RETRACEMENT OF CITY ENGINEER FIELD BOOKS AS
 REFERENCED HEREON.



ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DATE: BY:

INDEX NO.

NO. REVISIONS:

SURVEY NO.
35995

GARY LEE MOORE, P.E. CITY ENGINEER

DATE: 12/23/2019

SURVEY DIVISION

P.L.S:

SURVEYOR: MARK KINDIG

FIELD SURVEYOR: THOMAS ABRAHAMIAN

CHECKED BY: THOMAS ABRAHAMIAN

APPROVED BY:

VERTICAL CONTROL: C.E.F.B. 03000 PGS. 37-44

HORIZONTAL CONTROL: C.E.F.B. 03000 PGS. 37-44

SHEET TITLE: SITE SURVEY

PROJECT: RESEDA SKATE FACILITY

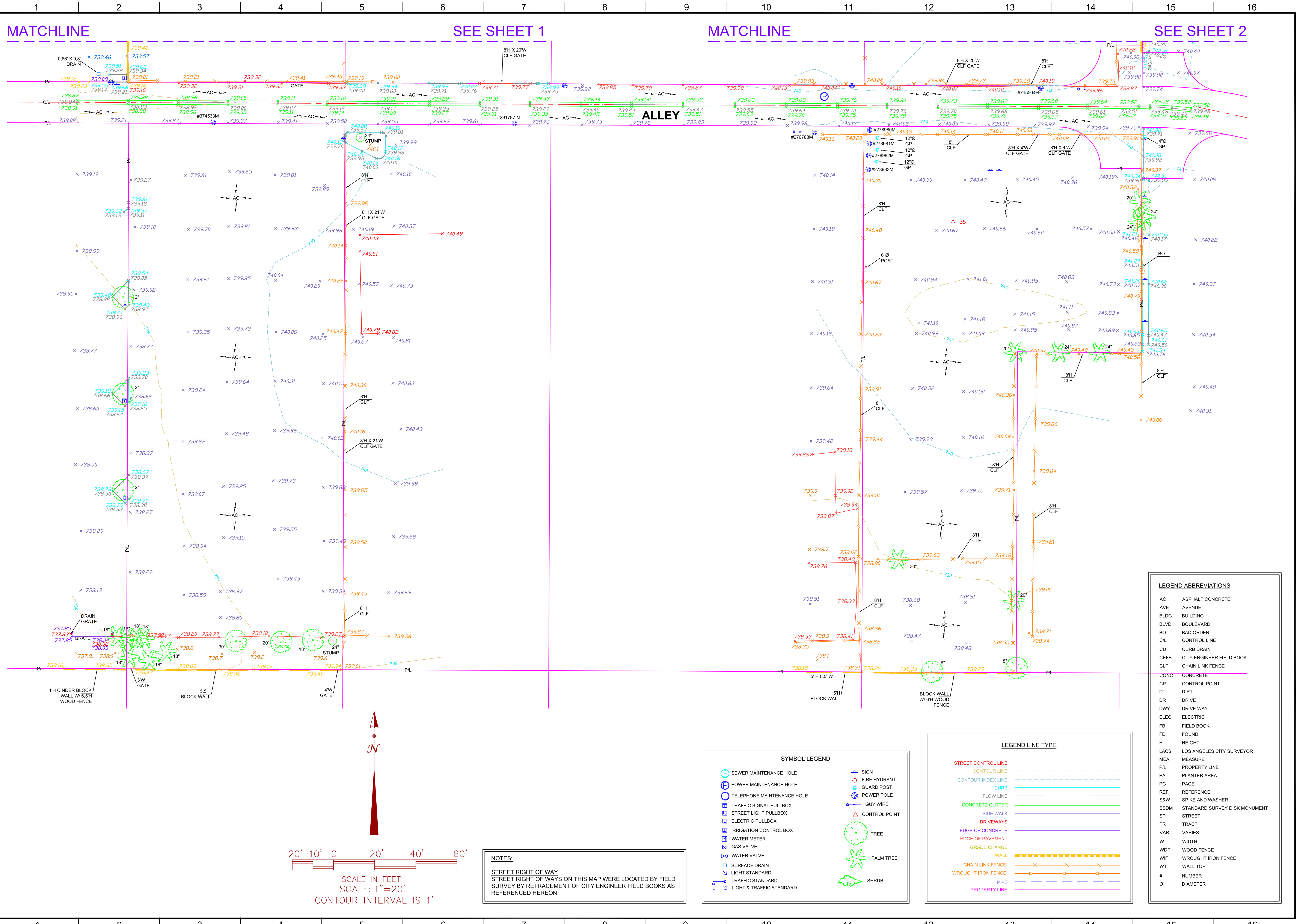
ADDRESS: 18160 W SHERMAN WAY

WORK ORDER NO.
E170121B

DRAWING NO.

SRVII

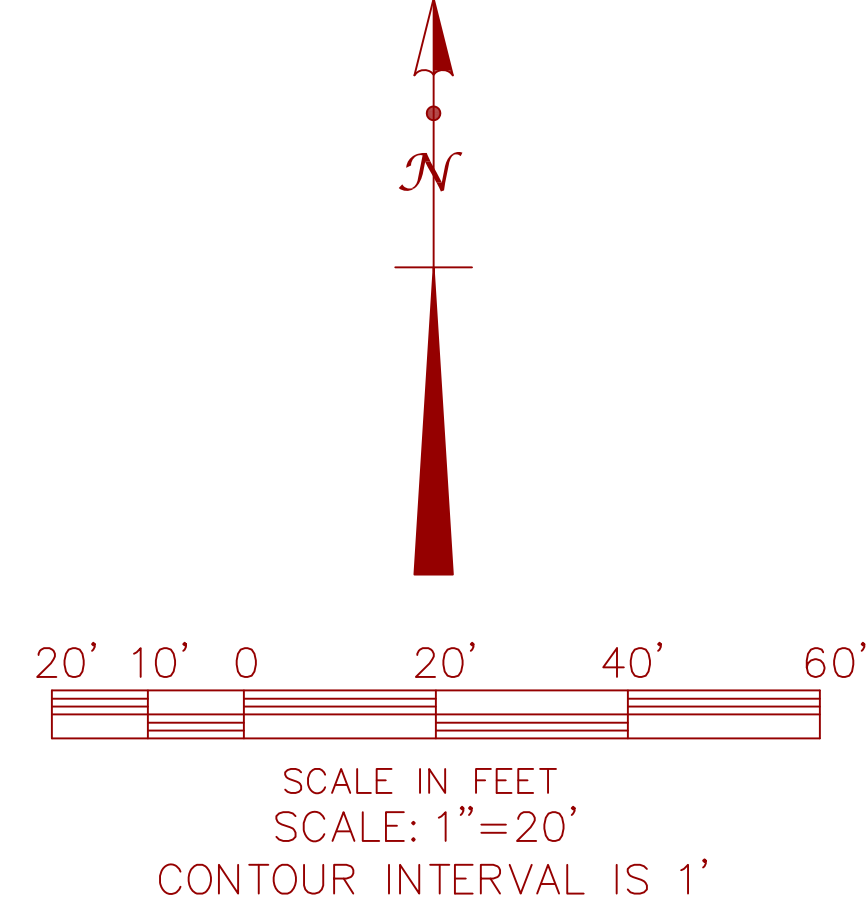
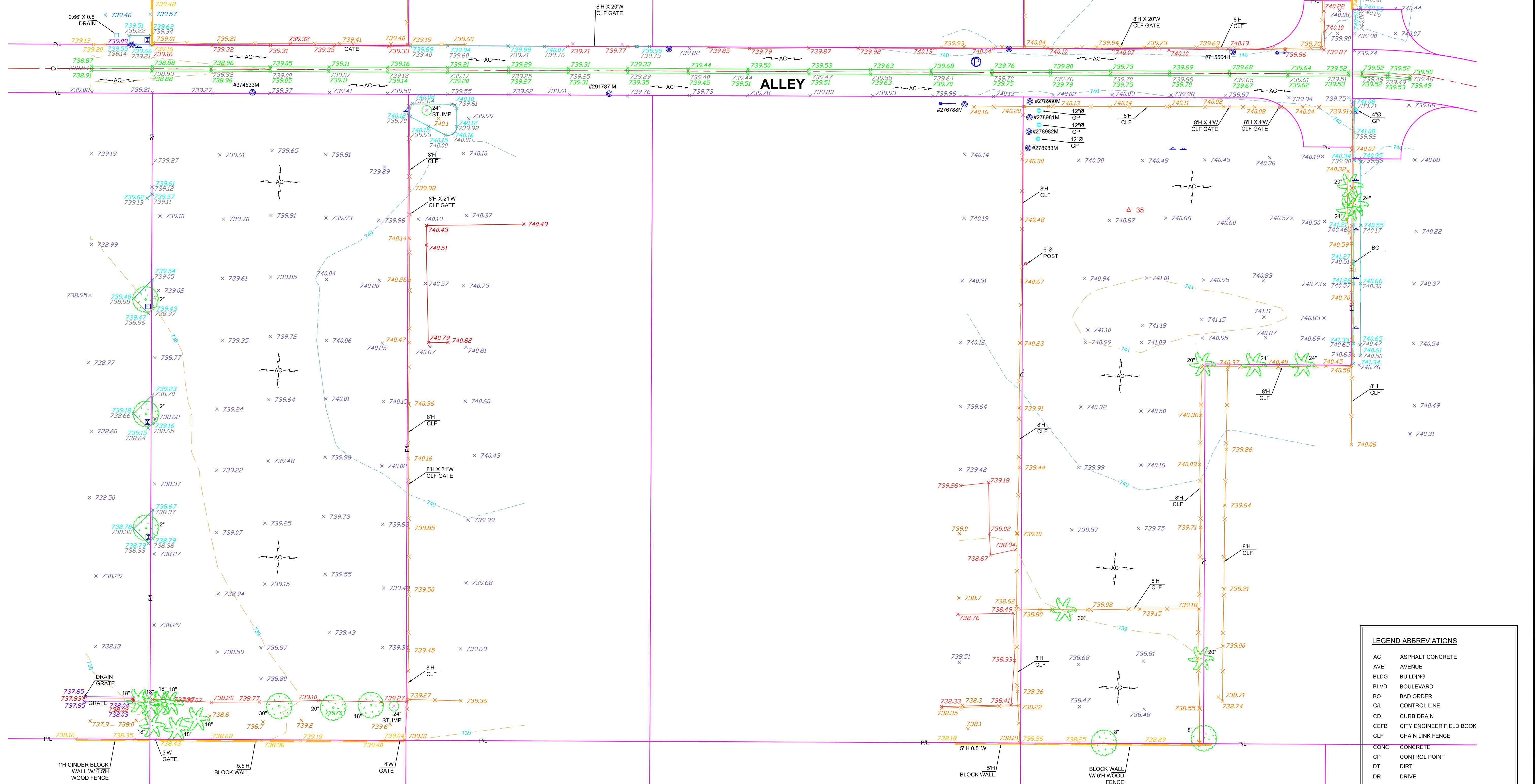
SHEET 2 OF 3 SHEETS



REVISION DATES (DESIGN STAGE ONLY)

Sheet Version 2.01

MATCHLINE SEE SHEET 1 MATCHLINE SEE SHEET 2



NOTES:
STREET RIGHT OF WAY
STREET RIGHT OF WAYS ON THIS MAP WERE LOCATED BY FIELD
SURVEY BY RETRACEMENT OF CITY ENGINEER FIELD BOOKS AS
REFERENCED HEREON.

SYMBOL LEGEND

	SEWER MAINTENANCE HOLE		SIGN
	POWER MAINTENANCE HOLE		FIRE HYDRANT
	TELEPHONE MAINTENANCE HOLE		GUARD POST
	TRAFFIC SIGNAL PULLBOX		POWER POLE
	STREET LIGHT PULLBOX		GUY WIRE
	ELECTRIC PULLBOX		CONTROL POINT
	IRRIGATION CONTROL BOX		TREE
	WATER METER		PALM TREE
	GAS VALVE		SHRUB
	WATER VALVE		
	SURFACE DRAIN		
	LIGHT STANDARD		
	TRAFFIC STANDARD		
	LIGHT & TRAFFIC STANDARD		

LEGEND LINE TYPE

	STREET CONTROL LINE
	CONTOUR LINE
	CONTOUR INDEX LINE
	CONCRETE GUTTER
	SIDE WALK
	DRIVEWAYS
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	GRADE CHANGE
	WALL
	CHAIN LINK FENCE
	WROUGHT IRON FENCE
	PIPE
	PROPERTY LINE

LEGEND ABBREVIATIONS

AC	ASPHALT CONCRETE
AVE	AVENUE
BLDG	BUILDING
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CLF	CHAIN LINK FENCE
CONC	CONCRETE
CP	CONTROL POINT
DT	DIRT
DR	DRIVE
DWY	DRIVE WAY
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LACS	LOS ANGELES CITY SURVEYOR
MEA	MEASURE
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TR	TRACT
VAR	VARIES
W	WIDTH
WDF	WOOD FENCE
WIF	WROUGHT IRON FENCE
WT	WALL TOP
#	NUMBER
Ø	DIAMETER

CITY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

ENGINEERING
CITY OF LOS ANGELES

DATE BY:

NO. REVISIONS:

DATE:

DATE:

INDEX NO.

SURVEY NO.
35995

CITY ENGINEER
GARY LEE MOORE, P.E.

CITY DIVISION

DATE:

DATE:

SURVEYOR: MARK KINDIG

P.L.S.:

FIELD SURVEYOR: THOMAS ABRAHAMIAN

DATE:

DRAWN BY: VINCENT RADCLIFFE

DATE:

CHECKED BY: THOMAS ABRAHAMIAN

DATE:

APPROVED BY:

APPROVED BY:

SHEET TITLE: SITE SURVEY

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18160 W SHERMAN WAY

WORK ORDER NO.
E170121B

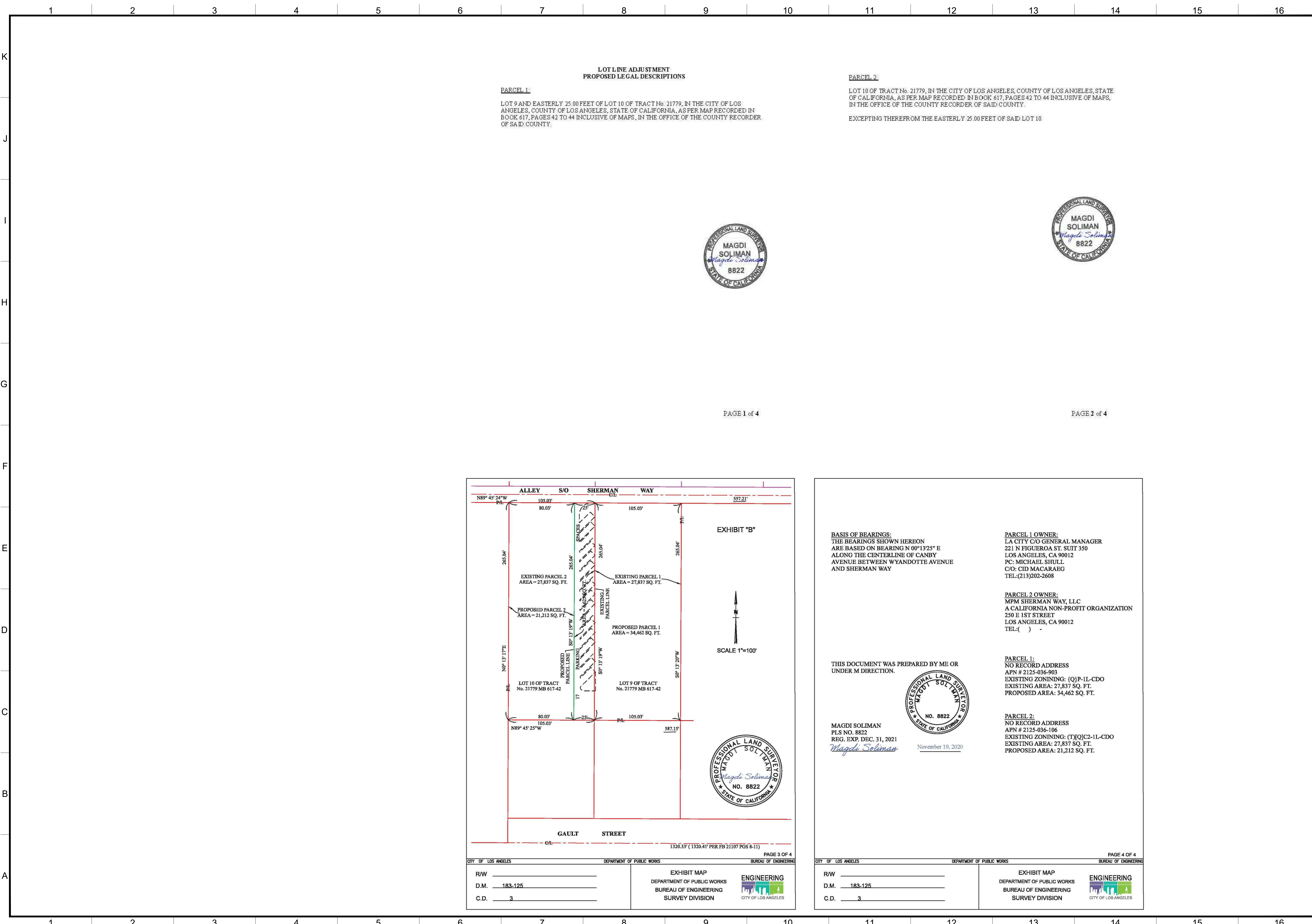
DRAWING NO.

SRVIII

SHEET 3 OF 3 SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES (DESIGN STAGE ONLY)



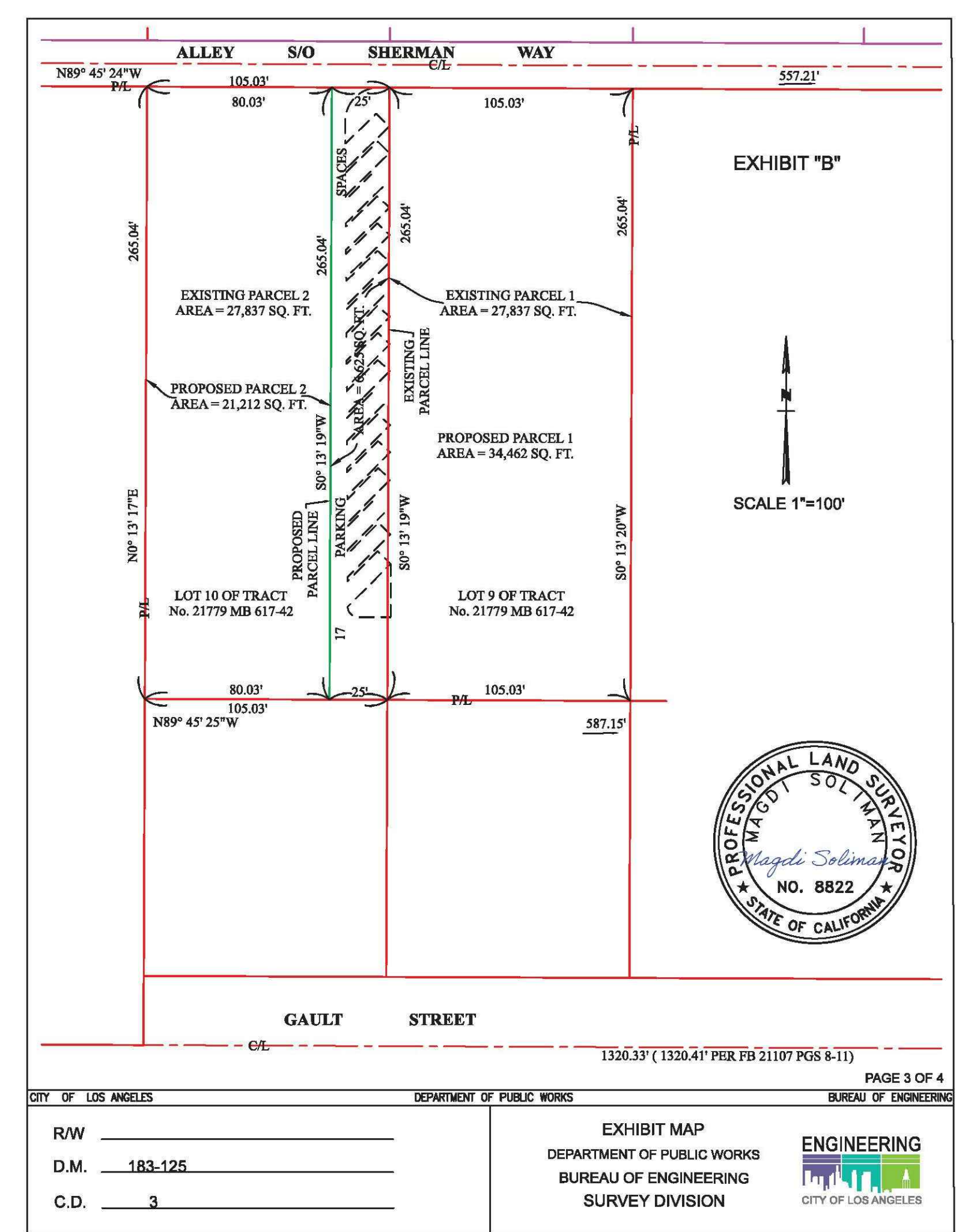
LOT LINE ADJUSTMENT PROPOSED LEGAL DESCRIPTIONS
PARCEL 1: LOT 9 AND EASTERLY 25.00 FEET OF LOT 10 OF TRACT No. 21779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 617, PAGES 42 TO 44 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2: LOT 10 OF TRACT No. 21779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 617, PAGES 42 TO 44 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPTING THEREFROM THE EASTERLY 25.00 FEET OF SAID LOT 10.



PAGE 1 of 4

PAGE 2 of 4




BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED ON BEARING N 00°13'25" E ALONG THE CENTERLINE OF CANBY AVENUE BETWEEN WYANDOTTE AVENUE AND SHERMAN WAY.
PARCEL 1 OWNER: LA CITY C/O GENERAL MANAGER 221 N FIGUEROA ST. SUIT 350 LOS ANGELES, CA 90012 PC: MICHAEL SHULL C/O: CID MACARAEG TEL:(213)202-2608
PARCEL 2 OWNER: MPM SHERMAN WAY, LLC A CALIFORNIA NON-PROFIT ORGANIZATION 250 E 1ST STREET LOS ANGELES, CA 90012 TEL: () -
PARCEL 1: NO RECORD ADDRESS APN # 2125-036-903 EXISTING ZONING: (Q)P-1L-CDO EXISTING AREA: 27,837 SQ. FT. PROPOSED AREA: 34,462 SQ. FT.
PARCEL 2: NO RECORD ADDRESS APN # 2125-036-106 EXISTING ZONING: (T)Q/C2-1L-CDO EXISTING AREA: 27,837 SQ. FT. PROPOSED AREA: 21,212 SQ. FT.
THIS DOCUMENT WAS PREPARED BY ME OR UNDER M DIRECTION.
MAGDI SOLIMAN PLS NO. 8822 REG. EXP. DEC. 31, 2021 November 19, 2020

Engineering and Public Works stamps and information including City of Los Angeles logo, Department of Public Works, Bureau of Engineering, sheet title 'LOT LINE ADJUSTMENT RESEDA SKATE FACILITY', and project address '18210 SHERMAN WAY, RESEDA CA 91335'.


	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
K	GENERAL NOTES: COMMERCIAL															
	1.	THESE DRAWINGS AND SPECIFICATIONS AND COPIES ARE LEGAL INSTRUMENTS OF SERVICE FOR USE BY THE OWNER AND AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY.														
	2.	THE CONTRACTOR SHALL CAREFULLY INSTRUCT EACH OF THE SUBCONTRACTORS TO BECOME THOROUGHLY FAMILIAR WITH ALL OF THE DRAWINGS AND SPECIFICATIONS AND WHEREVER EXISTING CONDITIONS MAY HAVE A BEARING ON THE EXPEDITIOUS PERFORMANCE OF HIS WORK. THE CONTRACTOR SHALL VISIT THE JOBSITE AND PERSONALLY INSPECT AND VERIFY THE SITE FOR COMPARISON WITH PERTINENT SECTIONS OF SPECIFICATIONS AND DRAWINGS. NO ALLOWANCE CAN BE SUBSEQUENTLY MADE ON BEHALF OF THE SUBCONTRACTOR FOR ERRORS DUE TO HIS NEGLIGENCE OF FAILING TO ACQUAINT HIMSELF WITH THE EXISTING SITE CONDITIONS.														
	3.	CONTRACTOR SHALL VERIFY THE DIMENSIONS OF ALL EXISTING CONDITIONS AT THE SITE, AND SHALL REPORT TO THE ARCHITECT IN WRITING ANY DISCREPANCIES BETWEEN ACTUAL EXISTING CONDITIONS AND THE DRAWINGS FOR THE ARCHITECT'S DECISIONS AND INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK AFFECTED BY SUCH DISCREPANCIES. IF ANY DISCREPANCY OR CONFLICT APPEARS BETWEEN THE DRAWINGS OR SPECIFICATIONS REGARDING MATERIALS THE SITUATION SHALL BE REPORTED TO THE ARCHITECT IN WRITING AND THE ARCHITECT WILL ISSUE A CLARIFICATION.														
	4.	CONTRACTOR SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT IN WRITING ALL ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED. CONTRACTOR SHALL NOT BE LIABLE TO OWNER OR ARCHITECT FOR DAMAGE RESULTING FROM ANY SUCH ERRORS, INCONSISTENCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, BUT, IF THE CONTRACTOR PROCEEDS WITH ANY WORK SO AFFECTED WITHOUT THE WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECTS. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR WHERE REQUIRED APPROVED SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR PORTIONS OF THE WORK.														
	5.	REQUIREMENTS FOR REGULATORY AGENCIES: ALL PERTAINING STATUTES, ORDINANCES, LAWS, RULES, CODE REGULATIONS, STANDARDS, AND THE LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION OF THE WORK, ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS THE SAME AS IF REPEATED IN FULL HEREIN AND SUCH ARE INTENDED WHERE ANY REFERENCE IS MADE IN EITHER THE SINGULAR OR PLURAL TO CODE OR BUILDING CODE UNLESS OTHERWISE SPECIFIED INCLUDING WITHOUT LIMITATION, THOSE IN THE SITE LIST BELOW. CONTRACTOR SHALL MAKE AVAILABLE AT THE SITE COPIES OF THE LISTED DOCUMENTS APPLICABLE TO THE WORK AS THE ARCHITECT OR OWNER MAY REQUEST.														
	A)	CALIFORNIA BUILDING CODE, CURRENT EDITION APPROVED BY THE CITY OF LOS ANGELES WITH LOS ANGELES AMENDMENTS.														
	PART 1	2019 CALIFORNIA ADMINISTRATIVE CODE, CA CODE OF REGULATIONS TITLE 24 C.C.R. PART 1														
	PART 2	2019 CALIFORNIA BUILDING CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24 C.C.R. VOLUMES 1 AND 2 (BASED ON THE 2012 INTERNATIONAL BUILDING CODE, WITH CALIFORNIA AMENDMENTS, ALSO REFERRED TO AS "CBC").														
	PART 3	2019 CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24 C.C.R. PART 3 (BASED ON THE 2011 NATIONAL ELECTRICAL CODE, ALSO REFERRED TO AS "CEC").														
	PART 4	2019 CALIFORNIA MECHANICAL CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24 C.C.R. PART 4 (BASED ON THE 2012 UNIFORM MECHANICAL CODE, ALSO REFERRED TO AS "CMC").														
	PART 5	2019 CALIFORNIA PLUMBING CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24 C.C.R. PART 5 (BASED ON THE 2012 UNIFORM PLUMBING CODE, ALSO REFERRED TO AS "CPC").														
	PART 6	2019 CALIFORNIA ENERGY CODE, CA CODE OF REGULATIONS TITLE 24 C.C.R. PART 6.														
	PART 7	2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, CA CODE OF REGULATIONS TITLE 24 C.C.R. PART 7.														
	PART 8	2019 CALIFORNIA HISTORICAL BUILDING CODE, CA CODE OF REGULATIONS TITLE 24 C.C.R. PART 8.														
PART 9	2019 CALIFORNIA FIRE CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24 C.C.R. (BASED ON THE 2012 UNIFORM FIRE CODE, ALSO REFERRED TO AS "CFC").															
PART 11	2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, CODE OF REGS. TITLE 24, PART 11, (CALGREEN CODE).															
PART 12	2019 CALIFORNIA REFERENCE STANDARDS CODE, CA CODE OF REGULATIONS TITLE 24 C.C.R. PART 12.															
B)	TITLE 24 CAC, BUILDING STANDARDS, INCLUDING ARCHITECTURAL BARRIER LAWS AND REGULATIONS REGARDING ACCESSIBILITY, CURRENT EDITION.															
C)	2019 CALIFORNIA BUILDING CODE REFERENCED STANDARDS CHAPTER 35 (PARTIAL LIST OF APPLICABLE STANDARDS):															
	NFPA 13	AUTOMATIC SPRINKLER SYSTEMS (2019 EDITION)														
	NFPA 14	STANDPIPE SYSTEMS (2019 EDITION)														
	NFPA 72	NATIONAL FIRE ALARM CODE (2019 EDITION)														
D)	2019 CITY OF LA FIRE CODE															
E)	CITY OF LOS ANGELES MUNICIPAL CODE (LAMC)															
F)	OTHER STATUTES, ORDINANCES, LAWS, REGULATIONS, RULES, ORDER, AND CODES AS SPECIFIED IN OTHER SECTIONS OF THE SPECIFICATIONS OR BEARING ON THE WORK.															
6.	CONTRACTOR SHALL PROVIDE SAFEGUARDS DURING CONSTRUCTION AS PER CH.33 OF 2017 CBC.															
7.	CONTRACTOR SHALL PROVIDE TEMPORARY CHEMICAL TOILETS AND OTHER FACILITIES AS REQUIRED. UTILITIES WILL NOT BE PROVIDED BY THE OWNER. ANY CHEMICAL TOILET SHALL BE CLEANED A MINIMUM ONCE PER WEEK.															
8.	CONTRACTOR SHALL PROVIDE SAFEGUARDS DURING CONSTRUCTION AS PER CH.33 OF 2017 CBC. PROVIDE PEDESTRIAN AND PROXIMITY PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY THE LOCAL AUTHORITIES, OR AS NECESSARY FOR PEDESTRIAN SAFETY. A PERMIT FROM THE DEPT. OF PUBLIC WORKS AND/OR BUILDING & SAFETY IS REQUIRED FOR A PROTECTION FENCE OR CANOPY OVER OR ON ANY STREET, SETBACK OR PUBLIC WAY. THE ERECTION AND PLACEMENT OF ANY CONSTRUCTION OFFICE SHALL BE SUBJECT TO APPROVAL OF THE BUILDING & SAFETY DIRECTOR CONCERNING LOCATION AND DURATION.															
9.	ALL OPENINGS IN EXTERIOR WALLS OR ROOFS WHICH ARE LESS THAN 16" (SIXTEEN FEET) ABOVE ADJACENT AREAS ACCESSIBLE TO THE PUBLIC SHALL BE CONSIDERED SECURITY OPENINGS AND SHALL COMPLY TO THE PROVISIONS FOR SECURITY IN THE CALIFORNIA BUILDING CODE.															
10.	IMPROVEMENTS ON THE SITE, WORK IN PROGRESS, STORED MATERIALS, AND PUBLIC AND PRIVATE IMPROVEMENTS ON PROPERTY ADJACENT TO THE SITE SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE ARISING FROM THE WORK. ALL DAMAGE SO OCCURRING SHALL BE REPAIRED OR DAMAGED ITEM SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.															
11.	PRIOR TO START OF WORK, THE CONTRACTOR SHALL INSPECT THE SITE AND PREMISES AND REPORT IN WRITING TO ARCHITECT AND OWNER ALL DAMAGE AND UNSATISFACTORY CONDITIONS EXISTING AT THE START OF WORK. NATURE AND EXTENT OF THESE CONDITIONS WILL BE VERIFIED BY THE ARCHITECT AND CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR CORRECTION OF SUCH DAMAGE UPON COMPLETION OF WORK, UNLESS INCLUDED IN THE CONTRACT BY MUTUAL CONSENT.															
12.	PROVIDE SUPPORTS, SHORING AND BRACING AS REQUIRED. ALL PITS, HOLES, TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH MUST BE PROPERLY SHORED AND SUPPORTED.															
13.	OVERLOADING: DO NOT OVERLOAD ANY PART OF THE STRUCTURES BEYOND THE SAFE CARRYING CAPACITY BY PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEM THEREON. LOAD LIMIT AT SLABS-ON-GRADE IS 1,000 LBS/SF MAX. LOAD LIMITS AT STRUCTURAL SLABS SHALL BE ACCORDING TO USAGE PER CHAPTER 16 OF THE 2017 CALIFORNIA BUILDING CODE.															
	14.	PROTECTION OF FLOORS. USE CARE TO PROTECT FLOOR SURFACES FROM DAMAGE AND EQUIPMENT, INCLUDING MOBILE EQUIPMENT WITH PNEUMATIC TIRES.														
	15.	CONVENTIONAL DETAILS SHALL APPLY WHERE NO SPECIAL DETAILS OR SECTIONS ARE SHOWN. THE ARCHITECT WILL FURNISH ANY CLARIFICATION DETAILS AT THE REQUEST OF THE JOB SUPERINTENDENT.														
	16.	ALL SHOP DRAWINGS SHALL BE PREPARED AS REQUIRED AND SUBMITTED TO THE ARCHITECT FOR CHECKING. ALL SHOP DRAWINGS REQUIRE 15 WORKING DAYS FOR REVIEW UPON RECEIPT BY ARCHITECT. SHOP DRAWINGS FOR ALL LOW VOLTAGE WORK, WHETHER UNDER THIS CONTRACT OR NOT, SHALL BE SUBMITTED FOR THE ARCHITECT'S REVIEW.														
	17.	SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THESE DOCUMENTS. ALL ADDENDA, CHANGE ORDER, BULLETINS AND NOTICES, IF ISSUED LATER, SHALL BE CONSIDERED AS PART OF THE WORK. THE SPECIFICATIONS, GENERAL CONDITIONS AND ALL ISSUED ADDENDA AND CHANGE ORDERS ARE PART OF ARCHITECTURAL DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED 48 HRS. PRIOR TO ANY FINISH WORK APPLICATION.														
	18.	DO NOT SCALE DRAWINGS-DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. DIMENSIONS ARE TO FACE OF ROUGH FRAMING UNLESS OBVIOUSLY SHOWN, MARKED TO CENTERLINE OF WALL OR COLUMN, OR NOTED OTHERWISE.														
	19.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS CLEAN-UP OF THE SITE AND OF ALL DEBRIS, WHETHER CREATED BY HIS WORK, OR BY THE FAILURE OF HIS SUBCONTRACTORS TO CLEAN UP AFTER THEIR WORK.														
	20.	THESE GENERAL NOTES SHALL APPLY EQUALLY TO THE GENERAL CONTRACTOR AND ALL PRIME SUBCONTRACTORS ENGAGED UPON THIS PROJECT. THE WORD "CONTRACTOR" AS USED HEREINAFTER SHALL APPLY EQUALLY TO THE WORK OF ALL TRADES.														
	21.	THESE DRAWINGS ARE INTENDED TO BE READ IN CONJUNCTION WITH SCHEDULES, DETAILS AND SPECIFICATIONS EMBODIED IN THE PROJECT MANUAL(S). NO ONE DRAWING OR SPECIFICATION SCHEDULE SHALL "GOVERN". CONTRACTOR SHALL CORRELATE WORK BETWEEN ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND CONSULTANT DRAWINGS AND SPECIFICATIONS. IT IS THE EXPLICIT AND SPECIFIC RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE CONTRACT DOCUMENTS IN THEIR ENTIRETY, REPORT ALL WITH ANY WORK AFFECTED BY SUCH DISCREPANCIES.														
	22.	GENERAL NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING COMPLETE IN EVERY DETAIL. IT IS THE EXPLICIT AND SPECIFIC RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, VERIFY THE EXISTING CONDITIONS, FAMILIARIZE HIMSELF THOROUGHLY WITH SCOPE OF THE WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ASSUMED OR ACTUAL CONDITIONS TO THE ATTENTION OF THE ARCHITECT.														
	23.	ALL LINES, SYMBOLS, NOTES, POCHS AND OTHER GRAPHIC DEVICES CONTAINED IN THE CONTRACT DOCUMENTS CARRY SPECIFIC OR INFERRENTIAL MEANING. ITEMS INDICATED IN THESE WAYS ARE PART OF THE SCOPE OF WORK AND WILL BE REQUIRED BY THE OWNER AND ARCHITECT TO BE INCLUDED IN THE CONTRACTOR'S ORIGINAL BID. ANY ITEMS WHICH REQUIRE FURTHER CLARIFICATION BY THE ARCHITECT FOR THE SPECIFIC BENEFIT OF THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR SUCH CLARIFICATION BEFORE COMMENCEMENT OF ANY WORK AND SUBMITTAL OF FINAL BID.														
	24.	THE CONTRACTOR SHALL PAY SPECIFIC ATTENTION TO ALL DIMENSIONED OR INFERRENTIAL PLAN AND SECTIONAL SPATIAL RELATIONSHIPS, AND SHALL VERIFY ALL AXES AND SYMMETRIES BEFORE COMMENCING WORK.														
	25.	ANY DIMENSIONS MARKED "VERIFY" ARE TO CHECKED FOR ACCURACY BY THE CONTRACTOR AS WORK PROGRESSES, AND ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT BEFORE PROCEEDING.														
	26.	THE DIMENSIONS MARKED "CLEAR" ARE NOT ADJUSTABLE WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT.														
	27.	NO CERTIFICATE OF OCCUPANCY FOR NEW BUILDINGS SHALL BE ISSUED UNLESS OR UNTIL ALL EXISTING & PROPOSED ELECTRICAL LINES AND OVERHEAD SERVICE DROP CONDUCTORS, AND ALL GAS, TELEPHONE, TELEVISION CABLE SERVICE WIRES OR LINES, WHICH ARE ON-SITE, ABUTTING, AND/OR TRANSECTING, ARE COMPLETE, AND SERVICE REQUIREMENTS PUBLISHED BY THE UTILITIES.														
	28.	DESIGN WORK IS THE RESPONSIBILITY OF THE ARCHITECT. ANY DESIGN CHANGES MADE BY THE CONTRACTOR SHALL BE THE FULL RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR.														
	29.	WORKMANSHIP SHALL BE THE HIGHEST QUALITY NORMALLY OBTAINABLE IN THE RESPECTIVE TRADES AND EXECUTED BY SKILLED JOURNEYMEN. WORK WHICH IN THE OPINION OF THE ARCHITECT IS INFERIOR OR IMPROPERLY PERFORMED, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.														
	30.	UNSPECIFIED MATERIALS SHALL BE NEW, FIRST LINE PRODUCTS OF A RECOGNIZED MANUFACTURER. NO SUBSTITUTIONS FROM SPECIFICATIONS SHALL BE USED UNLESS APPROVED BY THE ARCHITECT. UNDER NO CIRCUMSTANCES WILL SUBSTITUTIONS BE ALLOWED DUE TO CONTRACTOR'S FAILURE TO ORDER PRODUCTS IN A TIMELY MANNER TO MEET CONSTRUCTION SCHEDULES, WHERE AVAILABLE OR REQUIRED, MANUFACTURER'S GUARANTEE SHALL BE PROVIDED IN WRITING.														
	31.	ALL CONSTRUCTIONS AND INSTALLATIONS SHALL CONFORM TO MANUFACTURER'S PUBLISHED SPECIFICATIONS AS WELL AS THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE WITH ALL STATE AND LOCAL ADOPTED ORDINANCES AND A COPY OF THESE STIPULATIONS SHALL BE AVAILABLE AT THE CONSTRUCTION OFFICE.														
	32.	THE METHODS AND SAFETY OF CONSTRUCTION ARE THE RESPONSIBILITY OF CONTRACTOR AND HIS ASSIGNEES.														
	33.	THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER.														
	34.	EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK IN HIS TRADE REQUIRED BY ALL OTHER TRADES, I.E. OPENINGS, HOLES, BLOCKING, BRACING, ETC.														
	35.	WHERE CONSTRUCTION MATERIALS ARE TEMPORARILY STORED ON ROOF OR FLOOR FRAMING, THEY SHALL BE DISTRIBUTED SO THAT LOAD DOES NOT EXCEED DESIGN LIVE LOAD. ADEQUATE STORING AND/OR BRACING SHALL BE PROVIDED WHERE STRUCTURAL MEMBERS HAVE NOT ATTAINED DESIGN STRENGTH.														
	36.	ANY WAUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR, INCLUDING EXCESS SOIL REMOVAL AND CLEAN TOP SOIL PROVIDED IN PLANTED AREAS. DEMOLITION IS NOT SHOWN IN ITS ENTIRETY- REMOVE ALL (E) CONSTRUCTION REQUIRED TO COMPLETE THE WORK.														
	37.	LICENSES AND PERMITS NECESSARY TO THE PERFORMANCE, COMPLETION AND APPROVAL OF THE WORK, AND ALL INSPECTION AND OTHER APPLICABLE FEES (EXCLUDING BUILDING PERMIT FILING FEE) SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.														
	38.	ANY GEOLOGY AND SOILS REPORTS AND ATTENDANT APPROVAL BY THE GOVERNING AGENCY ARE A PART OF THESE PLANS. ANY REQUIREMENTS CALLED FOR IN THEM SHALL BE PART OF THE CONTRACT AND PERFORMED AS CALLED FOR, WHETHER INDICATED ON THE DRAWINGS OR NOT.														
	39.	THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK REQUIRED BY ONE TRADE TO ANOTHER AND TO INSURE THAT ALL COSTS ARE INCLUDED IN THE CONTRACT PRICE.														
	40.	ALL CHANGE ORDERS SHALL BE APPROVED IN WRITING BY THE ARCHITECT PRIOR TO COMMENCEMENT OF SUCH WORK, OTHERWISE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ALL ASSOCIATED COSTS.														
	41.	THE CONTRACTOR SHALL PROVIDE A \$500.00 ALLOWANCE FOR A JOBSITE SIGN, SIZE AND LAYOUT SHALL BE DETERMINED BY THE ARCHITECT.														
	42.															
	43.															
		BUILDING														
	1.	THERE SHALL BE NO EXPOSED PIPE CONDUITS, DUCTS, VENTS, ETC. ON EXTERIOR OF THE BUILDING OR IN DESIGNATED FINISH SPACES, UNLESS NOTED AS EXPOSED CONSTRUCTION ON FINISH SCHEDULE.														
	2.	WHERE FACTORY PRIMED ITEMS OCCUR, SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC. PAINT TO MATCH THE ADJACENT SURFACE OR AS DIRECTED BY THE ARCHITECT. REFER TO SPECIFICATIONS FOR ALL OTHER ITEMS NOT INCLUDED ON FINISH SCHEDULE. THE NOTE "GSM" REFERS TO GALVANIZED OR BONDERIZED METAL, SEE FINISH SCHEDULE AND ELEVATIONS FOR PAINT COLORS. ALL PARTIERS AND WALL COPING AND METAL WINDOW SILLS SHALL MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE.														
	3.	IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN APPROVAL BY THE APPROVED BUILDING INSPECTOR FOR ALL CONCEALED WORK BEFORE CLOSING UP.														
	4.	ALL BATHROOMS AND TOILET ROOMS SHALL BE MECHANICALLY VENTILATED PER MECHANICAL CODE (MIN. 5 AIR CHANGES PER HOUR), AND CONNECTED DIRECTLY TO THE OUTSIDE.														
	5.	NOT USED.														
	6.	PROVIDE BACKING AND BLOCKING FOR ALL CABINETS, LOCKERS, TOWEL BARS, GRAB BARS, DOOR STOPS, HARDWARE, ETC. TYP. EVEN IF NOT SHOWN ON DETAIL. PROVIDE BACKING AND BLOCKING FOR OTHER ACCESSORIES/ ITEMS SHOWN AS FUTURE OR OPTIONAL ON ALL FRAME WALLS.														
	7.	ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE LESS THAN 6" ABOVE THE GROUND SHALL BE PRESSURE-TREATED WOOD.														
	8.	FIRE- BLOCKING IS REQUIRED AT MID- HEIGHT OF WALLS OVER 8'-0" HIGH.														
	9.	ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. ALL FLASHING, COUNTER-FLASHING AND COPING WHEN OF METAL, SHALL BE MINIMUM 24 GA. GALVANIZED OR BONDERIZED IF PAINTED. AT ALL ROUGH OPENINGS IN EXT. WALL OF BUILDING, CONTRACTOR SHALL PROVIDE, AT A MINIMUM, SELF-HEALING FLASHING WATERPROOFING, LAPPED A MIN. OF 6" BEYOND OPENING. SEE DETAILS AND SPECIFICATIONS.														
	10.	NOT USED.														
	11.	ALL OUTSWINGING EXTERIOR DOORS SHALL HAVE DRIPS AT THE HEAD OF THE DOOR, TYPICALLY, IF NOT COVERED WITH A CANOPY OR OVERHANG.														
	12.	CONTRACTOR SHALL PROVIDE A GYP. BOARD ACCESS PANEL AT ALL DAMPER LOCATIONS AND AT ALL MECHANICAL EQUIPMENT LOCATIONS AT GYP. BOARD SOFFITS. SIZE OF PANEL SHALL BE AS NECESSARY TO ACCESS THE EQUIPMENT.														
	13.	CONTRACTOR SHALL PROVIDE AN ACCESS PANEL AT ALL PLUMBING EQUIPMENT/PIPING REQUIRED TO BE ACCESSED.														
	14.	AT ALL WOOD STUD WALL SILL PLATES, PROVIDE SILL SEAL BY DOW (OR EQUAL) BETWEEN WOOD STUD AND CONCRETE TO FULLY SEAL THE CONNECTION BETWEEN FOUNDATION AND SILL PLATE.														
	15.	NOT USED														
		SECURITY														
	1.	GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL. OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.														
	2.	DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB.														
	3.	ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVABLE HINGE PINS. IN ADDITION, THEY SHALL HAVE MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROTECTION UNLESS THE HINGES ARE SHAPED TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED.														
	4.	THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROTECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2-1/2" IN LENGTH. STRIKE PLATES SHALL BE A MINIMUM OF 3/12" IN LENGTH.														
	5.	DEADBOLTS SHALL HAVE HARDENED INSERTS: DEADLOCKING LATCH, KEY-OPERATED LOCKS ON EXTERIOR LOCKS OPENABLE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT ON INTERIOR AND TYPE-TROW, AND EMBEDMENT OF DEADBOLTS FOR SINGLE SWINGING DOOR, ACTIVE LEAF OR PAIRS OF DOORS, OR BOTTOM LEAF OF DUTCH DOOR.														
	6.	STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8".														
	7.	A HOOK-SHAPED OR AN EXPANDING LUG DEADBOLT SHALL HAVE MIN. 3/4" THROW.														
	8.	CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.														
	9.	IN B OCCUPANCIES, PANES OF GLAZING WITH A DIMENSION GREATER THAN 6" BUT LESS THAN 48" SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL OR SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS.														
	10.	SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF ROOF, BALCONY, OR SIMILAR OR SIMILAR SURFACE WHICH IS WITHIN 8' OF THE OF A UTILITY POLE OR SIMILAR STRUCTURE.														
	11.	ALL GLASS DOORS SHALL HAVE FULLY TEMPERED GLASS.														
	12.	GLAZING ADJACENT TO A DOOR AND WITHIN THE SAME WALL PLANE AS THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN 12" OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE TEMPERED.														
	13.	GLAZING IN FIXED PANELS WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING SHALL BE TEMPERED.														
	14.	NOT USED														
	15.	THE INACTIVE LEAF OF DOUBLE DOORS SHALL BE EQUIPPED WITH FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF FIVE-EIGHTHS INCH INTO THE HEAD AND THRESHOLD OF THE DOOR FRAME.														
	16.	NOT USED														
	17.	WHERE PANIC HARDWARE IS REQUIRED BY THE UNIFORM BUILDING CODE OR TITLE 19, CALIFORNIA ADMINISTRATIVE CODE, IT SHALL BE EQUIPPED AND INSTALLED AS FOLLOWS:														
	A)	PANIC HARDWARE SHALL CONTAIN MIN. OF (2) LOCKING POINTS ON EACH DOOR: OR														
	B)	ON SINGLE DOORS, PANIC HARDWARE MAY HAVE ONE LOCKING POINT WHICH IS NOT TO BE LOCATED AT EITHER THE TOP OR BOTTOM RAILS OF THE DOOR FRAME. THE DOOR SHALL HAVE AN ASTRAGAL CONSTRUCTED OF STEEL .125 INCHES THICK WHICH SHALL BE ATTACHED WITH NON-REMOVABLE BOLTS OR WELDED TO THE OUTSIDE OF THE DOOR. THE ASTRAGAL SHALL EXTEND A MIN. OF SIX INCHES VERTICALLY ABOVE AND BELOW THE LATCH OF THE PANIC HARDWARE. THE ASTRAGAL SHALL BE A MIN. OF TWO INCHES WIDE AND EXTEND A MIN. OF ONE INCH BEYOND THE EDGE OF THE DOOR.														
	C)	DOUBLE DOORS CONTAINING PANIC HARDWARE SHALL HAVE AN ASTRAGAL ATTACHED TO THE DOORS AS THEIR MEETING POINT WHICH WILL CLOSE THE OPENING BETWEEN THEM BUT NOT INTERFERE WITH THE OPERATION OF EITHER DOOR.														
	19.	ALL EXTERIOR DOORS SHALL BE EQUIPPED WITH A LIGHTING DEVICE CAPABLE OF PROVIDING AT LEAST ONE FOOT-CANDLE OF LIGHT AT THE GROUND LEVEL DURING HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY VANDAL-RESISTANT COVERS.														
		ENVIRONMENTAL IMPACT REPORT														
	1.	CONTRACTOR SHALL REVIEW AND FOLLOW ALL MITIGATION MEASURES AND PROJECT CONDITIONS.														
		FIRE PROTECTION														
	1.	PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING AS REQ'D BY CODE FOR SPECIFIC USE AT EVERY 75' MAX AND AS REQUIRED BY CALIFORNIA FIRE CODE. SEE PLANS FOR LOCATION AT 'FINISHED AREAS', FOR 'UN-FINISHED AREAS' SUCH AS PARKING GARAGES, PROVIDE PLAN FOR ARCHITECT'S REVIEW.														
	2.	PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR DURING CONSTRUCTION.														
	3.	FIRE EXTINGUISHERS SHALL BE REQUIRED AND DETERMINED BY FIRE DEPARTMENT FIELD INSPECTOR.														
	4.	THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL FIRE RATED SPACES TO THE REQUIREMENTS OF THE APPLICABLE CODES AND STANDARDS. PROVIDE APPROPRIATE FIRE RATED ENCLOSURES BEHIND RECESSED LIGHT FIXTURES WHERE REQUIRED.														
	5.	OMIT.														
	6.	WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS SHALL COMPLY WITH APPLICABLE BUILDING CODE.														
	7.	COMMERCIAL DUMPSTERS OR CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN 5' OF COMBUSTIBLE WALLS. OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS AREAS CONTAINING DUMPSTERS ARE PROTECTED BY AN APPROVED SPRINKLER SYSTEM.														
	8.	PROVIDE FIRE RESISTIVE CONSTRUCTION AS NOTED ON PLANS.														
	9.	FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH BUILDING CODE-2017 CBC SECTION 715.														
	10.	EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.														
	11.	SHAFTS SHALL BE ENCLOSED IN COMPLIANCE WITH 2017 CBC, SECTION 708. EXT. WALLS SHALL MEET FIRE RESISTANCE RATING OF SECT. 705 AND STRUCT. MEMBERS SHALL BE PROTECTED AS REQUIRED BY SECT. 704.														
	12.	WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY ONE-HR FIRE RESISTANCE-RATED CONSTRUCTION OR THE FIRE RESISTANCE-RATING OF THE STAIR ENCLOSURE, WHICHEVER IS GREATER. SPACES UNDER STAIRWAYS WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN R1 OR R2 OCCUPANCIES, SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH MIN HALF-INCH GYP BRD. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.														
	13.	ALL PENETRATIONS AND/OR GAPS IN RATED WALLS, FLOORS, CEILING ROOFS, ETC. INCLUDING, BUT NOT LIMITED TO, PLUMBING PIPES, SHAFTS, VENT PIPES, DUCTS AND OR ANY PENETRATION, SHALL BE SEALED AND/OR CAULKED WITH AN APPROVED MATERIAL TO MEET THAT CONSTRUCTION RATING OF THE SURFACE AND/OR ASSEMBLY WHICH IT PENETRATES.														
	14.	RECESSED LIGHTS SHALL BE ENCLOSED IN A MANNER TO ACHIEVE AN APPROVED ONE-HOUR FIRE RESISTIVE CONSTRUCTION, IF LOCATED IN A ONE-HOUR ASSEMBLY.														
	15.	PROVIDE SMOKE DETECTORS TO COMPLY WITH BUILDING CODE REGARDING FIRE WARNING SYSTEMS. SMOKE DETECTORS SHALL BE HARD WIRED W/ BATTERY BACKUP.														
	16.	INTERIOR WALL AND CEILING FINISHES SHALL BE AS REQ'D BY 2017 CBC, TABLE 803.9. FOR FULLY SPRINKLERED BUILDING: B&E OCCUPANCY, FLAME SPREAD INDEX SHALL BE "C" MIN. AT CORRIDORS/ROOMS AND "B" MIN AT EXIT PASSAGEWAYS. FOR A-OCCUPANCIES FLAME SPREAD INDEX SHALL BE "B" MIN.														
	17.	ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME-RETARDANT TREATED IN AN APPROVED MANNER, INCLUDING CURTAINS, DRAPES, SHADES, HANGINGS, ETC.														
	18.	PROVIDE EXIT SIGNS AND DIRECTIONAL EXIT SIGNS WITH MINIMUM 6" HIGH BY 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. LOCATIONS OF EXIT SIGNS ARE INDICATED ON FLOOR PLANS.														
	19.	EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS (1011.2-1011.5.3).														
	20.	ROOF COVERING SHALL BE CLASS A FIRE RETARDANT.														
	21.	ALL EXITS MUST BE CONTINUOUS AND TERMINATE IN A PUBLIC WAY OR EXIT COURT LEADING TO A PUBLIC WAY OR APPROVED REFUGE AREA. EXIT PATH LIGHTING SHALL BE PROVIDED FOR STAIRWAY, HALLWAY, EXIT PASSAGEWAY AND FOR EGRESS (INCLUDING THE EXIT DISCHARGE) TO A PUBLIC WAY ANY TIME THE BUILDING IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.														
	22.	PROVIDE AN APPROVED FIRE ALARM SYSTEM WITH AUDIBLE AND VISIBLE ALARMS AS PER NFPA-72. SEE ELECTRICAL SPECIFICATIONS & DWGS. PROVIDE AUDIBLE AND VISIBLE ALARM NOTIFICATION PER CFC 907.6.														
	23.	FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED ON EXIT DOORS.														
	24.	PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS SERVING ROOMS, CORRIDORS OR STAIRWAYS HANDLING AN OCC. LOAD OF 50 OR MORE PERSONS. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS SERVING ELECTRICAL ROOMS WITH EQUIPMENT RATED OVER 1,200 AMPERES AND OVER 6 FEET WIDE THAT CONTAIN OVERCURRENT, CONTROL OR SWITCHING DEVICES PER CBC 1008.1.10. DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL.														
	25.	CONSTRUCTION AND DEMOLITION: STRUCTURES IN THE COURSE OF CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH CHAPTER 14 OF 2017 CITY OF LA FIRE CODE AND NFPA 241.														
	26.	FIRE DEPARTMENT CONNECTIONS (CFC SECT. 912): FIRE DEPARTMENT CONNECTIONS SHALL BE VISIBLE AND ACCESSIBLE, HAVE TWO 2.5 INCH NIST FEMALE INLETS, AND HAVE AN APPROVED CHECK VALVE LOCATED AS CLOSE TO THE FDC AS POSSIBLE. ALL FDC'S SHALL HAVE KNOX LOCKING PROTECTIVE CAPS.														
	27.	ACCESS DURING CONSTRUCTION (CFC CH 14): ACCESS FOR FIRE FIGHTING EQUIPMENT SHALL BE PROVIDED TO THE IMMEDIATE JOB SITE AT THE START OF CONSTRUCTION AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6". FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN ALL WEATHER DRIVING SURFACE AND SUPPORT A MINIMUM WEIGHT IF 73,000 LBS.														
	28.	OMIT.														
	29.	CEILING CLEARANCE (CFC 315.2.1): STORAGE SHALL BE MAINTAINED 2' OR MORE BELOW THE CEILING IN NON-SPRINKLERED AREAS OF BLDG. OR A MIN. OF 18" BELOW SPRINKLER HEAD DEFLECTORS IN SPRINKLERED AREAS OF BLDG.														
		GENERAL NOTES CONTINUE ON SHEET A0.11.														

ENGINEERING

CITY OF LOS ANGELES



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CITY OF LOS ANGELES

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DRAWN BY:
CHECKED BY:
APPROVED BY:

WORK ORDER NO.
E170121B

SHEET NAME
A0.10
SHEET X OF X SHEETS

GENERAL NOTES CONTINUED FROM SHEET A0.10.

30. MAINTENANCE OF FIRE-RESISTANCE-RATED CONSTRUCTION (CFC 703.1): THE REQUIRED FIRE-RESISTANCE RATING OF FIRE-RESISTANCE-RATED CONSTRUCTION (INCLUDING WALLS, FIRESTOPS, SHIRT ENCLOSURES, PARTITIONS, SMOKE BARRIERS, FLOORS, FIRE-RESISTIVE COATINGS AND SPRAYED FIRE-RESISTANT MATERIALS APPLIED TO STRUCTURAL MEMBERS AND FIRE-RESISTANT JOINT SYSTEMS) SHALL BE MAINTAINED. SUCH ELEMENTS SHALL BE PROPERLY REPAIRED, RESTORED OR REPLACED WHEN DAMAGED, ALTERED, BREACHED OR PENETRATED. OPENINGS MADE THEREIN FOR THE PASSAGE OF PIPES, ELECTRICAL CONDUIT, WIRES, DUCTS, AIR TRANSFER OPENINGS AND HOLES MADE FOR ANY REASON SHALL BE PROTECTED WITH APPROVED METHODS CAPABLE OF RESISTING THE PASSAGE OF SMOKE AND FIRE. OPENINGS THROUGH FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE PROTECTED BY SEEL OR AUTOMATIC-CLOSING DOORS OF APPROVED CONSTRUCTION MEETING THE FIRE PROTECTION REQUIREMENTS FOR THE ASSEMBLY.

31. KEY BOX REQUIRED TO BE INSTALLED (CFC 506.1): WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. CONTACT THE FIRE DEPARTMENT FOR A KNOX APPLICATION FORM. THE KNOX KEY BOX SHALL CONTAIN KEYS TO ALL AREAS OF INGRESS/EGRESS, ALARM ROOMS, FIRE SPRINKLER RISER/EQUIPMENT ROOMS, MECHANICAL ROOMS, ELEVATOR ROOMS, ELEVATOR CONTROLS, PLUS A CARD CONTAINING THE EMERGENCY CONTACT PEOPLE AND PHONE NUMBERS FOR THE BUILDING/COMPLEX.

32. PLOT PLAN: PRIOR TO COMPLETION OF THE PROJECT, A 8.5" X 11" PLOT PLAN AND AN ELECTRONIC CAD VERSION SHALL BE PROVIDED BY THE CONTRACTOR TO THE FIRE DEPARTMENT. THIS SHALL CLEARLY SHOW ALL ACCESS POINTS, FIRE HYDRANTS, KNOX BOX LOCATIONS, FIRE DEPARTMENT CONNECTIONS, UNIT IDENTIFIERS, MAIN ELECTRICAL PANEL LOCATIONS, SPRINKLER RISER AND FIRE ALARM LOCATIONS. LARGE PROJECTS MAY REQUIRE MORE THAN ONE PAGE.

33. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: A) AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS, B) CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS, C) EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS, D) INTERIOR EXIT DISCHARGE, AS PERMITTED IN SECTION 1024, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS, E) EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.5, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

34. THE EMERGENCY POWER SHALL PROVIDE POWER FOR DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH 2016 CBC SECTION 2702.

35. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED PER CBC SECT 1006.4.

36. EMERGENCY RESPONDER SAFETY FEATURES PER 2019 CBC SECT 914 AND 915: EXTERIOR AND INTERIOR ACCESS TO VERTICAL SHAFTS OR HOISTWAYS SHALL BE IDENTIFIED WITH THE WORD "SHAFTWAY" IN RED LETTERS, 6 INCHES HIGH, ON A WHITE BACKGROUND, PLACED SO AS TO BE READILY DISCERNIBLE. UNLESS THE OPENING IS READILY DISCERNIBLE BY THE CONSTRUCTION OR ARRANGEMENT OF THE OPENING, FIRE EQUIPMENT ROOMS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT (CONTROL, SPRINKLER RISER, VALVE ROOMS, ETC) APPROVED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE. EMERGENCY RESPONDER RADIO COVERAGE SHALL BE PROVIDED IN ALL NEW BUILDINGS IN ACCORDANCE WITH SECT 510 OF THE 2017 CFC.

ENERGY

1. THE BUILDING SHALL MEET THE REQUIREMENTS OF 2019 CALIFORNIA ENERGY CODE: TITLE 24, CEC, PART 6, SUBCH. 1 THROUGH 6 FOR COMMERCIAL OCCUPANCIES.

2. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE BUILDER AND INSTALLER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 6, SUBCH. 2, SECT. 118 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.

3. ALL INSULATION MATERIALS SHALL BE INSTALLED AND CERTIFIED AS PER 2017 CEC SECT 118. INSULATION SHALL BE FREE OF UREA-FORMALDEHYDE. CONCRETE SLAB FLOORS SHALL BE INSULATED PER SECT 118, (G) AND OTHER APPLICABLE SECTIONS.

4. DOORS AND WINDOWS BETWEEN CONDITIONED AND OUTSIDE OF CONDITIONED SPACES SHALL BE FULLY WEATHER-STRIPPED.

5. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS.

6. CAULK, GASKET, WEATHER-STRIP OR OTHERWISE SEAL PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOOR AND ALL OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE.

7. DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED PER UMC LATEST EDITION. ALL DUCTS SHALL BE WRAPPED TO PREVENT DUST FROM GETTING INSIDE PRIOR TO CLOSE UP.

8. ALL OPENINGS (DOORS AND WINDOWS) SHALL BE PROPERLY CERTIFIED, AND LABELED.

9. BACKDRAFT DAMPERS FOR ALL EXHAUST AND FAN SYSTEMS SHALL BE PROVIDED.

10. ALL STEAM AND STEAM CONDENSATE RETURN PIPING SHALL BE INSULATED AS REQUIRED BY THE PLUMBING DIVISION.

11. ROOFING PRODUCTS THERMAL EMITTANCE AND 3-YEAR AGED SOLAR REFLECTANCE SHALL BE CERTIFIED AND LABELED OR SHALL MEET DEFAULT VALUES AS SPECIFIED IN TITLE 24, CEC, PART 6, SUBCH. 2, SECT. 118, (h) (i) 1.

12. FOLLOW MANDATORY REQUIREMENTS FOR LIGHTING CONTROL DEVICES, BALLASTS AND LUMINAIRES PER 2017 CEC SECT 119.

MISCELLANEOUS

1. PROVIDE ULTRA LOW FLOW WATER CLOSETS THROUGHOUT.

2. GLASS THICKNESS SHALL BE NOT LESS THAN THAT DETERMINED BY TABLE 2403.2.1 2017 CBC. ALL GLASS AND GLAZING SHALL MEET THE GUIDELINES AS OUTLINED IN CHAPTER 24 2017 CBC. GREATER REQUIREMENTS MAY BE APPLICABLE PER THESE CONSTRUCTION DOCUMENTS.

3. ALL GLASS DOORS SHALL HAVE FULLY TEMPERED GLASS AND ALL GLAZING WITHIN 18" OF A FLOOR SHALL BE TEMPERED.

4. GLAZING ADJACENT TO A DOOR AND WITHIN THE SAME WALL ABOVE THE DOOR WHOSE NEAREST VERTICAL EDGE IS WITHIN 12 INCHES OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE TEMPERED. GLAZING IN FIXED PANELS WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING SHALL BE TEMPERED.

5. ACOUSTIC INSULATION SHALL BE CONTINUOUS AT ALL TOILET ROOMS AND PLUMBING WALLS.

6. THERMAL INSUL. SHALL MATCH THE VALUES STATED IN THE DRAWINGS & ENERGY CALCULATION REPORT & SHALL BE CONTINUOUS AT ALL EXTERIOR CAVITY WALLS & SOFFITS. ALL REQUIREMENTS OF TITLE 24 SHALL BE COMPLIED WITH.

7. PHONE OUTLETS SHALL BE PROVIDED PER DRAWINGS.

8. PROVIDE OUTLETS AS REQUIRED BY CODE WHETHER SHOWN ON THE PLANS OR NOT.

9. NEW EXTERIOR PLASTER WALLS: ALL TERMINAL EDGES OF PLASTER SHALL HAVE A PLASTER SCREED APPROPRIATE FOR THE GIVEN CONDITION, WHETHER INDICATED ON PLANS OR NOT.

10. ALL DOOR STRIKES WHETHER HEREIN SPECIFIED OR NOT SHALL HAVE TONGUES TO CLEAR ALL ADJACENT SURFACES SO THAT THE DOOR LATCH TOUCHES ONLY THE STRIKE WHEN OPENING AND CLOSING.

11. CONCRETE WATERPROOFING: ALL COLD JOINTS BETWEEN CONCRETE SLABS, WALLS AND/OR FOUNDATIONS AND OTHER CONDITIONS WITHIN 2" ABOVE FINISH GRADE AND BELOW THAT LEVEL SHALL HAVE A CONTINUOUS 2" WIDE STRIP (MINIMUM) OF SELF SEALING BENTONITE BY PARAMOUNT TECHNICAL PRODUCTS, INC. (PRODUCT NAME "PARASTOP").

12. ALL FLAT ROOFS, DECKS AND ANY SURFACES THAT THE SOLE METHOD OF WATER DRAINAGE IS VIA INTEGRAL DRAINS SHALL HAVE A MIN. 3" DIAMETER OVERFLOW SCUPPER LOCATED SUCH AND IN QUANTITY TO PREVENT PONDING AND/OR BUILD-UP COLLECTION OF WATER IN CASE OF CLOGGING AND/OR FAILURE OF INTEGRAL DRAINS. ALL AREAS THAT RELY ON SUCH SAID DRAINAGE SHALL BE FLASHED AND WATERPROOFED ABOVE THE HEIGHT OF THE OVERFLOW SCUPPER SO THAT THE SCUPPER MAY DRAIN EXCESS WATER WITHOUT WATER PENETRATION INTO THE INTERIOR OF THE STRUCTURE FORM THE AREAS THAT RELY ON THIS SYSTEM OF DRAINAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF SCUPPERS WHETHER OR NOT THEY ARE SHOWN ON THESE PLANS.

GENERAL MATERIAL NOTES

CONCRETE

1. CONTRACTOR SHALL ASSUME THAT ALL CONCRETE STEPS OR STAIRS HAVE REINFORCEMENT OF: #4 NOSING & BOTTOM EACH RISER AND BOTTOM #6 BARS AT 12" O.C., MINIMUM. MORE STRINGENT REQUIREMENTS MAY OCCUR ELSEWHERE.

2. ALL CONC. SLABS SHALL HAVE 6"x6" MESH REINFORCING AT A MINIMUM. MORE STRINGENT REQUIREMENTS MAY OCCUR ELSEWHERE.

3. ALL CONC. SLABS SHALL HAVE CONTROL JT. & EXPANSION JT. SEE STRUCT. PLANS AND SECS. PATTERN OF ALL JOINTS SHALL BE APPROVED BY ARCH.

4. CONCRETE FINISHES: SHOTCRETE (WHERE OCCURS): REBOUND MATERIAL SHALL BE CAREFULLY SWEEPED OFF THE FINISHED SHOTCRETE SURFACE AND DISCARDED BEFORE IT BECOMES TOO HARD FOR REMOVAL. AFTER THE SHOTCRETE HAS BEEN PLACED TO THE DEPTH REQUIRED, THE SURFACE SHALL BE CHECKED WITH A STRAIGHTEDGE OR TEMPLATE AND ANY LOW SPOTS SHALL BE BROUGHT UP TO GRADE BY PLACING ADDITIONAL SHOTCRETE. SCREED AND FURTHER FINISH AS FOLLOWS: PLACE SHOTCRETE A FRACTION BEYOND THE GUIDE STRIPS, GROUND WIRES OR FORMS. ALLOW THE SURFACE OF THE SHOTCRETE TO STIFFEN TO THE POINT IT WILL NOT PULL OR CRACK UNDER SCREEDING OR TROWELING. TRIM, SLICE, OR SCRAPE EXCESS MATERIAL TO TRUE LINE AND GRADE AND REMOVE THE PLACING GUIDES. A NATURAL ROD FINISH SHALL CONSIST OF THE REMOVAL, BY FLOATING, OF THE IMPRESSIONS LEFT AFTER THE GUIDE STRIPS OR GROUND WIRES HAVE BEEN REMOVED. PROVIDE A FLOAT FINISH RESULTING FROM FLOATING THE NATURAL ROD FINISH WITH A WOOD OR RUBBER FLOAT. POURED-IN-PLACE EXPOSED CONCRETE WALLS (WHERE OCCURS): PROVIDE FORM-FACING PANELS THAT WILL PROVIDE CONTINUOUS, TRUE, AND SMOOTH CONCRETE SURFACES. FURNISH FORMS IN LARGEST PRACTICABLE SIZES TO MINIMIZE NUMBER OF JOINTS. FORMS SHALL BE EXTERIOR-GRADE PLYWOOD PANELS SUITABLE FOR CONCRETE FORMS, HIGH-DENSITY OVERLAY, CLASS I OR BETTER. FORMS FOR CYLINDRICAL COLUMNS SHALL BE METAL, GLASS-FIBER-REINFORCED PLASTIC, PAPER OR FIBER TUBES THAT WILL PRODUCE SURFACES NOT EXCEEDING SPECIFIED FORMWORK CLASS. PROVIDE UNITS WITH SUFFICIENT WALL THICKNESS TO RESIST PLASTIC CONCRETE LOADS WITHOUT DETRIMENTAL DEFORMATION. CHAMFER STRIPS SHALL BE WOOD, METAL OR RUBBER STRIPS, KERFED FOR EASE OF REMOVAL.

5. THREE-QUARTER INCH X THREE-QUARTER INCH, THE FORM-RELEASE AGENT SHALL NOT BOND WITH OR STAIN OR OTHERWISE AFFECT CONCRETE SURFACES AND WILL NOT IMPAIR SUBSEQUENT TREATMENTS OF CONCRETE SURFACES. FORM TIES SHALL BE FACTORY-FABRICATED, REMOVABLE OR SNAP-OFF METAL OR GLASS-FIBER-REINFORCED PLASTIC FORM TIES DESIGNED TO RESIST LATERAL PRESSURE OF FRESH CONCRETE ON FORMS AND TO PREVENT SPALLING OF CONCRETE ON REMOVAL. FURNISH UNITS THAT WILL LEAVE NO CORRODIBLE METAL CLOSER THAN 1.5 INCHES TO THE PLANE OF EXPOSED CONCRETE SURFACE. TIES SHALL LEAVE HOLES NO LARGER THAN 1 INCH IN DIAMETER. CONCRETE SLABS (EXPOSED, WHERE OCCURS): SHALL BE STABLE, FIRM AND NOT CRACK UNDER UNWEIGHTED AND UNCONDITIONED SPACES. CONCRETE DRIVES SLOPED OVER 10%. CONCRETE SHALL BE SLIP RESISTANT AT SLOPES EQUAL TO OR GREATER THAN 6% AND HAVE A MEDIUM SALTED FINISH WHERE SLOPE IS LESS THAN 6%.

INTERIOR GYPSUM BOARD

1. SHALL BE "TYPE "X" 5/8" THICKNESS IN ALL AREAS, U.N.O., TAPED AND FINISHED SMOOTH FOR WALL PAINT. ALL GYPSUM BOARD SHALL BE INSTALLED USING FLATHEAD DRYWALL SCREWS ONLY.

2. WHERE A FIRE DAMPER OR MECHANICAL OR PLUMBING EQUIPMENT REQUIRING ACCESS OCCURS, CONTRACTOR SHALL PROVIDE A GYP. BRD. ACCESS PANEL THAT IS 2'-0" X 2'-0".

METAL SUSPENSION SYSTEMS FOR LAY IN PANEL CEILING

1. 12 GA. (MIN.) HANGER WIRES MAY BE USED FOR UP TO AND INCLUDING 4'-0" X 4'-0" GRID SPACING AND SHALL BE ATTACHED TO MAIN RUNNERS.

2. PROVIDE 12 GA. HANGER WIRES AT ENDS OF ALL MAIN AND CROSS RUNNERS WITHIN EIGHT INCHES (8") OF THE SUPPORT OR WITHIN ONE-FOURTH (1/4) OF THE END TIE, WHICHEVER IS LEAST, FOR THE PERIMETER OF THE CEILING AREA.

3. PROVIDE TRAPEZE OR OTHER SUPPLEMENTARY SUPPORT MEMBERS AT OBSTRUCTIONS TO TYPICAL HANGER SPACING. PROVIDE ADDITIONAL HANGERS, STRUTS OR BRACES AS REQUIRED AT ALL CEILING BREAKS, SOFFITS OR DISCONTINUOUS AREAS. HANGER WIRES THAT ARE MORE THAN 1 IN 6 OUT OF PLUMB ARE TO HAVE COUNTER-SLOPING WIRES.

4. CEILING GRID MEMBERS MAY BE ATTACHED TO NOT MORE THAN TWO (2) ADJACENT WALLS. CEILING GRID MEMBERS SHALL BE AT LEAST 1/2" FREE OF OTHER WALLS. IF WALLS RUN DIAGONALLY TO CEILING GRID SYSTEM RUNNERS, ONE END OF MAIN AND CROSS RUNNERS SHOULD BE FREE, AND A MINIMUM OF 1/2" CLEAR OF WALL.

5. AT THE PERIMETER OF THE CEILING AREA WHERE MAIN OR CROSS RUNNERS ARE NOT CONNECTED TO THE ADJACENT WALL, PROVIDE INTERCONNECTION BETWEEN THE RUNNERS AT THE FREE END TO PREVENT LATERAL SPREADING. A METAL STRUT OR A 16 GA. WIRE WITH A POSITIVE MECHANICAL CONNECTION TO THE RUNNER MAY BE USED, WHERE THE PERPENDICULAR DISTANCE FROM THE WALL TO THE FIRST PARALLEL RUNNER IS 12" OR LESS, THIS INTERLOCK IS NOT REQUIRED.

6. PROVIDE BRACING ASSEMBLIES CONSISTING OF A COMPRESSION STRUT AND FOUR (4) 12 GA. SPAYED BRACING WIRES ORIENTED 90 DEGREES FROM EACH OTHER AT THE FOLLOWING SPACING:

A) FOR SCHOOL BUILDINGS, PLACE BRACING ASSEMBLIES AT A SPACING NOT MORE THAN 12' BY 12' ON CENTER.

B) FOR ESSENTIAL SERVICES BUILDINGS, PLACE BRACING ASSEMBLIES NOT MORE THAN 8' BY 12' ON CENTER.

C) PROVIDE BRACING ASSEMBLIES AT LOCATIONS NOT MORE THAN HALF (1/2) OF THE SPACINGS GIVEN ABOVE, FROM EACH PERIMETER WALL AND AT THE EDGE OF VERTICAL CEILING OFFSETS. THE SLOPE OF THESE WIRES SHALL NOT EXCEED 45 DEGREES FROM THE PLANE OF THE CEILING AND SHALL BE TAUT. SPLICES IN BRACING WIRES ARE NOT TO BE PERMITTED WITHOUT SPECIAL DSA APPROVAL.

D) SUSPENDED ACOUSTICAL CEILING SYSTEMS WITH A CEILING AREA OF 144 SQUARE FEET OR LESS, AND FIRE RATED SUSPENDED ACOUSTICAL CEILING SYSTEMS WITH A CEILING AREA OF 96 SQUARE FEET OR LESS, SURROUNDED BY WALLS WHICH CONNECT DIRECTLY TO THE STRUCTURE ABOVE, DO NOT REQUIRE BRACING ASSEMBLIES WHEN ATTACHED TO TWO ADJACENT WALLS.

7. FASTEN HANGER WIRES WITH NOT LESS THAN THREE (3) TIGHT TURNS. FASTEN BRACING WIRES WITH FOUR (4) TIGHT TURNS. MAKE ALL TIGHT TURNS WITHIN A DISTANCE OF 1 1/2" INCHES. HANGER OR BRACING WIRE ANCHORS TO THE STRUCTURE SHOULD BE INSTALLED IN SUCH A MANNER THAT THE DIRECTION OF THE WIRE ALIGNS AS CLOSELY AS POSSIBLE WITH THE DIRECTION OF THE FORCES ACTING ON THE WIRE.

8. SEPARATE ALL CEILING HANGING AND BRACING WIRES AT LEAST SIX INCHES (6") FROM ALL UNBRACED DUCTS, PIPES, CONDUIT, ETC. IT IS ACCEPTABLE TO ATTACH LIGHTWEIGHT ITEMS, SUCH AS SINGLE ELECTRICAL CONDUIT NOT EXCEEDING 3/4" NOMINAL DIAMETER.

9. WHEN DRILLED-IN CONCRETE ANCHORS OR SHOT-IN ANCHORS ARE USED IN REINFORCED CONCRETE FOR HANGER WIRES, 1 OUT OF 10 MUST BE FIELD TESTED FOR 200LBS IN TENSION. WHEN DRILLED-IN CONCRETE ANCHORS ARE USED FOR BRACING WIRES, 1 OUT OF 2 MUST BE FIELD TESTED FOR 440 LBS. IN TENSION. SHOT-IN ANCHORS IN CONCRETE ARE NOT PERMITTED FOR BRACING WIRES.

10. ATTACH ALL LIGHT FIXTURES AND CEILING MOUNTED AIR TERMINALS OR SERVICES, TO THE CEILING GRID RUNNERS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES. SCREWS OR APPROVED FASTENERS ARE REQUIRED.

NOTE: WIRE TURNS MADE BY MACHINE WHERE BOTH STRANDS HAVE BEEN DEFORMED OR BENT IN WRAPPING CAN WAIVE THE 1 1/2" REQUIREMENT BUT THE NUMBER OF TURNS SHOULD BE MAINTAINED, AND BE AS TIGHT AS POSSIBLE.

11. WHEN DRILLED-IN CONCRETE ANCHORS OR SHOT-IN ANCHORS ARE USED IN REINFORCED CONCRETE FOR HANGER WIRES, 1 OUT OF 10 MUST BE FIELD TESTED FOR 200LBS IN TENSION. WHEN DRILLED-IN CONCRETE ANCHORS ARE USED FOR BRACING WIRES, 1 OUT OF 2 MUST BE FIELD TESTED FOR 440 LBS. IN TENSION. SHOT-IN ANCHORS IN CONCRETE ARE NOT PERMITTED FOR BRACING WIRES.

12. ATTACH ALL LIGHT FIXTURES AND CEILING MOUNTED AIR TERMINALS OR SERVICES, TO THE CEILING GRID RUNNERS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES. SCREWS OR APPROVED FASTENERS ARE REQUIRED.

13. PIPES IN WALL SHALL MEET 2017 CBC, 2308.9.8.

WOOD SHEATHING REQUIREMENTS / WHERE OCCURS

1. ALL WALL SHEATHING SHALL EITHER HAVE FSC CERTIFICATION OR A RECYCLED CONTENT (AT LEAST 25% POST-CONSUMER OR 50% E-CONSUMER/ POST-INDUSTRIAL).

METAL STUD FRAMING/WHERE OCCURS

1. ALL PARTITION FRAMING SHALL REFER TO THE WALL TYPES ON THE ARCHITECTURAL DRAWINGS.

2. ALL TOP & BOTTOM TRACK DETAILS AT NON-LOAD BEARING PARTITIONS SHALL REFER TO ARCH. DWGS.

3. WEB STIFFENER IS REQUIRED AT ALL SUPPORTS, UNLESS OTHERWISE NOTED.

4. USE DOUBLE JOISTS UNDER WALLS OR PARTITIONS PARALLEL TO JOISTS. USE SOLID BLOCKING UNDER PARTITIONS PERPENDICULAR TO JOISTS PER PLANS.

5. ALL TRACKS AND RUNNERS TO BE 18 GA DEEP LEG TRACK BY 'CEMCO'. SEE NOTE 3.

6. WALL TRACKS SHALL NOT BE USED TO SUPPORT ANY LOADS.

7. PROVIDE SOLID BLOCKING OR BRIDGING AT WALLS PER MANUFACTURERS RECOMMENDATIONS.

8. APPLY BRIDGING AT FLOOR JOISTS PER MANUFACTURER RECOMMENDATIONS.

9. ALL STUDS AND JOISTS ARE TO BE GALVANIZED.

10. AXIALLY LOADED STUD WALLS SHALL BE INSTALLED SEATED SQUARELY AGAINST THE WEB PORTION OF THE TOP AND BOTTOM TRACKS.

11. ALL DOOR JAMBS TO HAVE TRACK STIFFENER PER AND MANUFACTURER RECOMMENDATIONS.

12. END BLOCKING SHALL BE PROVIDED WHERE JOIST ENDS ARE NOT OTHERWISE RESTRAINED FROM ROTATION.

13. SCREW SPACING AND EDGE DISTANCE SHALL NOT BE LESS THAN 1.5 X DIAMETER OF THE SCREW.

14. THE CONTRACTOR IS TO PROVIDE ALL ACCESSORIES INCLUDING BUT NOT NECESSARILY LIMITED TO TRACKS, CLIPS, WEB STIFFENERS, ANCHORS, FASTENING DEVICES, RESILIENT CLIPS, AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE AND PROPER INSTALLATION AS RECOMMENDED BY THE MANUFACTURER.

15. FASTENING OF COMPONENTS SHALL BE WITH SELF DRILLING SCREWS OR WELDING PER STRUCTURAL OR ARCHITECTURAL DETAILS UNLESS OTHERWISE APPROVED BY THE ENGINEER OF RECORD.

16. ALL NAILS ARE TO BE 'COMMON' UNLESS OTHERWISE NOTED.

WELDING

1. SHALL BE PERFORMED BY CERTIFIED OPERATORS UNDER CONTINUOUS INSPECTION OF A DEPUTY REGISTERED INSPECTOR.

SHEET METAL

1. AT FASCIAS AND WALL PANELS SHEET METAL SHALL BE GALVANIZED, BONDERIZED, OR PAINTED, AND 20 GA. MIN. UNLESS OTHERWISE NOTED. "GSM", WHERE CALLED OUT ON PLANS/ELEVATIONS, SHALL MEAN GALVANIZED SHEET METAL THAT IS CONCEALED OR EXPOSED PAINTED BONDERIZED SHEET METAL. (AT ALL LOCATIONS WHERE GSM IS EXPOSED OR PAINTED THE GSM SHALL BE BONDERIZED METAL OR ZINC ALLOY) SEE ELEVATIONS.

INTERIOR GYPSUM BOARD

1. SHALL BE "TYPE "X" 5/8" THICKNESS IN ALL AREAS, U.N.O., TAPED AND FINISHED SMOOTH FOR WALL PAINT. ALL GYPSUM BOARD SHALL BE INSTALLED USING FLATHEAD DRYWALL SCREWS ONLY.

2. WHERE A FIRE DAMPER OR MECHANICAL OR PLUMBING EQUIPMENT REQUIRING ACCESS OCCURS, CONTRACTOR SHALL PROVIDE A GYP. BRD. ACCESS PANEL THAT IS 2'-0" X 2'-0".

METAL SUSPENSION SYSTEMS FOR LAY IN PANEL CEILING

1. 12 GA. (MIN.) HANGER WIRES MAY BE USED FOR UP TO AND INCLUDING 4'-0" X 4'-0" GRID SPACING AND SHALL BE ATTACHED TO MAIN RUNNERS.

2. PROVIDE 12 GA. HANGER WIRES AT ENDS OF ALL MAIN AND CROSS RUNNERS WITHIN EIGHT INCHES (8") OF THE SUPPORT OR WITHIN ONE-FOURTH (1/4) OF THE END TIE, WHICHEVER IS LEAST, FOR THE PERIMETER OF THE CEILING AREA.

3. PROVIDE TRAPEZE OR OTHER SUPPLEMENTARY SUPPORT MEMBERS AT OBSTRUCTIONS TO TYPICAL HANGER SPACING. PROVIDE ADDITIONAL HANGERS, STRUTS OR BRACES AS REQUIRED AT ALL CEILING BREAKS, SOFFITS OR DISCONTINUOUS AREAS. HANGER WIRES THAT ARE MORE THAN 1 IN 6 OUT OF PLUMB ARE TO HAVE COUNTER-SLOPING WIRES.

4. CEILING GRID MEMBERS MAY BE ATTACHED TO NOT MORE THAN TWO (2) ADJACENT WALLS. CEILING GRID MEMBERS SHALL BE AT LEAST 1/2" FREE OF OTHER WALLS. IF WALLS RUN DIAGONALLY TO CEILING GRID SYSTEM RUNNERS, ONE END OF MAIN AND CROSS RUNNERS SHOULD BE FREE, AND A MINIMUM OF 1/2" CLEAR OF WALL.

5. AT THE PERIMETER OF THE CEILING AREA WHERE MAIN OR CROSS RUNNERS ARE NOT CONNECTED TO THE ADJACENT WALL, PROVIDE INTERCONNECTION BETWEEN THE RUNNERS AT THE FREE END TO PREVENT LATERAL SPREADING. A METAL STRUT OR A 16 GA. WIRE WITH A POSITIVE MECHANICAL CONNECTION TO THE RUNNER MAY BE USED, WHERE THE PERPENDICULAR DISTANCE FROM THE WALL TO THE FIRST PARALLEL RUNNER IS 12" OR LESS, THIS INTERLOCK IS NOT REQUIRED.

6. PROVIDE BRACING ASSEMBLIES CONSISTING OF A COMPRESSION STRUT AND FOUR (4) 12 GA. SPAYED BRACING WIRES ORIENTED 90 DEGREES FROM EACH OTHER AT THE FOLLOWING SPACING:

A) FOR SCHOOL BUILDINGS, PLACE BRACING ASSEMBLIES AT A SPACING NOT MORE THAN 12' BY 12' ON CENTER.

B) FOR ESSENTIAL SERVICES BUILDINGS, PLACE BRACING ASSEMBLIES NOT MORE THAN 8' BY 12' ON CENTER.

C) PROVIDE BRACING ASSEMBLIES AT LOCATIONS NOT MORE THAN HALF (1/2) OF THE SPACINGS GIVEN ABOVE, FROM EACH PERIMETER WALL AND AT THE EDGE OF VERTICAL CEILING OFFSETS. THE SLOPE OF THESE WIRES SHALL NOT EXCEED 45 DEGREES FROM THE PLANE OF THE CEILING AND SHALL BE TAUT. SPLICES IN BRACING WIRES ARE NOT TO BE PERMITTED WITHOUT SPECIAL DSA APPROVAL.

D) SUSPENDED ACOUSTICAL CEILING SYSTEMS WITH A CEILING AREA OF 144 SQUARE FEET OR LESS, AND FIRE RATED SUSPENDED ACOUSTICAL CEILING SYSTEMS WITH A CEILING AREA OF 96 SQUARE FEET OR LESS, SURROUNDED BY WALLS WHICH CONNECT DIRECTLY TO THE STRUCTURE ABOVE, DO NOT REQUIRE BRACING ASSEMBLIES WHEN ATTACHED TO TWO ADJACENT WALLS.

7. FASTEN HANGER WIRES WITH NOT LESS THAN THREE (3) TIGHT TURNS. FASTEN BRACING WIRES WITH FOUR (4) TIGHT TURNS. MAKE ALL TIGHT TURNS WITHIN A DISTANCE OF 1 1/2" INCHES. HANGER OR BRACING WIRE ANCHORS TO THE STRUCTURE SHOULD BE INSTALLED IN SUCH A MANNER THAT THE DIRECTION OF THE WIRE ALIGNS AS CLOSELY AS POSSIBLE WITH THE DIRECTION OF THE FORCES ACTING ON THE WIRE.

8. SEPARATE ALL CEILING HANGING AND BRACING WIRES AT LEAST SIX INCHES (6") FROM ALL UNBRACED DUCTS, PIPES, CONDUIT, ETC. IT IS ACCEPTABLE TO ATTACH LIGHTWEIGHT ITEMS, SUCH AS SINGLE ELECTRICAL CONDUIT NOT EXCEEDING 3/4" NOMINAL DIAMETER.

9. WHEN DRILLED-IN CONCRETE ANCHORS OR SHOT-IN ANCHORS ARE USED IN REINFORCED CONCRETE FOR HANGER WIRES, 1 OUT OF 10 MUST BE FIELD TESTED FOR 200LBS IN TENSION. WHEN DRILLED-IN CONCRETE ANCHORS ARE USED FOR BRACING WIRES, 1 OUT OF 2 MUST BE FIELD TESTED FOR 440 LBS. IN TENSION. SHOT-IN ANCHORS IN CONCRETE ARE NOT PERMITTED FOR BRACING WIRES.

10. ATTACH ALL LIGHT FIXTURES AND CEILING MOUNTED AIR TERMINALS OR SERVICES, TO THE CEILING GRID RUNNERS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES. SCREWS OR APPROVED FASTENERS ARE REQUIRED.

11. FLUSH OR RECESSED LIGHT FIXTURES AND AIR TERMINALS OR SERVICES, WEIGHING LESS THAN 50 LBS., MAY BE SUPPORTED DIRECTLY ON THE RUNNERS OF A HEAVY DUTY GRID SYSTEM BUT, IN ADDITION, THEY MUST HAVE A MINIMUM OF TWO 12 GA. SLACK SAFETY WIRES ATTACHED TO THE FIXTURE AT DIAGONAL CORNERS AND ANCHORED TO THE STRUCTURE ABOVE. ALL 4' X 4' LIGHT FIXTURES MUST HAVE SLACK SAFETY WIRES AT EACH CORNER. ALL FLUSH OR RECESSED LIGHT FIXTURES AND AIR TERMINALS OR SERVICES WEIGHING 56 LBS. OR MORE MUST BE INDEPENDENTLY SUPPORTED BY NOT LESS THAN FOUR (4) TAUT 12 GA. WIRES EACH ATTACHED TO THE FIXTURE AND TO THE STRUCTURE ABOVE REGARDLESS OF THE TYPE OF CEILING GRID SYSTEM USED.

12. THE FOUR (4) TAUT 12 GA. WIRES INCLUDING THEIR ATTACHMENT TO THE STRUCTURE ABOVE MUST BE CAPABLE OF SUPPORTING FOUR (4) TIMES THE WEIGHT OF THE UNIT.

13. ALL FIXTURES AND AIR TERMINALS OR SERVICES SUPPORTED ON INTERMEDIATE DUTY GRID SYSTEMS MUST BE INDEPENDENTLY SUPPORTED BY NOT LESS THAN FOUR (4) TAUT 12 GA. WIRES EACH ATTACHED TO THE FIXTURE OR TERMINAL, AND TO THE STRUCTURE ABOVE.

14. SUPPORT SURFACE MOUNTED LIGHT FIXTURES BY AT LEAST TWO POSITIVE DEVICES WHICH SURROUND THE CEILING RUNNER AND WHICH ARE EACH SUPPORTED FROM THE STRUCTURE ABOVE BY A 12 GA. WIRE. SPRING CLIPS OR CLAMPS THAT CONNECT ONLY TO THE RUNNER ARE NOT ACCEPTABLE.

15. SUPPORT PENDANT MOUNTED LIGHT FIXTURES DIRECTLY FROM THE STRUCTURE ABOVE WITH HANGER WIRES OR CABLES PASSING THROUGH EACH PENDANT HANGER AND CAPABLE OF SUPPORTING FOUR (4) TIMES THE WEIGHT OF THE FIXTURE.

ADDITIONAL GENERAL REQUIREMENTS

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. OMIT.

3. OMIT.

4. FIRE RATED ASSEMBLIES SHALL BE PER TABLE 721.1(1), GENERIC ASSEMBLIES OF GYPSUM HANDBOOK, OR HAVE LARR APPROVAL OR ICC APPROVAL.

5. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.

6. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).

7. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.

8. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (1011.3)

9. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1011.6.3).

10. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.

11. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.

12. OMIT.

13. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1008.1.9-1008.1.9.12.

14. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

15. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1-FOOT CANDLE AT THE WALKING SURFACE.

16. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

REVISION DATES (DESIGN STAGE ONLY) THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility, emergency construction activities required to immediately protect public health and safety, interior remodeling with no outside exposure of construction material or construction waste to storm water, mechanical permit work, or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 - Part 5: Definitions)

- 1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

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Project Address: 18210 Sherman Way Permit Number: _____

Table with 3 columns: ITEM #, BOD ITEMS, PAGE NUMBER IN BOD DOCUMENT. Rows include HVAC SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEM, WATER HEATING SYSTEM, LANDSCAPE IRRIGATION SYSTEMS, and COVERED PROCESSES.

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I have reviewed the Basis of Design (BOD) and verified that it meets the Owner's Project Requirements (OPR):

Name: Bobby Almeida
Company Name (if applicable): Argento/Graham
Agent's Signature: [Signature] Date: 6/17/21

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WATER CONSERVATION ORDINANCE NOTES NON-RESIDENTIAL BUILDINGS

- 1. For new buildings or additions exceeding 50,000 sq ft, install a separate water meter or sub-meter for the following areas:
A. For each individual leased, rented, or other tenant space within the building projected to consume more than 100 gpd (380 L/day).
B. Where potable water is used for industrial/process uses, for water supplied to the following subsystems:
a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).
b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s).
c. Steam and hot-water boilers with energy input more than 500,000 Btu/h (147 kW).
C. For each building that uses more than 100 gpd on a parcel containing multiple buildings. (5.303.1.1)
2. Provide a 20% reduction in the overall potable water use for each building. The reduction shall be based on the maximum allowable water use per plumbing fixture and fittings as required by the Los Angeles Plumbing Code. New projects having a water supply of 2" or less and additions and alterations projects may use the prescriptive method outlined in this section. (5.303.2)
3. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq ft or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (5.304.1, 5.304.2)
4. New buildings on a site with 1,000 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (5.304.4)
5. Additions and alterations on a site with 1,000 square feet of cumulative landscape area which require water service upgrade shall have separate meters or submeters for outdoor water use. (5.304.4)

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Table with 3 columns: ITEM #, BOD ITEMS, PAGE NUMBER IN BOD DOCUMENT. Rows include performance, efficiency, savings, other; RENEWABLE ENERGY SYSTEMS (IF ANY); WATER REUSE SYSTEM (IF ANY).

Architect/Engineer/Designer Acknowledgement I hereby acknowledge the Basis of Design (BOD) document has been completed and meets the Owner's Project Requirements (OPR).

Table with 4 columns: Name, License Number, Signature, Date. Rows include Architect of Record (Lawrence Scarpa), Mechanical Designer (Robert Getter), Electrical Designer (Robert Getter), Plumbing Designer (Robert Getter), Landscape Architect (Hongjoo Kim), Renewable Energy System Designer, and Others (specify): Refrigeration System Designer of Record (Damin Estes).

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Vertical sidebar containing: ENGINEERING CITY OF LOS ANGELES, BUREAU OF ENGINEERING, DEPARTMENT OF PUBLIC WORKS, CITY ENGINEER GARY LEE MOORE, P.E., ENV SP DESIGN GROUP, WORK ORDER NO. E170121B, SHEET NAME A0.12, SHEET X OF X SHEETS.



2020 Los Angeles Green Building Code

FORM GRN 5

MANDATORY REQUIREMENTS CHECKLIST
NEWLY CONSTRUCTED NON-RESIDENTIAL BUILDINGS
(COMplete AND INCORPORATE THIS FORM INTO THE PLANS)

Table with columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes sections for PLANNING AND DESIGN, ENERGY EFFICIENCY, WATER EFFICIENCY & CONSERVATION, MATERIAL CONSERVATION & RESOURCE EFFICIENCY.

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2020 Los Angeles Green Building Code

FORM GRN 5

Table with columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items for Ozone depletion and greenhouse gas reductions, Supermarket refrigerant leak reduction.

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2020 Los Angeles Green Building Code

FORM GRN 15

GREEN BUILDING CODE PLAN CHECK NOTES
NON-RESIDENTIAL BUILDINGS

- List of 31 items detailing plan check notes for non-residential buildings, covering topics like lighting systems, VOC limits, water reduction, and energy efficiency.

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2020 Los Angeles Green Building Code

FORM GRN 5

Table with columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items for Recycling by occupants, Commissioning, Testing and adjusting, Environmental Quality, Temporary ventilation, Mechanical equipment protection, Finish material pollutant control, Paints and coatings, Carpet systems, Composite wood products, Resilient flooring systems, Environmental tobacco smoke (ETS) control, Carbon dioxide (CO2) monitoring, Exterior noise transmission prescriptive method.

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2020 Los Angeles Green Building Code
VOC AND FORMALDEHYDE LIMITS
(Incorporate this form into the plans)

FORM GRN 11

Table with columns: COATING CATEGORY, CURRENT LIMIT, FORMALDEHYDE LIMIT, ADHESIVE VOC LIMIT. Lists various coating and adhesive types with their respective limits.

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2020 Los Angeles Green Building Code
PLUMBING FIXTURE FLOW RATES
Non-Residential Occupancies
(Incorporate this form into the plans)

FORM GRN 17

Table with columns: FIXTURE TYPE, MAXIMUM ALLOWABLE FLOW RATE. Lists various plumbing fixtures like showerheads, lavatory faucets, kitchen faucets, etc. with their flow rate limits.

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Vertical sidebar containing engineering logos, professional seals (Professional Engineer, Licensed Architect), and project information (Project: RESEDA SKATE FACILITY, Address: 18210 SHERMAN WAY, RESEDA CA 91335).

REVISION DATES (DESIGN STAGE ONLY) A, B, C, D, E, F, G, H, I, J, K

REVISION DATES (DESIGN STAGE ONLY) A B C D E F G H I J K

LA DBS Commissioning Plan Compliance Form **FORM GRN 23**
 2020 Los Angeles Green Building Code and 2019 California Energy Code

COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS

Project Address: 18210 Sherman Way Permit Number: _____

ITEM #	COMMISSIONING PLAN ITEMS	PAGE NUMBER IN COMMISSIONING PLAN DOCUMENT
GENERAL PROJECT INFORMATION		
1	Project name, owner, location, building type and building area	3
2	Definitions	3-5
3	Overall project commissioning schedule	16
4	Contact information for individual/company providing commissioning services	1
COMMISSIONING GOALS		
5	Meeting the Los Angeles Green Building code and California Energy Code requirements for commissioning	6
6	Meeting OPR and BOD requirements	6
7	Carrying out requirements for commissioning activities as specified in plans and specifications	6
SYSTEMS TO BE COMMISSIONED		
8	Explanation of the original design intent (refer to OPR and BOD documents)	7
9	Requirements for execution and documentation of installation, checkout and start up, including controls point-to-point checks and calibrations	7, 17-22
10	Equipment and systems to be tested*, functions and modes to be tested, conditions under which the test shall be performed, measurable criteria for acceptable performance, and example test forms	7, 17-22
COMMISSIONING TEAM INFORMATION		
11	List of all team members and contact information (i.e. owner, owner's representative, architect, engineers, designated commissioning representative, and (if available): general contractor, sub-contractors, vendors, and construction manager)	8
COMMISSIONING PROCESS ACTIVITIES, SCHEDULES, AND RESPONSIBILITIES		
12	Prescribed commissioning process steps and activities to be accomplished by the Cx team throughout the design to occupancy	9-14
13	Roles and responsibilities for each member of the Cx team for each phase of the work (including who writes checklists and tests, who reviews and approves test forms, who directs tests, who executes tests, who documents test results and who approves completed tests)	9-14
14	Required Cx deliverables, reports, forms, and verifications expected at each stage of the commissioning effort	9-14

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(Rev. 01/01/20) Page 1 of 2 www.ladbs.org

15 Confirmation, development and approval process for the O&M manual, systems manual and the facility operator and maintenance staff training 12-14

**At a minimum, the following systems shall be tested: HVAC & controls, indoor lighting system & controls, water heating system, landscape irrigation systems, covered processes, renewable energy systems, and water reuse systems.*

Owner/Owner Representative Acknowledgement

The commissioning plan includes the items listed above and have been approved by the Owner or Owner Representative:

Name: David Wang Owner Owner Representative

Company Name (if applicable): _____

Signature: David Wang Date: 7/20/2021

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(Rev. 01/01/20) Page 2 of 2 www.ladbs.org

LA DBS Owner's Project Requirements (OPR) Compliance Form **FORM GRN 20**
 2020 Los Angeles Green Building Code and 2019 California Energy Code

COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS

Project Address: 18210 Sherman Way Permit Number: _____

ITEM #	OPR ITEMS	PAGE NUMBER IN OPR DOCUMENT
PROJECT PROGRAM		
1	General building information (size, stories, construction type, occupancy type and number)	1
2	Intended uses and schedules	1
3	Future expandability and flexibility of spaces	1
4	Quality and/or durability of materials and desired building lifespan	1
5	Budget or operation constraints	1
ENVIRONMENTAL AND SUSTAINABILITY GOALS		
6	Level of compliance with the Los Angeles Green Building Code: Mandatory, Tier 1, or Tier 2	1
7	Specific environmental or sustainability goals (e.g. water efficiency, water reuse, CO ₂ monitoring, xeriscaping, etc.)	1-2
ENERGY EFFICIENCY GOALS		
8	Overall efficiency of building: meet California Energy Code or exceed by (%)	2
9	Lighting system efficiency: meet California Energy Code or exceed by (%)	2
10	HVAC equipment efficiency and characteristics	3
11	Other measures affecting energy efficiency desired by owner (e.g. building orientation, shading, envelope and fenestration, roof, renewable power, net-zero energy use, etc.)	3
INDOOR ENVIRONMENTAL QUALITY REQUIREMENTS		
12	Lighting	3
13	Temperature and Humidity	3
14	Acoustics	3
15	Air quality, ventilation, and filtration	3-4
16	Desired adjustability of system controls	4
17	Accommodations for after-hours use	4
18	Other owner requirements (e.g. natural ventilation, daylight, views, etc.)	4

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(Rev. 01/01/20) Page 1 of 2 www.ladbs.org

EQUIPMENT AND SYSTEMS EXPECTATIONS		
19	Level of quality, reliability, equipment type, flexibility, maintenance, and complexity desired	4
20	Specific efficiency targets, desired technologies, or preferred manufacturers for building systems, acoustics and vibration	4
21	Degree of system integration, automation, and functionality for controls (i.e. load shedding, demand response, energy management)	4
BUILDING OCCUPANT AND O&M PERSONNEL EXPECTATIONS		
22	Description of how the building will be operated and by whom	4
23	Level of training and orientation required to understand, operate and use the building systems for building operation and maintenance staff, as well as occupants	4
24	Building operation and maintenance staff location and capabilities	4
COMMISSIONING AGENT INFORMATION		
25	Name of Commissioning Agency: Argento/Graham	
26	Address of Agency: 500 S Grand Suite 1180 Los Angeles, CA 90071	
27	Contact person(s) Name(s): Bobby Almeida	

Owner/Owner Representative Acknowledgement

Owner's Project Requirements (OPR). The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. The OPR includes the elements listed above and have been approved by the Owner or Owner Representative.

Name: David Wang Owner Owner Representative

Company Name (if applicable): _____

Signature: David Wang Date: 7/20/2021

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(Rev. 01/01/20) Page 2 of 2 www.ladbs.org

LA DBS Commissioning Measures In Construction Documents **FORM GRN 22**
 2020 Los Angeles Green Building Code and 2019 California Energy Code

COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS

Project Address: 18210 Sherman Way Permit Number: _____

ITEM #	Commissioning Measures Items
1	Measures shown in the specifications and cross referenced
2	List of commissioned equipment and systems
3	Cx roles and responsibilities of all parties
4	Meeting requirements
5	Commissioning schedule management procedures
6	Procedures for addressing outstanding issues or non-compliance
7	Requirements for execution and documentation of installation and equipment start up
8	Specific testing requirements for each system type
9	Submittal review and approval requirements
10	Contents and approval process of the commissioning plan
11	Cx documentation and reporting requirements
12	Facility staff training requirements and verification procedures
13	O & M manual review and approval procedures
14	Systems manual development and approval procedures
15	Definitions

Commissioning Agent Acknowledgment

I have reviewed the applicable construction documents listed above and verified their compliance with the owner's project requirements, basis of design, and commissioning plan.

Name: Bobby Almeida

Company Name (if applicable): Argento/Graham

Agent's signature: Bobby Almeida Date: 4/7/2021

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(Rev. 01/01/20) Page 1 of 1 www.ladbs.org

ADD'L GRN PLAN CHECK COMMISSIONING NOTES:

AFTER FUNCTIONAL PERFORMANCE TESTS ARE CONCLUDED, FORM GRN 24 SHALL BE COMPLETED AND READILY AVAILABLE TO THE FIELD INSPECTOR PRIOR TO FINAL APPROVAL. (5.410.2.4)

ALL OPERATIONAL ASPECTS OF THE BUILDING SHALL BE DOCUMENTED WITHIN A SYSTEMS MANUAL. THIS SYSTEMS MANUAL SHALL BE DELIVERED TO THE OWNER OR REPRESENTATIVE. (5.410.2.5.1)

THE TRAINING FOR THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DOCUMENTED IN THE COMMISSIONING REPORT. (5.410.2.5.2)

FORM GRN 25 SHALL BE COMPLETED AND READILY AVAILABLE TO THE FIELD INSPECTOR PRIOR TO FINAL APPROVAL.

A COMPLETE COMMISSIONING REPORT AND FORM GRN 26 (COMPLETED) SHALL BE PROVIDED TO THE OWNER OR REPRESENTATIVE AND WILL BE READILY AVAILABLE TO THE FIELD INSPECTOR PRIOR TO THE FINAL APPROVAL. (5.410.2.6. 5.410.4.4)

THE THIRD PARTY COMMISSIONING AGENT'S INFORMATION IS ON THE COVER SHEET AND HAS BEEN HIRED BY THE OWNER.

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

DATE: _____

WORK ORDER NO. E170121B

SHEET NAME **A0.14**
SHEET X OF X SHEETS

SHEET TITLE: GREEN BUILDING FORMS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

INDEX NO. _____

CIP NO. _____

REVISIONS: _____


DATE: _____

CITY ENGINEER: _____

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	
5.304.1	OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. NONRESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.			3. IDENTIFIES DIVERSION FACILITIES WHERE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN.			5.501.1	SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUANTITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING, AND/OR HARMFUL TO THE COMFORT AND WELL-BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND NEIGHBORS.					5.504.4.1	CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350).		
	NOTES:		5.408.1.2	WASTE MANAGEMENT COMPANY. UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION.			SECTION 5.502 DEFINITIONS						5.504.4.2	SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEB-SITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODCEHLBIAQ/PAGES/NOCC.ASP#X/MATERIAL		
	1. THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IS LOCATED IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 23, CHAPTER 2.7, DIVISION 2.			NOTE: THE OWNER OR CONTRACTOR SHALL MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.			5.502.1	DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2.					5.504.4.5	CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.		
	2. MWELO AND SUPPORTING DOCUMENTS, INCLUDING A WATER BUDGET CALCULATOR, ARE AVAILABLE AT: HTTPS://WWW.WATER.CA.GOV/			NOTE: THE OWNER OR CONTRACTOR SHALL MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.				ARTERIAL HIGHWAY.					TABLE 5.504.4.2	COMPOSITE WOOD PRODUCTS. HARDWOOD PLY-WOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.). THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN TABLE 5.504.4.5.		
5.304.6	OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, LANDSCAPE PROJECTS AS DESCRIBED IN SECTIONS 5.304.6.1 AND 5.304.6.2 SHALL COMPLY WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) COMMENCING WITH SECTION 490 OF CHAPTER 2.7, DIVISION 2, TITLE 23, CALIFORNIA CODE OF REGULATIONS, EXCEPT THAT THE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETA) SHALL BE 0.65 WITH AN ADDITIONAL WATER ALLOWANCE FOR SPECIAL LANDSCAPE AREAS (SLA) OF 0.35			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				EXCAVATED SOIL AND LAND-CLEARING DEBRIS.					TABLE 5.504.4.2	COMPOSITE WOOD PRODUCTS. HARDWOOD PLY-WOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.). THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN TABLE 5.504.4.5.		
			5.408.1.3	EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				1BTU/HOUR.					TABLE 5.504.4.5	COMPOSITE WOOD PRODUCTS. HARDWOOD PLY-WOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.). THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN TABLE 5.504.4.5.		
5.304.6.1	NEWLY CONSTRUCTED LANDSCAPES. NEW CONSTRUCTION PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET.		5.408.1.4	NEWLY CONSTRUCTED LANDSCAPES. NEW CONSTRUCTION PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET.				COMMUNITY NOISE EQUIVALENT LEVEL (CNEL).								
5.304.6.2	REHABILITATED LANDSCAPES. REHABILITATED LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 1,200 SQUARE FEET.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				COMPOSITE WOOD PRODUCTS.								
SECTION 5.305	WATER REUSE SYSTEMS (RESERVED)			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				DAY-NIGHT AVERAGE SOUND LEVEL (LDN).								
SECTION 5.401	GENERAL			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				DECIBEL (DB).								
5.401.1	SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF ACHIEVING MATERIAL CONSERVATION AND RESOURCE EFFICIENCY THROUGH PROTECTION OF BUILDINGS FROM EXTERIOR MOISTURE, CONSTRUCTION WASTE DIVERSION, EMPLOYMENT OF TECHNIQUES TO REDUCE POLLUTION THROUGH RECYCLING OF MATERIALS, AND BUILDING-COMMISSIONING OR TESTING AND ADJUSTING.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				ENERGY EQUIVALENT (NOISE) LEVEL (LEQ).								
SECTION 5.402	DEFINITIONS			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				EXPRESSWAY.								
5.402.1	DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				FREEWAY.								
	ADJUST.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				GLOBAL WARMING POTENTIAL (GWP).								
	BALANCE.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				GLOBAL WARMING POTENTIAL VALUE (GWP VALUE).								
	BUILDING COMMISSIONING.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				HIGH-GWP REFRIGERANT.								
	ORGANIC WASTE.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				LONG RADIUS ELBOW.								
	TEST.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				LOW-GWP REFRIGERANT.								
SECTION 5.403	FOUNDATION SYSTEMS (RESERVED)			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				MERV.								
SECTION 5.404	EFFICIENT FRAMING TECHNIQUES (RESERVED)			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				MAXIMUM INCREMENTAL REACTIVITY (MIR). PRODUCT-WEIGHTED MIR (PMMIR).								
SECTION 5.405	MATERIAL SOURCES (RESERVED)			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				PSIG.								
SECTION 5.406	ENHANCED DURABILITY AND REDUCED MAINTENANCE (RESERVED)			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				REACTIVE ORGANIC COMPOUND (ROC). SCHRADER ACCESS VALVES.								
SECTION 5.407	WATER RESISTANCE AND MOISTURE MANAGEMENT			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				SHORT RADIUS ELBOW.								
5.407.1	WEATHER PROTECTION. PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CALIFORNIA BUILDING CODE SECTION 1402.2 (WEATHER PROTECTION). MANUFACTURER'S INSTALLATION INSTRUCTIONS OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				SUPERMARKET.								
				EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.				VOC.								
5.407.2	MOISTURE CONTROL. EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS:			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
5.407.2.1	SPRINKLERS. DESIGN AND MAINTAIN LANDSCAPE IRRIGATION SYSTEMS TO PREVENT SPRAY ON STRUCTURES.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
5.407.2.2	ENTRIES AND OPENINGS. DESIGN EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC OR WIND-DRIVEN RAIN TO PREVENT WATER INTRUSION INTO BUILDINGS AS FOLLOWS:			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
5.407.2.2.1	EXTERIOR DOOR PROTECTION. PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE FOLLOWING:			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
	1. AN INSTALLED AWNING AT LEAST 4 FEET IN DEPTH.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
	2. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
	3. THE DOOR IS RECESSED AT LEAST 4 FEET.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
	4. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
5.407.2.2.2	FLASHING. INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
SECTION 5.408	CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
5.408.1	CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3. OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
				EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
5.408.1.1	CONSTRUCTION WASTE MANAGEMENT PLAN. WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT:			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
	1. IDENTIFIES THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY EFFICIENT USAGE, RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
	2. DETERMINES IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).			EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												
				EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.												

ENGINEERING

CITY OF LOS ANGELES



Professional Engineer
C21812
RENEWED 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

GREEN BUILDING NOTES
RESEDA SKATE FACILITY

18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

CITY ENGINEER
GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO.
E170121B

SHEET NAME
A0.16

SHEET X OF X SHEETS

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
K											5.507.4	ACOUSTICAL CONTROL. EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E90 AND ASTM E413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2.		5.508.2.2	VALVES, VALVES AND FITTINGS SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE AND AS FOLLOWS.	
J											5.507.4.1	EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH AS FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS. EXCEPTION: DSA-SS FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, THE REQUIREMENTS OF THIS SECTION AND ALL SUBSECTIONS APPLY ONLY TO NEW CONSTRUCTION.		5.508.2.2.1	PRESSURE RELIEF VALVES. FOR VESSELS CONTAINING HIGH-GWP REFRIGERANT, A RUPTURE DISC SHALL BE INSTALLED BETWEEN THE OUTLET OF THE VESSEL AND THE INLET OF THE PRESSURE RELIEF VALVE.	
I														5.508.2.2.1.1	PRESSURE DETECTION. A PRESSURE GAUGE, PRESSURE TRANSDUCER OR OTHER DEVICE SHALL BE INSTALLED IN THE SPACE BETWEEN THE RUPTURE DISC AND THE RELIEF VALVE INLET TO INDICATE A DISC RUPTURE OR DISCHARGE OF THE RELIEF VALVE.	
H														5.508.2.2.2	ACCESS VALVES. ONLY SCHRAEDER ACCESS VALVES WITH A BRASS OR STEEL BODY ARE PERMITTED FOR USE.	
G														5.508.2.2.2.1	VALVE CAPS. FOR SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR MORE, VALVE CAPS SHALL BE BRASS OR STEEL AND NOT PLASTIC.	
F														5.508.2.2.2.2	SEAL CAPS. IF DESIGNED FOR IT, THE CAP SHALL HAVE A NEOPRENE O-RING IN PLACE.	
E														5.508.2.2.2.1	CHAIN TETHERS. CHAIN TETHERS TO FIT OVER THE STEM ARE REQUIRED FOR VALVES DESIGNED TO HAVE SEAL CAPS.	
D														5.508.2.3	EXCEPTION: VALVES WITH SEAL CAPS THAT ARE NOT REMOVED FROM THE VALVE DURING STEM OPERATION.	
C														5.508.2.3.1	REFRIGERATED SERVICE CASES. REFRIGERATED SERVICE CASES HOLDING FOOD PRODUCTS CONTAINING VINEGAR AND SALT SHALL HAVE EVAPORATOR COILS OF CORROSION-RESISTANT MATERIAL, SUCH AS STAINLESS STEEL, OR BE COATED TO PREVENT CORROSION FROM THESE SUBSTANCES.	
B														5.508.2.4	COIL COATING. CONSIDERATION SHALL BE GIVEN TO THE HEAT TRANSFER EFFICIENCY OF COIL COATING TO MAXIMIZE ENERGY EFFICIENCY.	
A														5.508.2.5	REFRIGERANT RECEIVERS. REFRIGERANT RECEIVERS WITH CAPACITIES GREATER THAN 200 POUNDS SHALL BE FITTED WITH A DEVICE THAT INDICATES THE LEVEL OF REFRIGERANT IN THE RECEIVER.	


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REVISION DATES (DESIGN STAGE ONLY)

Sheet Version 4.0

ENGINEERING

CITY OF LOS ANGELES



LICENSED ARCHITECT

LAWRENCE SOMPA

C21812

REN 10/31/2023

STATE OF CALIFORNIA

VERTICAL CONTROL:

HORIZONTAL CONTROL:

SHEET TITLE: GREEN BUILDING NOTES

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

NO. / REVISIONS:

/	NO.	REVISIONS:	DATE:	BY:

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP

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ENGINEER:

DESIGNED BY:

DRAWN BY:

CHECKED BY:

APPROVED BY:

WORK ORDER NO. E170121B

SHEET NAME: A0.17

SHEET X OF X SHEETS

DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED


	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
K	COMMERCIAL ACCESSIBILITY NOTES (Based on the 2016 CALIFORNIA BUILDING CODE (CBC) and Chapter 11B-ACCESSIBILITY TO PUBLIC BUILDINGS, PUBLIC ACCOMMODATIONS AND COMMERCIAL BUILDINGS.					11	AT DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE. KNEE CLEARANCE SHALL EXTEND 19 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND. §11B-306.3		6	IN EXISTING BUILDINGS THAT EXCEED 10,000 SQUARE FEET ON ANY FLOOR AND IN WHICH ELEVATORS ARE REQUIRED BY 11B-206.2.3 MULTI-STORY BUILDINGS AND FACILITIES, WHEREVER A NEWLY CONSTRUCTED MEANS OF VERTICAL ACCESS IS PROVIDED VIA STAIRS OR AN ESCALATOR, AN ACCESSIBLE MEANS OF VERTICAL ACCESS VIA RAMP, ELEVATOR, OR LIFT SHALL BE PROVIDED WITHIN 200 FEET OF TRAVEL OF EACH NEW STAIR OR ESCALATOR. §11B-206.2.3.2		29	DOORS, DOORWAYS AND GATES			
	APPLICATION AND ADMINISTRATION					12	PROTRUDING OBJECTS EXCEPT FOR HANDRAILS, OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND NOT MORE THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE NO MORE THAN 4 INCHES HORIZONTALLY INTO THE CIRCULATION PATH. HANDRAILS MAY PROTRUDE 4 1/4 INCHES MAXIMUM. §11B-307.2, FIGURE 11B-307.2		7	AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING OR FACILITY, INCLUDING MEZZANINES, WHICH ARE OTHERWISE CONNECTED BY A CIRCULATION PATH. §11B-206.2.4 (SEE EXCEPTIONS 1 THROUGH 7)		30	DOORS, DOORWAYS, AND GATES PROVIDING USER PASSAGE SHALL BE PROVIDED IN ACCORDANCE WITH 11B-206.5			
	THE STATE OF CALIFORNIA DELEGATES TO THE LOCAL JURISDICTION THE AUTHORITY TO ENSURE COMPLIANCE WITH TITLE 24, PART 2 OF THE CALIFORNIA CODE OF REGULATIONS. THE OWNER(S) OF THIS BUILDING IS RESPONSIBLE FOR COMPLIANCE WITH THE MOST CURRENT FEDERAL REGULATIONS CONTAINED IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND FAIR HOUSING ACT (FHA), WHERE THE ADA & FHA REQUIREMENTS EXCEED THOSE CONTAINED IN TITLE 24, PART 2. IT IS THE OWNERS RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE MOST CURRENT ADA & FHA REGULATIONS.					13	FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS NO MORE THAN 12 INCHES WHEN LOCATED FROM 27 TO 80 INCHES ABOVE THE FINISH FLOOR OR GROUND. §11B-307.3, FIGURE 11B-307.3		8	ACCESSIBLE ROUTES SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS. WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL ALSO BE INTERIOR. AN ACCESSIBLE ROUTE SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES, EXCEPT AS PERMITTED BY CHAPTER 10. §11B-206.3		31	DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH 11B-404 DOORS, DOORWAYS, AND GATES. §11B-404.1			
	A. APPLICATION AND ADMINISTRATION AND SCOPING REQUIREMENTS					14	PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES. §11B-307.5		9	EMPLOYEE WORKSTATIONS EMPLOYEE WORKSTATIONS SHALL BE ON AN ACCESSIBLE ROUTE PER 11B-203.9. SPACES AND ELEMENTS WITHIN EMPLOYEE WORKSTATIONS SHALL ONLY BE REQUIRED TO COMPLY WITH SECTIONS 11B-207.1 (MEANS OF EGRESS), 11B-215.3 (AUDIBLE ALARM COVERAGE), 11B-302 (FLOOR OR GROUND SURFACES), 11B-303 (CHANGES IN LEVEL), 11B-308.1.1 (ELECTRICAL SWITCHES), 11B-308.1.2 (ELECTRICAL RECEPTACLE OUTLETS) AND 11B-404.2.3 (DOOR CLEAR WIDTH) UNLESS EXEMPTED BY OTHER PARTS OF THE CODE. COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORKSTATIONS SHALL COMPLY WITH SECTION 11B-206.2.8. §11B-203.9		32	REVOLVING DOORS, REVOLVING GATES, AND TURNSTILES SHALL NOT BE PART OF AN ACCESSIBLE ROUTE. §11B-402.2.1			
	PUBLIC ACCOMMODATIONS SHALL MAINTAIN IN OPERABLE WORKING CONDITION THOSE FEATURES OF FACILITIES AND EQUIPMENT THAT ARE REQUIRED TO BE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES. ISOLATED OR TEMPORARY INTERRUPTIONS IN SERVICE OR ACCESSIBILITY DUE TO MAINTENANCE OR REPAIRS SHALL BE PERMITTED. §11B-108.					15	FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS 12 INCHES MAXIMUM WHEN LOCATED 27 INCHES MINIMUM AND 80 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. §11B-307.3, FIGURE 11B-307.3		10	MACHINERY SPACES SPACES FREQUENTED ONLY BY SERVICE PERSONNEL FOR MAINTENANCE, REPAIR OR OCCASIONAL MONITORING OF EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH THESE REQUIREMENTS OR TO BE ON AN ACCESSIBLE ROUTE. MACHINERY SPACES INCLUDE, BUT ARE NOT LIMITED TO, ELEVATOR PITTS OR ELEVATOR PENTHOUSES, MECHANICAL, ELECTRICAL OR COMMUNICATIONS EQUIPMENT ROOMS, ETC. §11B-203.5		33	AT LEAST ONE OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH 11B-404.2.3 CLEAR WIDTH AND 11B-404.2.4 MANEUVERING CLEARANCES. §11B-404.2.2			
	WHEN ALTERATIONS OR ADDITIONS ARE MADE TO EXISTING BUILDINGS OR FACILITIES, AN ACCESSIBLE PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION OR ADDITION SHALL BE PROVIDED UNLESS OTHERWISE EXEMPT. PRIMARY ACCESSIBLE PATH OF TRAVEL SHALL INCLUDE A PRIMARY ENTRANCE TO THE BUILDING OR FACILITY, TOILET AND BATHING FACILITIES SERVING THE AREA, DRINKING FOUNTAINS SERVING THE AREA, PUBLIC TELEPHONES SERVING THE AREA, AND SIGNS. §11B-202.4					16	VERTICAL CLEARANCE SHALL BE 80 INCHES HIGH MINIMUM. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. §11B-307.4, FIGURE 11B-307.4		11	OMIT.		34	DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES. §11B-404.2.3 EXCEPTION 1: IN ALTERATIONS, A PROJECTION OF 5/8" MAXIMUM INTO THE REQUIRED CLEAR WIDTH SHALL BE PERMITTED FOR THE LATCH-SIDE STOP. EXCEPTION 2: DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND.			
	WHEN THE ADJUSTED CONSTRUCTION COST IS LESS THAN OR EQUAL TO THE CURRENT VALUATION THRESHOLD, THE COST OF COMPLIANCE WITH SECTION 11B-202.4 IS LIMITED TO 20 PERCENT OF THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS. WHEN THE COST OF FULL COMPLIANCE WOULD EXCEED 20%, COMPLIANCE SHALL BE PROVIDED TO THE GREATEST EXTENT POSSIBLE WITHOUT EXCEEDING 20% IF IT IS DETERMINED BY THE ENFORCING AGENCY THAT THE COST OF COMPLIANCE WITH SECTION 11B-204 IS AN UNREASONABLE BURDEN. §11B-202.4					17	WHERE A GUY SUPPORT IS USED WITHIN EITHER THE WIDTH OF A CIRCULATION PATH OR 24 INCHES MAXIMUM OUTSIDE OF A CIRCULATION PATH, A VERTICAL GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT A HAZARD OR AN OVERHEAD OBSTRUCTION. §11B-307.4.1, FIGURE 11B-307.4.1		12	DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE ALL REQUIRED DETECTABLE WARNINGS ON SHALL BE IN COMPLIANCE WITH THE SELECTED ITEMS BELOW. §11B-247 & §11B-705		35	MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 11B-404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE. §11B-404.2.4			
	ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS AND ADDITIONS DOES NOT INCLUDE THE COST OF ALTERATIONS TO PATH OF TRAVEL ELEMENTS. §11B-202.4					18	PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES. §11B-307.5		13	CURB RAMPS SHALL HAVE DETECTABLE WARNINGS THAT EXTEND 36 INCHES IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH OF THE RAMP RUN LESS THAN 2 INCHES MAXIMUM ON EACH SIDE, EXCLUDING ANY FLARED SIDES. §11B-247.1.2.2, §11B-705.1.2.2		36	SWINGING DOORS AND GATES SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH §11B-404.2.4.1.			
	IN CHOOSING WHICH ACCESSIBLE ELEMENTS TO PROVIDE, PRIORITY SHOULD BE GIVEN TO THOSE ELEMENTS THAT WILL PROVIDE THE GREATEST ACCESS IN THE FOLLOWING ORDER: 1)AN ACCESSIBLE ENTRANCE; 2)AN ACCESSIBLE ROUTE TO THE ALTERED AREA; 3)AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR A SINGLE ACCESSIBLE UNISEX RESTROOM; 4)ACCESSIBLE TELEPHONES; 5)ACCESSIBLE DRINKING FOUNTAINS; AND 6)WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, STORAGE, AND ALARMS. §11B-202.4					19	ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES EXCEPT THE LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. §11B-308.1.1		14	ON PERPENDICULAR CURB RAMPS, DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE LINE AT THE FACE OF THE CURB MARKING THE TRANSITION BETWEEN THE CURB AND THE GUTTER, STREET OR HIGHWAY. §11B-247.1.2.2, §11B-705.1.2.2		37	DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS, OR FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH §11B-404.2.4.2			
	ALTERATIONS TO QUALIFIED HISTORIC BUILDING OR FACILITY SHALL COMPLY WITH CHAPTER 11B UNLESS IT WILL THREATEN OR DESTROY THE HISTORICAL SIGNIFICANCE OR CHARACTER-DEFINING FEATURES OF THE BUILDING OR PROPERTY. IN THOSE CASES, ALTERNATIVE PROVISIONS SHALL BE APPLIED ON AN ITEM-BY-ITEM OR CASE-BY-CASE BASIS WITH SUFFICIENT WRITTEN DOCUMENTATION. §11B-202.5, §11B-202.5, §11B-202.5					20	HIGH FORWARD REACH THAT IS UNOBSTRUCTED SHALL BE 48 INCHES MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. §11B-308.2.1, FIGURE 11B-308.2.1		15	ON PARALLEL CURB RAMPS, DETECTABLE WARNINGS SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN THE STREET AND SIDEWALK. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN THE STREET AND THE SIDEWALK LESS 2 INCHES MAXIMUM ON EACH SIDE. §11B-247.1.2.2, §11B-705.1.2.2, FIGURE 11B-406.3.2		38	THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/4 INCH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH 11B-302 FLOOR OR GROUND SURFACES AND 11B-303 CHANGES IN LEVEL. §11B-404.2.5			
FOR NEW CONSTRUCTION, AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER DROP-OFF AND LOADING ZONES, PUBLIC STREETS AND SIDEWALKS AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. §11B-206.					21	HIGH FORWARD REACH SHALL BE 48 INCHES MAXIMUM WHERE THE REACH DEPTH IS 20 INCHES MAXIMUM. HIGH FORWARD REACH SHALL BE 44 INCHES MAXIMUM WHERE THE REACH DEPTH EXCEEDS 20 INCHES AND IS A MAXIMUM OF 25 INCHES IN DEPTH. §11B-308.2.2, FIGURE 11B-308.2.2		16	ISLANDS OR CUT-THROUGH MEDIANS SHALL HAVE DETECTABLE WARNINGS THAT ARE 36 INCHES MINIMUM IN DEPTH EXTENDING THE FULL WIDTH OF THE PEDESTRIAN PATH OR CUT-THROUGH LESS 2 INCHES MAXIMUM ON EACH SIDE, PLACED AT THE EDGES OF THE PEDESTRIAN ISLAND OR CUT-THROUGH MEDIAN, AND SHALL BE SEPARATED BY 24 INCHES MINIMUM OF WALKING SURFACE WITHOUT DETECTABLE WARNINGS. §11B-247.1.2.3, §11B-705.1.2.3		39	HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 11B-309.4 OPERATION. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. §11B-404.2.7				
B. BUILDING BLOCKS					22	HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM AND THE LOW SIDE REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR WHERE THE SIDE REACH IS UNOBSTRUCTED OR THE DEPTH OF ANY OBSTRUCTION DOES NOT EXCEED 10 INCHES. §11B-308.3.1, FIGURE 11B-308.3.1		17	DETECTABLE WARNINGS PROVIDED TO SEPARATE WALKS THAT CROSS OR ADJOIN A ROUTE PROVIDED FOR VEHICULAR TRAFFIC, SUCH AS IN A STREET, DRIVEWAY, OR PARKING FACILITY, SHALL BE SEPARATED BY DETECTABLE WARNINGS, CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS. §202, §11B-247.1.2.5, §11B-705.1.2.5		40	THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE AS FOLLOWS: §11B-404.2.9				
FLOOR OR GROUND SURFACES					23	WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE HIGH SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34 INCHES MAXIMUM AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24 INCHES MAXIMUM. THE HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM FOR A REACH DEPTH OF 10 INCHES MAXIMUM. WHERE THE REACH DEPTH EXCEEDS 10 INCHES, THE HIGH SIDE REACH SHALL BE 46 INCHES MAXIMUM FOR A REACH DEPTH OF 24 INCHES MAXIMUM. §11B-308.3.2, FIGURE 11B-308.3.2		18	DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES PER 11B-705 AND SHALL BE SPACED PER 11B-705.1.1.2. DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE FS 353538 OF FEDERAL STANDARD 596C. §11B-705.1.1.3.1		41	INTERIOR HINGED DOORS AND GATES: 5 POUNDS MAXIMUM.				
FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. §11B-302.1					24	EXCEPTION 1- THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR. §11B-308.3.2		19	ENTRANCES ENTRANCES SHALL BE PROVIDED IN ACCORDANCE WITH 11B-206.4. ALL ENTRANCES, ENTRANCE DOORS, DOORWAYS, AND GATES AND ALL EXTERIOR GROUND-FLOOR EXITS TO BUILDINGS AND FACILITIES SHALL COMPLY WITH 11B-404, EXCEPT EXTERIOR GROUND FLOOR EXITS SERVING SMOKE-PROOF ENCLOSURES, STAIRWELLS AND EXIT DOORS SERVING STAIRS ONLY, ENTRANCE DOORS, DOORWAYS, AND GATES AND SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH 11B-402 ACCESSIBLE ROUTES. §11B-206.4		42	SLIDING OR FOLDING DOORS: 5 POUNDS MAXIMUM.				
CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. PILE HEIGHT SHALL BE 1/2 INCH MAXIMUM. §11B-302.2, FIGURE 11B-302.2					25	OPERABLE PARTS OPERABLE PARTS SHALL BE PLACED WITHIN OR MORE OF THE ACCESSIBLE REACH RANGES AND SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM. §11B-309.4		20	WHERE DIRECT ACCESS IS PROVIDED FOR PEDESTRIANS FROM A PARKING STRUCTURE TO A BUILDING OR FACILITY ENTRANCE, EACH DIRECT ACCESS TO THE BUILDING OR FACILITY ENTRANCE SHALL COMPLY WITH 11B-404 DOORS, DOORWAYS, AND GATES. §11B-206.4.2		43	REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.				
CHANGES IN LEVEL					26	GENERAL AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES-PUBLIC STREETS AND SIDEWALKS-AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. §11B-206.2.1. EXCEPTIONS: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESSES. GENERAL CIRCULATION PATHS SHALL BE PERMITTED WHEN LOCATED IN CLOSE PROXIMITY TO AN ACCESSIBLE ROUTE.		21	TECHNICAL REQUIREMENTS FOR ACCESSIBLE ROUTES ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20 (5%), DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM LIFTS. §11B-402.2		44	EXTERIOR HINGED DOORS: 5 POUNDS MAXIMUM.				
VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT, CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. §11B-303, FIGURES 11B-303.2 & 11B-303.3					27	AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. §11B-206.2.2. EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS.		22	THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2.083%). §11B-403.3		45	SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. §11B-404.2.10				
CHANGES IN LEVEL GREATER THAN 1/2 INCH IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS OF 11B-405 RAMPS OR 11B-406 CURB RAMPS AS APPLICABLE. §11B-303					28	AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT EACH STORY AND MEZZANINE IN MULTI-STORY BUILDINGS AND FACILITIES. §11B-206.2.3 (SOME EXCEPTIONS APPLY, REFER TO CODE)		23	EXCEPT AT TURNS OR PASSING SPACES, THE CLEAR WIDTH OF WALKING SURFACES SHALL BE 36 INCHES MINIMUM. §11B-403.5.1 NOTE: A GREATER WIDTH MAY BE REQUIRED BY OTHER PARTS OF THE CODE AND AS NOTED BELOW:		46	INTERIOR HINGED DOORS AND GATES: 5 POUNDS MAXIMUM.				
TURNING SPACE					29	IN ALTERATIONS OR ADDITIONS, WHERE AN ESCALATOR OR STAIR IS PROVIDED WHERE NONE EXISTED PREVIOUSLY AND MAJOR STRUCTURAL MODIFICATIONS ARE NECESSARY FOR THE INSTALLATION, AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE LEVELS SERVED BY THE ESCALATOR OR STAIR UNLESS EXEMPTED BY 11B-206.2.3 EXCEPTIONS 1-7.		24	THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. §11B-403.5.1 EXCEPTION 2		47	REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.				
ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE OR BY GUARDS OR HANDRAILS WITH A GUIDE RAIL, CENTERED 2 INCHES MINIMUM AND 4 INCHES MAXIMUM ABOVE THE SURFACE OF THE WALK OR SIDEWALK. THESE REQUIREMENTS DO NOT APPLY BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY. §11B-303.5					30	IN ALTERATIONS OR ADDITIONS, WHERE AN ESCALATOR OR STAIR IS PROVIDED WHERE NONE EXISTED PREVIOUSLY AND MAJOR STRUCTURAL MODIFICATIONS ARE NECESSARY FOR THE INSTALLATION, AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE LEVELS SERVED BY THE ESCALATOR OR STAIR UNLESS EXEMPTED BY 11B-206.2.3 EXCEPTIONS 1-7.		25	THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. §11B-403.5.1 EXCEPTION 2		48	EXTERIOR HINGED DOORS: 5 POUNDS MAXIMUM.				
CHANGES IN LEVEL					31	GENERAL AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES-PUBLIC STREETS AND SIDEWALKS-AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. §11B-206.2.1. EXCEPTIONS: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESSES. GENERAL CIRCULATION PATHS SHALL BE PERMITTED WHEN LOCATED IN CLOSE PROXIMITY TO AN ACCESSIBLE ROUTE.		32	DIRECT CONNECTIONS TO OTHER FACILITIES SHALL PROVIDE AN ACCESSIBLE ROUTE COMPLYING WITH 11B-404 DOORS, DOORWAYS, AND GATES FROM THE POINT OF CONNECTION TO BOARDING PLATFORMS AND ALL TRANSPORTATION SYSTEM ELEMENTS REQUIRED TO BE ACCESSIBLE. ANY ELEMENTS PROVIDED TO FACILITATE FUTURE DIRECT CONNECTIONS SHALL BE ON AN ACCESSIBLE ROUTE CONNECTING BOARDING PLATFORMS AND ALL TRANSPORTATION SYSTEM ELEMENTS REQUIRED TO BE ACCESSIBLE. §11B-206.4.2 (SEE EXCEPTION)		49	REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.				
VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT, CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. §11B-303, FIGURES 11B-303.2 & 11B-303.3					33	AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. §11B-206.2.2. EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS.		33	THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2.083%). §11B-403.3		50	SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. §11B-404.2.10				
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CHANGES IN LEVEL					35	IN ALTERATIONS OR ADDITIONS, WHERE AN ESCALATOR OR STAIR IS PROVIDED WHERE NONE EXISTED PREVIOUSLY AND MAJOR STRUCTURAL MODIFICATIONS ARE NECESSARY FOR THE INSTALLATION, AN ACCESSIBLE ROUTE SHALL BE PROVIDED BETWEEN THE LEVELS SERVED BY THE ESCALATOR OR STAIR UNLESS EXEMPTED BY 11B-206.2.3 EXCEPTIONS 1-7.		35	THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. §11B-403.5.1 EXCEPTION 2		52	EXTERIOR HINGED DOORS: 5 POUNDS MAXIMUM.				
VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT, CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. §11B-303, FIGURES 11B-303.2 & 11B-303.3					36	AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES-PUBLIC STREETS AND SIDEWALKS-AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. §11B-206.2.1. EXCEPTIONS: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESSES. GENERAL CIRCULATION PATHS SHALL BE PERMITTED WHEN LOCATED IN CLOSE PROXIMITY TO AN ACCESSIBLE ROUTE.		36	THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. §11B-403.5.1 EXCEPTION 2		53	REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.				
CHANGES IN LEVEL GREATER THAN 1/2 INCH IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS OF 11B-405 RAMPS OR 11B-406 CURB RAMPS AS APPLICABLE. §11B-303					37	AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES-PUBLIC STREETS AND SIDEWALKS-AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. §11B-206.2.1. EXCEPTIONS: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESSES. GENERAL CIRCULATION PATHS SHALL BE PERMITTED WHEN LOCATED IN CLOSE PROXIMITY TO AN ACCESSIBLE ROUTE.		37	THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. §11B-403.5.1 EXCEPTION 2		54	REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.				
CHANGES IN LEVEL					38	AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES-PUBLIC STREETS AND SIDEWALKS-AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. §11B-206.2.1. EXCEPTIONS: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESSES. GENERAL CIRCULATION PATHS SHALL BE PERMITTED WHEN LOCATED IN CLOSE PROXIMITY TO AN ACCESSIBLE ROUTE.		38	THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM. §11B-403.5.1 EXCEPTION 2		55	REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.				
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
56	RAMP RUNS SHALL HAVE COMPLIANT HANDRAILS PER 11B-505 HANDRAILS. §11B-405.8 PER EXCEPTION 3, CURB RAMPS DO NOT REQUIRE HANDRAILS AND PER EXCEPTION 4, AT DOOR LANDINGS, HANDRAILS ARE NOT REQUIRED ON RAMP RUNS LESS THAN 6 INCHES IN RISE OR 72 INCHES IN LENGTH.	80	PERPENDICULAR RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (8.33%). §11B-406.2.1	13	CAR AND VAN STALL ACCESS AISLE SHALL BE 5 FOOT WIDE MINIMUM AND SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. §11B-502.3, FIGURES 11B-502.2 AND 11B-502.3.	32	VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM, AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SHALL PROVIDE A VERTICAL CLEARANCE OF 114 INCHES (9 FEET, 6 INCHES) MINIMUM. §11B-503.5								
57	EDGE PROTECTION COMPLYING WITH 11B-405.2 CURB OR BARRIER SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDINGS. §11B-405.9 (SEE EXCEPTIONS)	81	FOR PERPENDICULAR RAMPS, WHERE PROVIDED, CURB RAMP FLARES SHALL NOT BE STEEPER THAN 1:10. §11B-406.2, FIGURE 11B-406.2.2	14	ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH. §11B-502.3.3, FIGURE 11B-502.3.3.	33	EACH PASSENGER LOADING ZONE DESIGNATED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED WITH A REFLECTORIZED SIGN COMPLYING WITH SECTION 11B-703.5 VISUAL CHARACTERS. IT SHALL BE PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM THE PASSENGER LOADING ZONE STATING PASSENGER LOADING ZONE ONLY AND INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) COMPLYING WITH SECTION 11B-703.7.2.1 ISA.								
58	A CURB OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCHES OF THE FINISH FLOOR OR GROUND SURFACE. TO PREVENT WHEEL ENTRAPMENT, THE CURB OR BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER ALONG THE LENGTH OF THE RAMP. §11B-405.9.2	82	THE RUNNING SLOPE OF THE CURB RAMP SEGMENTS SHALL BE IN-LINE WITH THE DIRECTION OF SIDEWALK TRAVEL. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (8.33%). §11B-406.3.1, FIGURE 11B-406.3.2	15	ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES. §11B-502.3.4	E. PLUMBING FIXTURES AND FACILITIES									
59	LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. §11B-405.10	83	A TURNING SPACE 48 INCHES MINIMUM BY 48 INCHES MINIMUM SHALL BE PROVIDED AT THE BOTTOM OF THE CURB RAMP. THE SLOPE OF THE TURNING SPACE IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM (2.083%). §11B-406.3.2	16	PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH SECTION 11B-302. PROVIDE A MINIMUM VERTICAL CLEARANCE OF 8 FEET 2 INCHES AND ALONG AT LEAST ONE VEHICLE ACCESS ROUTE TO SUCH SPACES FROM SITE ENTRANCES AND EXITS. §11B-502.5	1	DRINKING FOUNTAINS WHERE DRINKING FOUNTAINS ARE PROVIDED, NO FEWER THAN TWO DRINKING FOUNTAINS SHALL BE PROVIDED. WHEN PROVIDED, ONE DRINKING FOUNTAIN SHALL COMPLY WITH 11B-602.1 THROUGH 11B-602.6, 11B-602.8 AND 11B-602.9 AND ONE DRINKING FOUNTAIN SHALL COMPLY WITH 11B-602.7 AND 11B-602.9. §11B-211.2. EXCEPTION: WHERE A SINGLE DRINKING FOUNTAIN COMPLIES WITH SECTIONS 11B-602.1 THROUGH 11B-602.9, IT SHALL BE PERMITTED TO BE SUBSTITUTED FOR TWO SEPARATE DRINKING FOUNTAINS.								
60	HANDRAILS HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS. §11B-505.2	84	BLENDED TRANSITION RAMPS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:20 (5%). §11B-406.4.1	17	PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY, IN WHITE ON A BLUE BACKGROUND. §11B-502.6, FIGURE 11B-703.7.2.1	2	WHERE MORE THAN THE MINIMUM NUMBER OF DRINKING FOUNTAINS SPECIFIED IN 11B-211.2 ARE PROVIDED, 50 PERCENT OF THE TOTAL NUMBER OF DRINKING FOUNTAINS PROVIDED SHALL COMPLY WITH 11B-602.1 THROUGH 11B-602.6, 11B-602.8 AND 11B-602.9, AND 50 PERCENT OF THE TOTAL NUMBER OF DRINKING FOUNTAINS PROVIDED SHALL COMPLY WITH 11B-602.7 AND 11B-602.9. §11B-211.3 (SEE EXCEPTION)								
61	HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS AND RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS. §11B-505.3	85	CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES, OR PARKING ACCESS AISLES. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES. §11B-406.5.1	18	SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE." SIGNS SHALL BE 60 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. §11B-502.6	3	DRINKING FOUNTAINS SHALL COMPLY WITH SECTIONS 11B-307 PROTRUDING OBJECTS AND 11B-602 GENERAL REQUIREMENTS. §11B-602.1								
62	TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. §11B-505.4	86	THE CLEAR WIDTH OF CURB RAMP RUNS (EXCLUDING ANY FLARED SIDES), BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE 48 INCHES MINIMUM. §11B-406.5.2	19	PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES. §11B-502.6.1	4	ACCESSIBLE DRINKING FOUNTAINS SHALL COMPLY WITH SECTION 11B-602, INCLUDING CLEAR FLOOR SPACE AT LOW UNIT, KNEE AND TOE CLEARANCE, OPERABLE PARTS, SPOUT HEIGHTS AND LOCATIONS AND WATER FLOW. §11B-602								
63	CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/2 INCHES MINIMUM. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS 3 INCHES MAXIMUM DEEP AND 18 INCHES MINIMUM CLEAR ABOVE THE TOP OF THE HANDRAIL. §11B-505.5	87	LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS AND BLENDED TRANSITIONS (PARALLEL CURB RAMPS SHALL NOT BE REQUIRED TO COMPLY). THE LANDING CLEAR LENGTH SHALL BE 48 INCHES MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING ANY FLARED SIDES, OR THE BLENDED TRANSITION LEADING TO THE LANDING. THE SLOPE OF THE LANDING IN ALL DIRECTIONS SHALL BE 1:48 (2.083%) MAXIMUM. §11B-406.5.3	20	ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250." §11B-502.6.2	5	UNITS SHALL HAVE A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 11B-305 CLEAR FLOOR OR GROUND SPACE POSITIONED FOR A FORWARD APPROACH AND CENTERED ON THE UNIT. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 11B-306 KNEE AND TOE CLEARANCE SHALL BE PROVIDED. §11B-602.2								
64	HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20 PERCENT OF THEIR LENGTH, WHERE PROVIDED, HORIZONTAL PROJECTIONS SHALL OCCUR 1 1/2 INCHES MINIMUM BELOW THE BOTTOM OF THE HANDRAIL GRIPPING SURFACE. §11B-505.6	88	GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH. §11B-406.5.6	21	A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. §11B-502.6.3	6	WHERE DRINKING FOUNTAINS ARE USED BY CHILDREN, A PARALLEL APPROACH COMPLYING WITH SECTION 11B-305 CLEAR FLOOR OR GROUND SURFACES SHALL BE PERMITTED AT UNITS WHERE THE SPOUT IS 30 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND AND IS 3 1/2" MAXIMUM FROM THE FRONT EDGE OF THE UNIT, INCLUDING BUMPERS. §11B-602.2 EXCEPTION								
65	HANDRAIL GRIPPING SURFACES WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES MINIMUM AND 2 INCHES MAXIMUM. §11B-505.7.1	89	THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 (2.083%) MAXIMUM. §11B-406.5.7	22	EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING SCHEMES: §11B-502.6.4	7	SPOUT OUTLETS SHALL BE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. §11B-602.4								
66	HANDRAIL GRIPPING SURFACES WITH A NON-CIRCULAR CROSS SECTION SHALL HAVE A PERIMETER DIMENSION OF 4 INCHES MINIMUM AND 6 1/4 INCHES MAXIMUM, AND A CROSS-SECTION DIMENSION OF 2 1/4 INCHES MAXIMUM. §11B-505.7.2	90	COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO AND WITHIN 24 INCHES OF THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%). THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS, AND STREETS SHALL BE AT THE SAME LEVEL. §11B-406.5.8	a.	THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND A MINIMUM OF 36 INCHES HIGH BY 36 INCHES WIDE. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH. §11B-502.6.4.1	8	THE SPOUT SHALL BE LOCATED 15 INCHES MINIMUM FROM THE VERTICAL SUPPORT AND 5 INCHES MAXIMUM FROM THE FRONT EDGE OF THE UNIT, INCLUDING BUMPERS. §11B-602.5								
67	HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS IN ACCORDANCE WITH SECTION 11B-505.10 HANDRAIL EXTENSIONS. §11B-505.10 EXCEPTION 1: EXTENSIONS ARE NOT REQUIRED FOR CONTINUOUS HANDRAILS AT THE INSIDE OF SWITCHBACK OR DOGLEG STAIRS AND RAMPS. (SEE OTHER EXCEPTIONS)	91	THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE A CLEAR SPACE 48 INCHES MINIMUM OUTSIDE ACTIVE TRAFFIC LANES OF THE ROADWAY. DIAGONAL CURB RAMPS PROVIDED AT MARKED CROSSINGS SHALL PROVIDE THE 48 INCHES MINIMUM CLEAR SPACE WITHIN THE MARKINGS. §11B-406.5.9	b.	THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE. §11B-502.6.4.2	9	THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES HIGH MINIMUM AND SHALL BE LOCATED 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. WHERE SPOUTS ARE LOCATED LESS THAN 3 INCHES FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 30 DEGREES MAXIMUM. WHERE SPOUTS ARE LOCATED BETWEEN 3 INCHES AND 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 15 DEGREES MAXIMUM. §11B-602.6								
68	IN ALTERATIONS, WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF STAIR FLIGHT OR RAMP RUN WOULD CREATE A HAZARD, THE EXTENSION OF THE HANDRAIL MAY BE TURNED 90 DEGREES FROM THE DIRECTION OF STAIR FLIGHT OR RAMP RUN. §11B-505.10 EXCEPTION 3	92	CURB RAMPS AND BLENDED TRANSITIONS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH 11B-705 DETECTABLE WARNINGS. §11B-406.5.12	23	AN ADDITIONAL SIGN SHALL BE POSTED EITHER: 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR 2) IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE. §11B-502.6	10	SPOUT OUTLETS OF DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38 INCHES MINIMUM AND 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. §11B-602.7								
69	RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN. §11B-505.10.1	D. GENERAL SITE AND BUILDING ELEMENTS		a.	THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH. §11B-502.6.1	11	WALL- AND POST-MOUNTED CANTILEVERED DRINKING FOUNTAINS SHALL BE 18 INCHES MINIMUM AND 19 INCHES MAXIMUM IN DEPTH. §11B-602.8								
70	AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. §11B-505.10.2	PARKING SPACES		b.	THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING: §11B-502.8.2 "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____." BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.	12	ALL DRINKING FOUNTAINS SHALL EITHER BE LOCATED COMPLETELY WITHIN ALCOVES, POSITIONED COMPLETELY BETWEEN WING WALLS, OR OTHERWISE POSITIONED SO AS NOT TO ENCRUCH INTO PEDESTRIAN WAYS. THE PROTECTED AREA WITHIN SUCH A DRINKING FOUNTAIN IS LOCATED SHALL BE 32 INCHES WIDE MINIMUM AND 18 INCHES DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 11B-305.7 MANEUVERING CLEARANCE. WHEN USED, WING WALLS OR BARRIERS SHALL PROTECT HORIZONTALITY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6 INCHES VERTICALLY FROM THE FLOOR OR GROUND SURFACE. §11B-602.9								
71	AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING. THE HORIZONTAL EXTENSION OF A HANDRAIL SHALL BE 12 INCHES LONG MINIMUM AND A HEIGHT EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL AS MEASURED ABOVE THE STAIR NOSINGS. EXTENSION SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. §11B-505.10.3	1	WHERE PARKING SPACES ARE PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN NUMBER AND KIND REQUIRED PER SECTION 11B-208 PARKING SPACES. §11B-208.1 FOR THE PURPOSES OF THIS SECTION, ELECTRIC VEHICLE CHARGING STATIONS ARE NOT PARKING SPACES.	24	SIGNS INTENDED FOR USE BY PEDESTRIANS WITHIN PARKING FACILITIES, INCLUDING DIRECTIONAL OR INFORMATIONAL SIGNS INDICATING PARKING SECTIONS OR LEVELS, SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 11B-216. §11B-216.5.2	TOILET AND BATHING ROOM CLEARANCES									
72	A STAIR IS DEFINED AS A CHANGE IN ELEVATION, CONSISTING OF ONE OR MORE RISERS PER CHAPTER 2, SECTION 202.	2	PROVIDE ACCESSIBLE PARKING SPACES AS REQUIRED BY TABLE 11B-208.2. §11B-208.2.	25	PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY PARKED. §11B-502.7.1	13	WHERE TOILET FACILITIES AND BATHING FACILITIES ARE PROVIDED, THEY SHALL COMPLY WITH 11B-213. WHERE TOILET FACILITIES AND BATHING FACILITIES ARE PROVIDED IN FACILITIES PERMITTED BY 11B-208.2.3 MULTI-STORY BUILDINGS AND FACILITIES EXCEPTIONS 1, NOT TO CONNECT STORIES BY AN ACCESSIBLE ROUTE, TOILET FACILITIES AND BATHING FACILITIES SHALL BE PROVIDED ON A STORY CONNECTED BY AN ACCESSIBLE ROUTE TO AN ACCESSIBLE ENTRANCE. §11B-213.1								
73	ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4 INCHES HIGH MINIMUM AND 7 INCHES HIGH MAXIMUM. TREADS SHALL BE 11 INCHES DEEP MINIMUM. CURVED STAIRWAYS WITH WINDER TREADS ARE PERMITTED AT STAIRS WHICH ARE NOT PART OF A REQUIRED MEANS OF EGRESS. §11B-504.2	3	PROVIDE ACCESSIBLE SPACES FOR EACH PARKING FACILITY (PARKING LOTS AND PARKING STRUCTURES). THE NUMBER OF PARKING SPACES REQUIRED TO BE ACCESSIBLE IS TO BE CALCULATED SEPARATELY FOR EACH PARKING FACILITY. THE REQUIRED NUMBER IS NOT BASED ON THE TOTAL NUMBER OF PARKING SPACES PROVIDED IN ALL OF THE PARKING FACILITIES PROVIDED ON SITE. §11B-208.2	26	A CURB OR WHEEL STOP SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCRUCHMENT OF VEHICLES OVER THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES. §11B-502.7.2	14	WHERE SEPARATE TOILET FACILITIES ARE PROVIDED FOR THE EXCLUSIVE USE OF SEPARATE USER GROUPS, THE TOILET FACILITIES SERVING EACH USER GROUP SHALL COMPLY WITH 11B-213 TOILET FACILITIES AND BATHING FACILITIES. §11B-213.1.1								
74	OPEN RISERS ARE NOT PERMITTED. §11B-504.3 (SEE EXCEPTIONS)	4	OMIT.	27	PARKING FACILITIES THAT PROVIDE VALET PARKING SERVICES SHALL PROVIDE AT LEAST ONE PASSENGER LOADING ZONE COMPLYING WITH SECTION 11B-503. THE PARKING REQUIREMENTS OF SECTION 11B-208.1 PARKING SPACES GENERAL APPLY TO FACILITIES WITH VALET PARKING. §11B-209.4	15	WHERE TOILET ROOMS ARE PROVIDED, EACH TOILET ROOM SHALL COMPLY WITH 11B-603 TOILET AND BATHING ROOMS. WHERE BATHING ROOMS ARE PROVIDED, EACH BATHING ROOM SHALL COMPLY WITH 11B-603 TOILET AND BATHING ROOMS. §11B-213.2 (SEE EXCEPTIONS)								
75	INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT. §11B-504.4.1	5	PARKING SPACES PROVIDED FOR GUESTS, EMPLOYEES AND NON-RESIDENTS SHALL COMPLY WITH TABLE 11B-208.2. WHEN ASSIGNED PARKING IS PROVIDED, CHAPTER 11A INDICATES DESIGNATED ACCESSIBLE PARKING FOR THE ADAPTABLE RESIDENTIAL DWELLING UNITS SHALL BE PROVIDED ON REQUESTS OF RESIDENTS WITH DISABILITIES ON THE SAME TERMS AND WITH THE FULL RANGE OF CHOICES (IE, OFF-STREET PARKING, CARPORT OR GARAGE) THAT ARE AVAILABLE TO OTHER RESIDENTS PER 11B-208.2.3.3.	28	MECHANICAL ACCESS PARKING GARAGES SHALL PROVIDE AT LEAST ONE PASSENGER LOADING ZONE COMPLYING WITH SECTION 11B-503 AT VEHICLE DROP-OFF AND VEHICLE PICK-UP AREAS. §11B-209.5	16	UNISEX (SINGLE-USER OR FAMILY) TOILET ROOMS SHALL CONTAIN NOT MORE THAN ONE LAVATORY, AND NOT MORE THAN TWO WATER CLOSETS WITHOUT URINALS OR ONE WATER CLOSET AND ONE URINAL. UNISEX BATHING ROOMS SHALL CONTAIN ONE SHOWER OR ONE SHOWER AND ONE BATHTUB, ONE LAVATORY, AND ONE WATER CLOSET. DOORS TO UNISEX TOILET ROOMS AND UNISEX BATHING ROOMS SHALL HAVE PRIVACY LATCHES. §11B-213.2.1								
76	THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE 1/4 INCH MAXIMUM. NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 30 DEGREES MAXIMUM FROM VERTICAL. THE PERMITTED PROJECTION OF THE NOSING SHALL EXTEND 1 1/2 INCHES MAXIMUM OVER THE TREAD BELOW. §11B-504.5 (SEE EXCEPTION FOR EXISTING BUILDINGS)	6	ONE IN EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY SECTION 11B-208.2 AT LEAST ONE SHALL BE A VAN PARKING SPACE. VAN PARKING SPACE SHALL BE 144 INCHES (12 FEET) WIDE MINIMUM AND 216 INCHES (18 FEET) LONG MINIMUM AND SHALL BE SERVED BY AN ACCESS AISLE 60 INCHES WIDE MINIMUM PLACED ON THE SIDE OPPOSITE THE DRIVER'S SIDE WHEN THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE AND SHALL BE DESIGNATED "VAN ACCESSIBLE". ALL SUCH SPACES MAY BE GROUPED ON ONE LEVEL OF A MULTI-STORY PARKING STRUCTURE. EXCEPTION: VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (9 FEET) WIDE MINIMUM WHEN THE ACCESS AISLE IS 96 INCHES (8 FEET) WIDE MINIMUM. §11B-208.2.4, 11B-502, FIG 11B-502.3, 11B-502.3.3	29	PASSENGER DROP-OFF AND LOADING ZONES SHALL PROVIDE A VEHICULAR PULL-UP SPACE 96 INCHES (8 FEET) WIDE MINIMUM AND 20 FEET LONG MINIMUM. §11B-503.2	17	DOOR SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE. OTHER THAN THE DOOR TO THE ACCESSIBLE WATER CLOSET COMPARTMENT, A DOOR IN ANY POSITION, MAY ENCRUCH INTO THE TURNING SPACE BY 12 INCHES MAXIMUM. §11B-603.2.3								
77	STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505 HANDRAILS. §11B-504.6	7	ACCESSIBLE PARKING SPACES COMPLYING WITH SECTION 11B-502 PARKING SPACES SERVING A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE (AS NEAR AS PRACTICAL TO AN ACCESSIBLE ENTRANCE). §11B-208.3.1	30	PASSENGER DROP-OFF AND LOADING ZONES SHALL PROVIDE ACCESS AISLES COMPLYING WITH THE FOLLOWING ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE. ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE AND SHALL NOT OVERLAP THE VEHICULAR WAY. §11B-503.3	18	AT SINGLE USER TOILET OR BATHING ROOMS, DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE ONLY IF A 30 INCH BY 48 INCH MINIMUM CLEAR FLOOR SPACE IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING. §11B-603.2.3 EXCEPTION								
78	STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. §11B-504.7	8	IN BUILDINGS WITH MULTIPLE ACCESSIBLE ENTRANCES WITH ADJACENT PARKING, ACCESSIBLE PARKING SPACES COMPLYING WITH SECTION 11B-502 PARKING SPACES SHALL BE DISPERSED AND LOCATED CLOSEST TO THE ACCESSIBLE ENTRANCES. §11B-208.3.1	a.	ACCESS AISLES SERVING VEHICLE PULL-UP SPACES SHALL BE 60 INCHES WIDE MINIMUM. §11B-503.3.1	19	MIRRORS LOCATED ABOVE THE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE THE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. §11B-603.3								
79	FLOOR IDENTIFICATION SIGNS REQUIRED BY CHAPTER 10 SHALL COMPLY WITH SECTIONS 11B-703.1 SIGNS GENERAL, 11B-703.2 RAISED CHARACTERS, 11B-703.3 BRAILLE AND 11B-703.5 VISUAL CHARACTERS. THESE SIGNS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL ENCLOSED STAIRWAYS IN BUILDINGS TWO OR MORE STORES IN HEIGHT TO IDENTIFY THE FLOOR LEVEL. AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. §11B-504.8	9	MINIMUM SPACE LENGTH SHALL BE 18 FOOT LONG FOR CAR AND VAN ACCESSIBLE PARKING SPACE(S) AND ACCESS AISLE(S). §11B-502.2, FIGURES 11B-502.2 AND 11B-502.3.3.	b.	ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE VEHICLE PULL-UP SPACES THEY SERVE. §11B-503.3.2	20	COAT HOOKS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN SECTION 11B-308. SHELVES SHALL BE LOCATED 40 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISH FLOOR. MEDICINE CABINETS SHALL BE LOCATED WITH A USABLE SHELF NO HIGHER THAN 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR. §11B-603.4								
80	CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS	10	MINIMUM SPACE WIDTH SHALL BE 9 FEET AT ACCESSIBLE CAR PARKING SPACE. §11B-502.2, FIG. 11B-502.2 & FIG. 11B-502.3 AND 11B-502.3.3.	c.	ACCESS AISLES SHALL BE MARKED WITH A PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE. §11B-503.3.3		COMMERCIAL ACCESSIBILITY NOTES CONTINUE ON SHEET A0.22								

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 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

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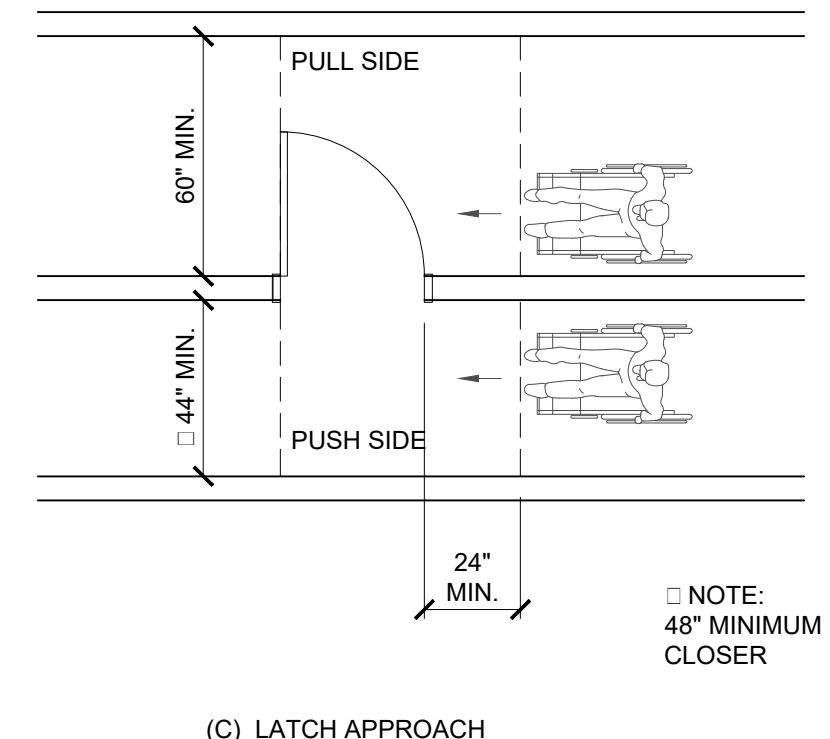
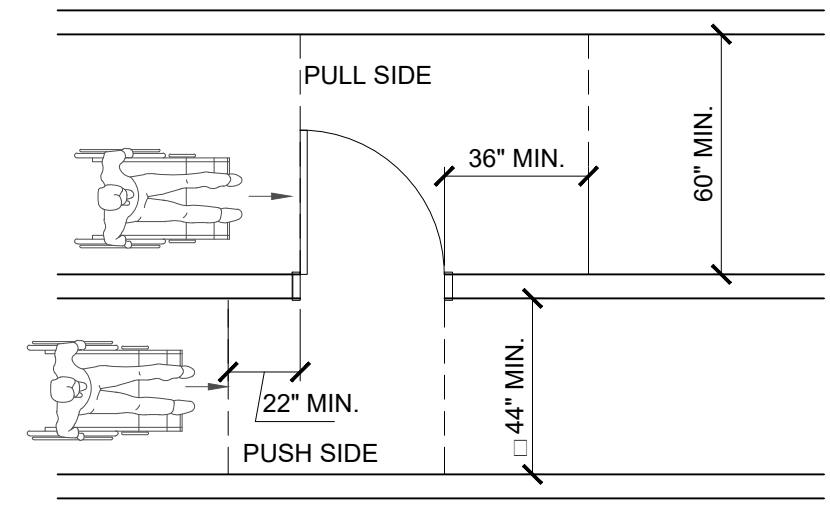
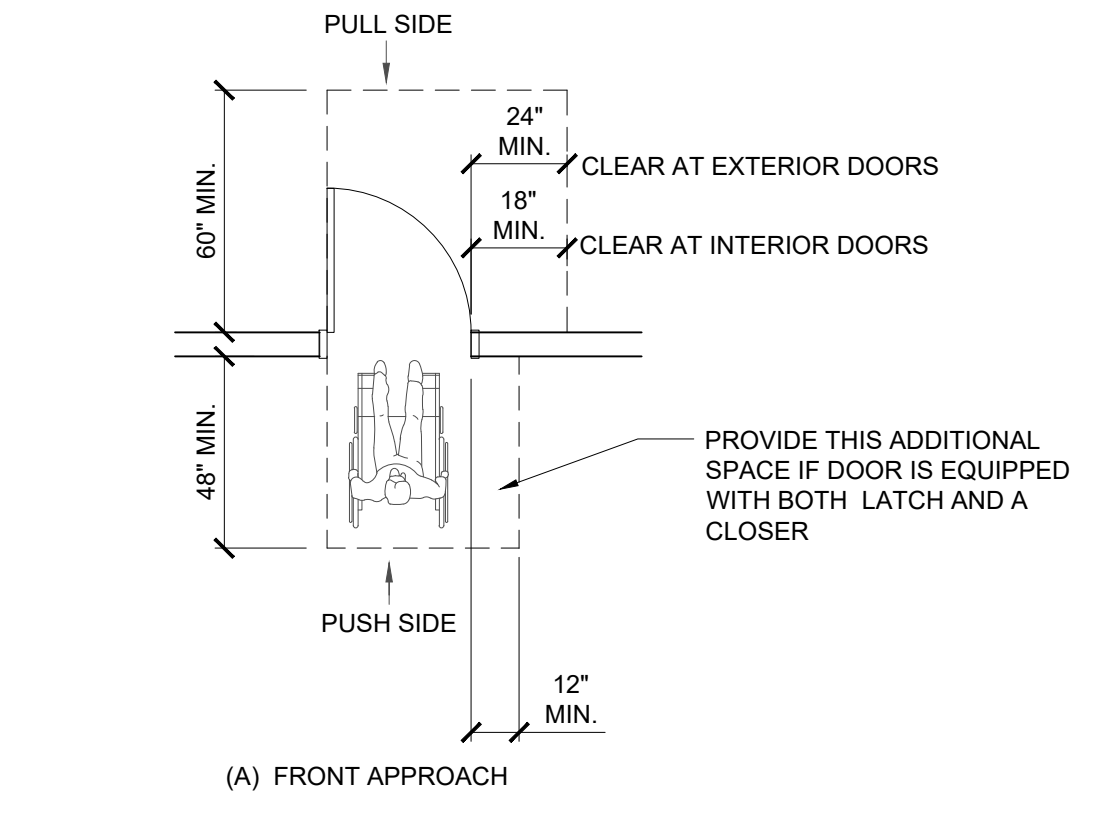
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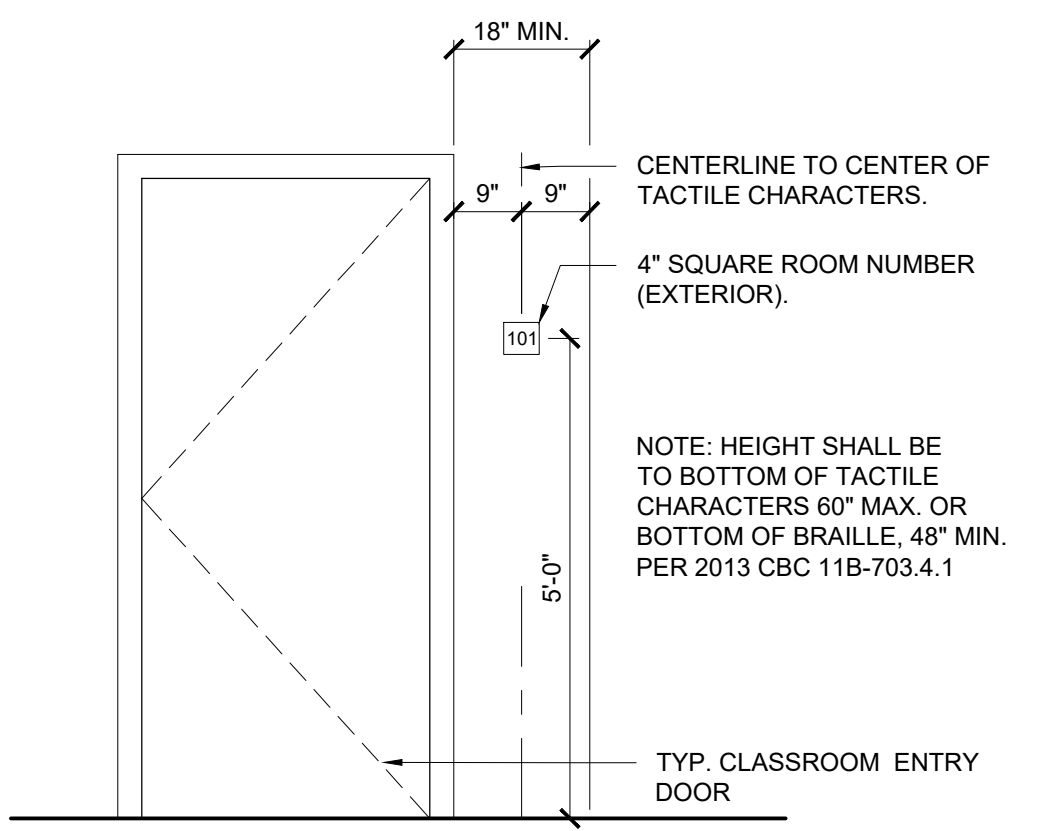
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NOTE: 48\"/>



NOTE: HEIGHT SHALL BE TO BOTTOM OF TACTILE CHARACTERS 60\"/>

- PROVIDE ROOM NUMBER SIGNAGE AT ALL DOORS AS SHOWN ABOVE.
- PROVIDE ROOM SIGNS FOR MECHANICAL ROOMS, ELECTRICAL ROOMS, TRASH ROOMS, STORAGE ROOMS, MACHINE ROOM, ETC. SIGNS SHALL BE SQUARE SHAPE, TYPICAL, AND WALL MOUNTED ADJACENT TO DOOR, SIM. TO ABOVE. ROOM NUMBER/NAME SHALL BE CONTRASTING COLOR. SIGN BACKGROUND SHALL MATCH WALL COLOR.
- PROVIDE A SIGN IN ALL ASSEMBLY AREAS STATING THE MAX OCCUPANCY.
- CONTRACTOR SHALL PROVIDE SIGNAGE REQUIRED BY FIRE DEPARTMENT AS NECESSARY.
- PROVIDE THE FOLLOWING SIGNS:
 - "SMOKING IS PROHIBITED WITHIN 25' OF ENTRIES, AIR INTAKES AND WINDOWS."
 - "SMOKING IS PROHIBITED IN ALL COMMON AREAS."
- PROVIDE EXIT SIGNS AS REQUIRED BY CODE.

TABLE 11B-703.5.5
VISUAL CHARACTER HEIGHT

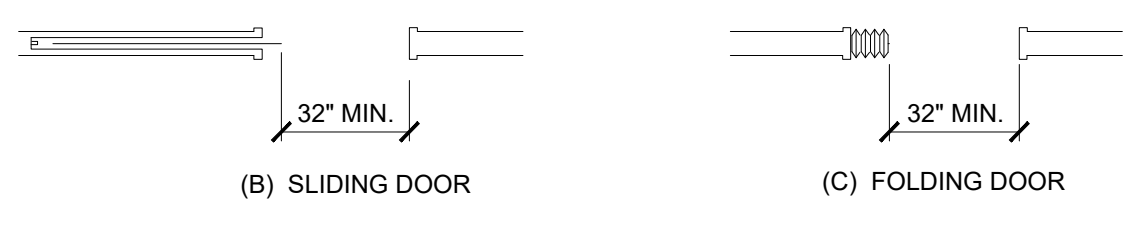
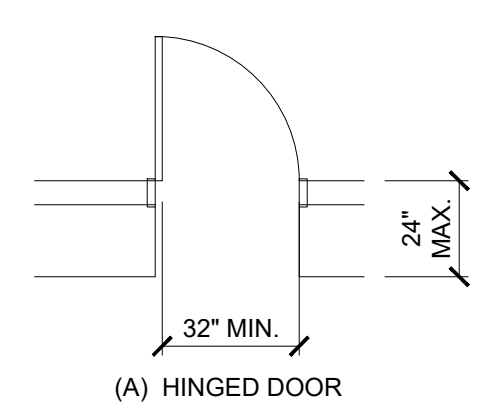
HEIGHT TO FINISH FLOOR OR GROUND FROM BASELINE OF CHARACTER	HORIZONTAL VIEWING DISTANCE	MINIMUM CHARACTER HEIGHT
40 inches (1016 mm) to less than or equal to 70 inches (1778 mm)	less than 72 inches (1829 mm)	3/8 inch (15.9 mm)
	72 inches (1829 mm) and greater	3/8 inch (15.9 mm), plus 1/8 inch (3.2 mm) per foot (305 mm) of viewing distance above 72 inches (1829 mm)
Greater than 70 inches (1778 mm) to less than or equal to 120 inches (3048 mm)	less than 180 inches (4572 mm)	2 inches (51 mm)
	180 inches (4572 mm) and greater	2 inches (51 mm), plus 1/8 inch (3.2 mm) per foot (305 mm) of viewing distance above 180 inches (4572 mm)
greater than 120 inches (3048 mm)	less than 21 feet (6401 mm)	3 inches (76 mm)
	21 feet (6401 mm) and greater	3 inches (76 mm), plus 1/8 inch (3.2 mm) per foot (305 mm) of viewing distance above 21 feet (6401 mm)

TYP. LEVEL MANUEVERING CLEARANCE @ DOORS

REF: -- SCALE: 3" = 1'-0"

DOOR SIGNAGE GENERAL NOTES

REF: -- SCALE: 3" = 1'-0"



NOTE: PROVIDE BUMPER IN POCKET TO PREVENT DOOR FROM FULLY RECEDING

CLEAR DOOR WIDTH & DEPTH

REF: -- SCALE: 3" = 1'-0"

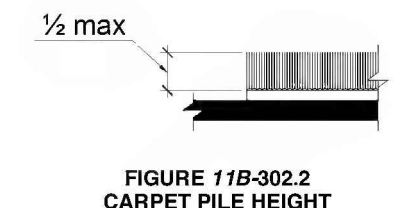


FIGURE 11B-302.2 CARPET PILE HEIGHT

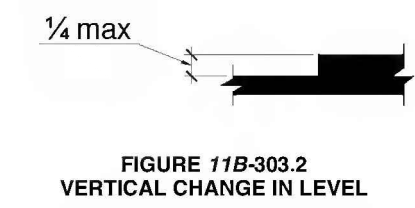


FIGURE 11B-303.2 VERTICAL CHANGE IN LEVEL

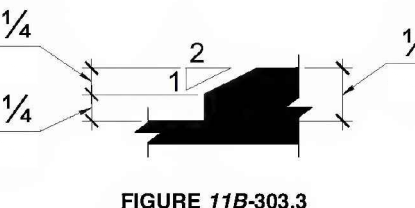
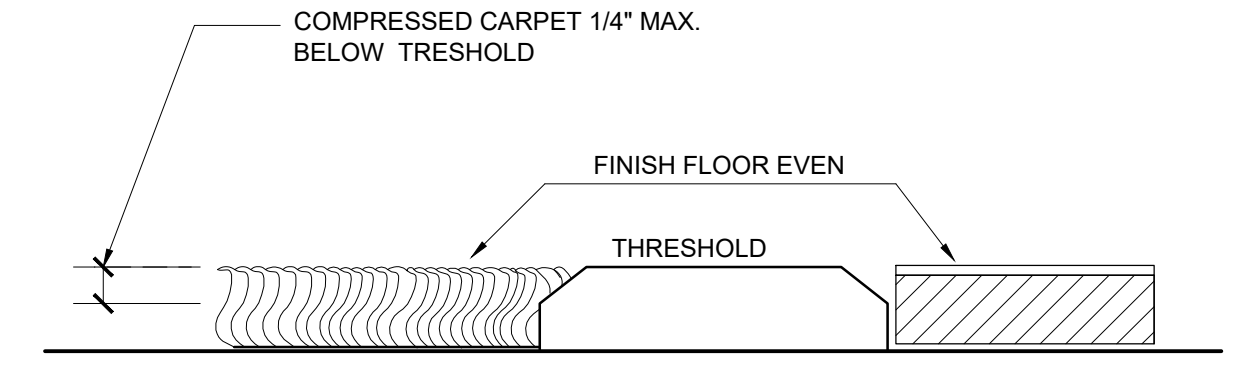
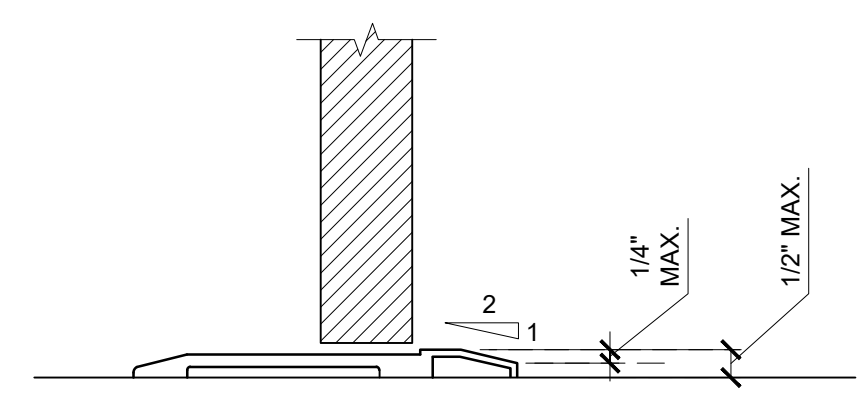


FIGURE 11B-303.3 BEVELED CHANGE IN LEVEL

TYP. CHANGE IN LEVEL

REF: DOOR & FINISH DETAILS SCALE: 3" = 1'-0"

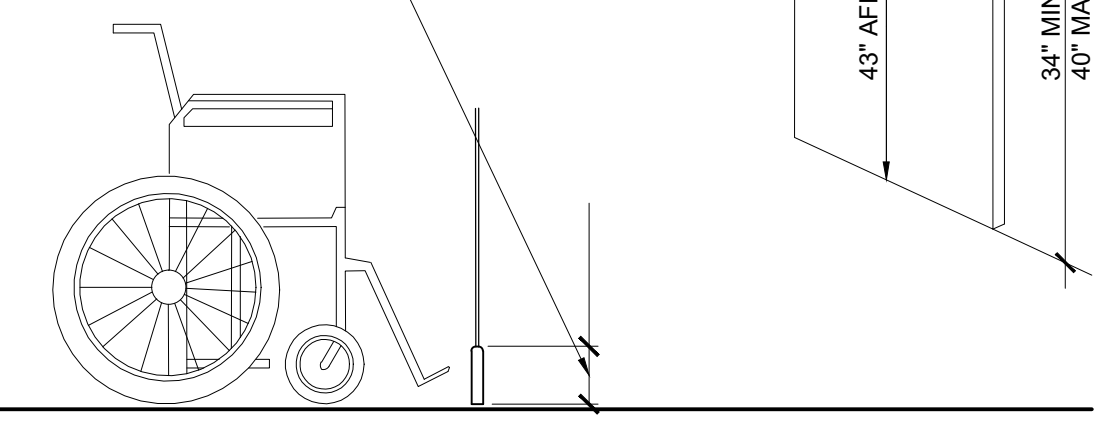


NOTE: CLOSER SPEED FROM 90 DEGREES OPEN TO WITHIN 12\"/>

TYP. THRESHOLD REQUIREMENTS

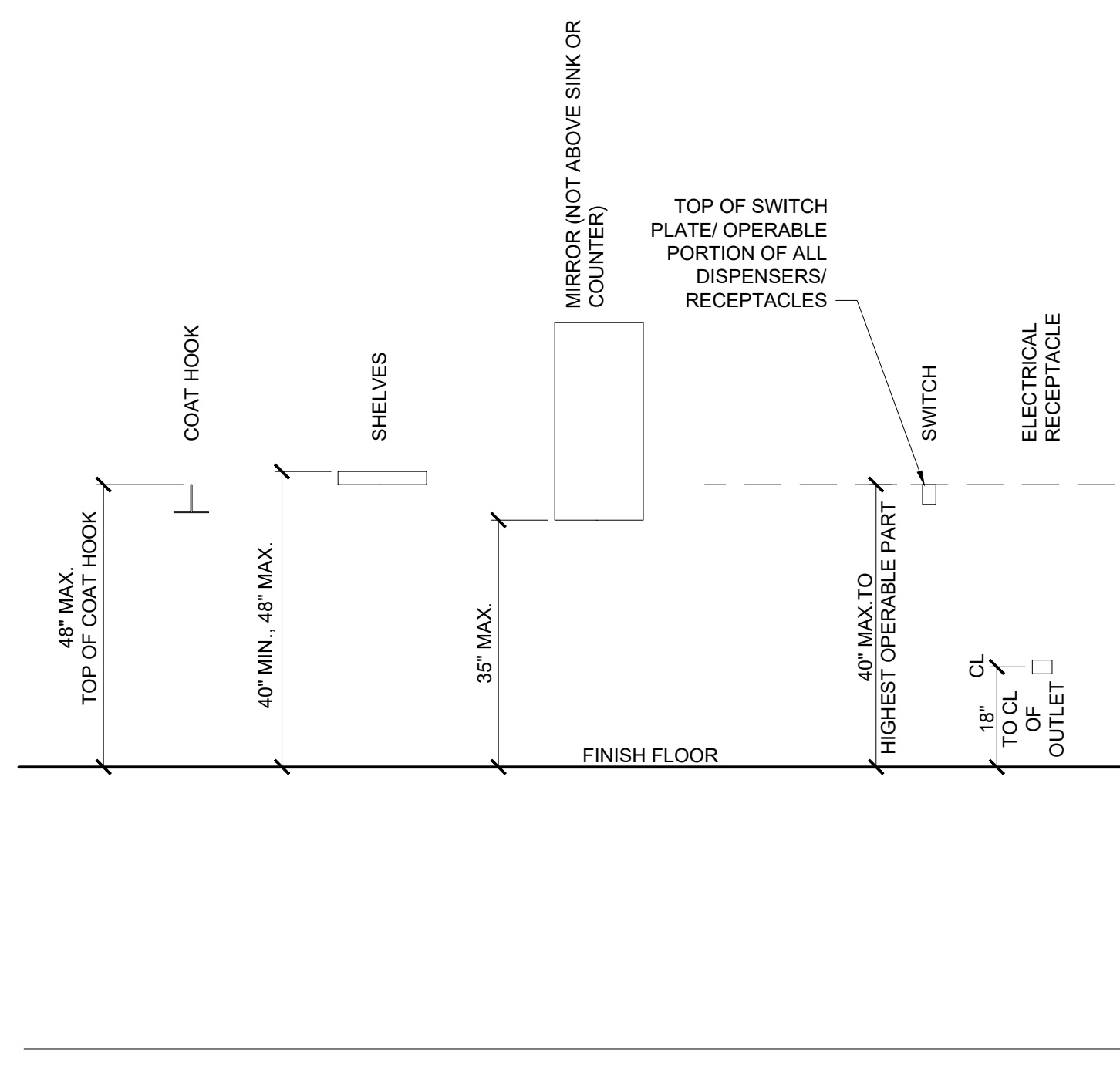
REF: -- SCALE: 3" = 1'-0"

10\"/>



DOOR CONSTRUCTION

REF: -- SCALE: 3" = 1'-0"



NOTE: PROVIDE 'HI-LO' FOUNTAIN WITH ONE SPOUT HEIGHT FOR STANDING PERSONS AT 38\"/>

ALL EXPOSED HOT WATER PIPES UNDER ALL SINKS SHALL BE INSULATED.

MOUNT FLUSH VALVE ON WIDE SIDE. THE REQUIRED FORCE TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 LBS FORCE.

250 LB. CAPACITY MIN. FOR ALL GRAB BARS, TYP.

17\"/>

TYP. ACCESSIBLE MOUNTING HEIGHTS

REF: -- SCALE: 1/2" = 1'-0"

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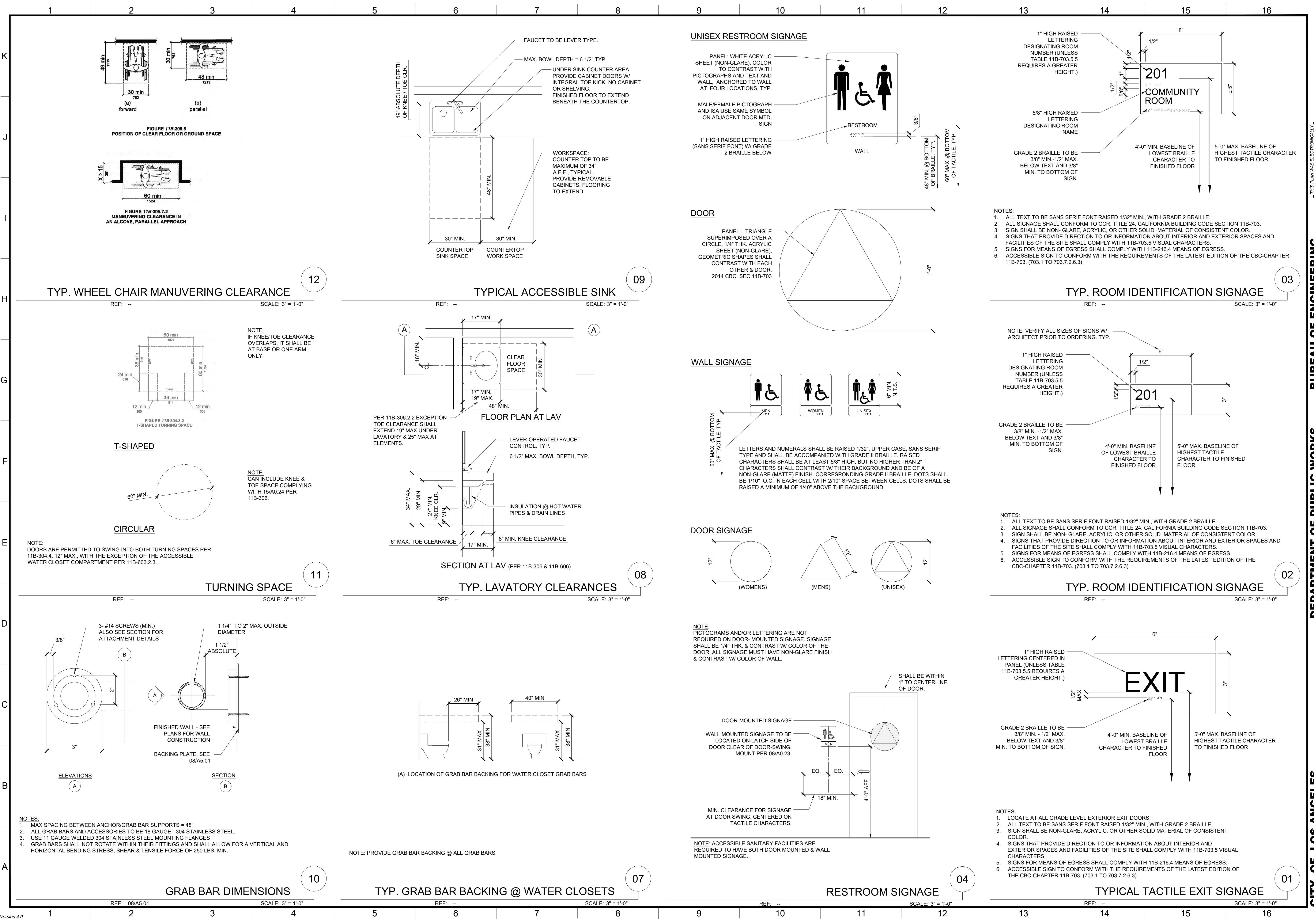
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VERTICAL CONTROL: HORIZONTAL CONTROL:
SHEET TITLE: ACCESSIBILITY DETAILS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
DATE: BY:
NO. REVISIONS:

CITY OF LOS ANGELES
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP:
ENGINEER: DESIGNED BY:
DRAWN BY: CHECKED BY: APPROVED BY:

WORK ORDER NO. E170121B
SHEET NAME: A0.23
SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)
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DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

CITY ENGINEER
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HORIZONTAL CONTROL: _____

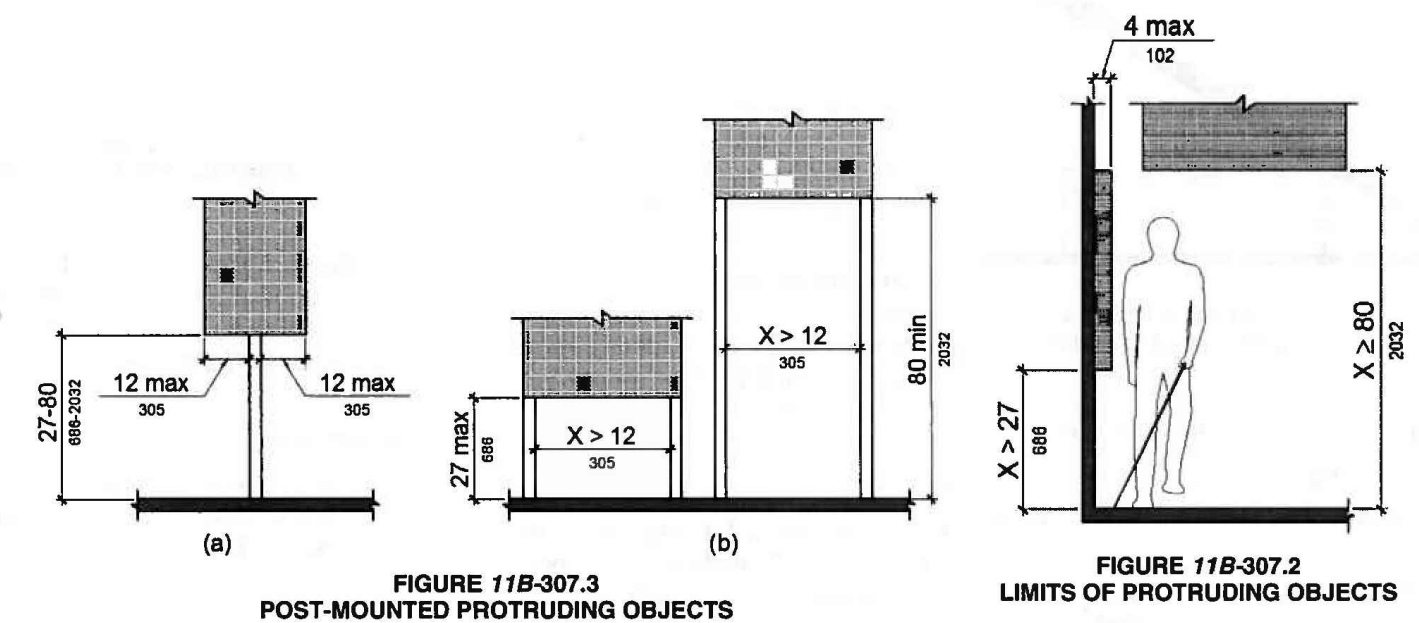
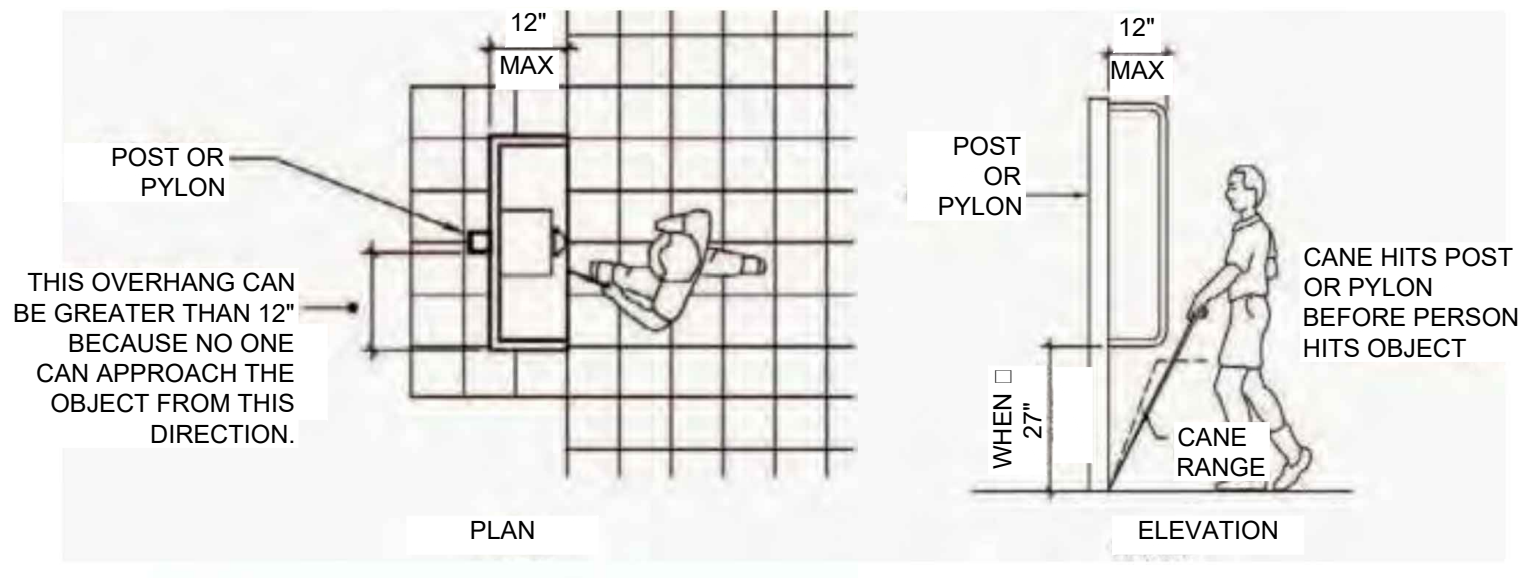
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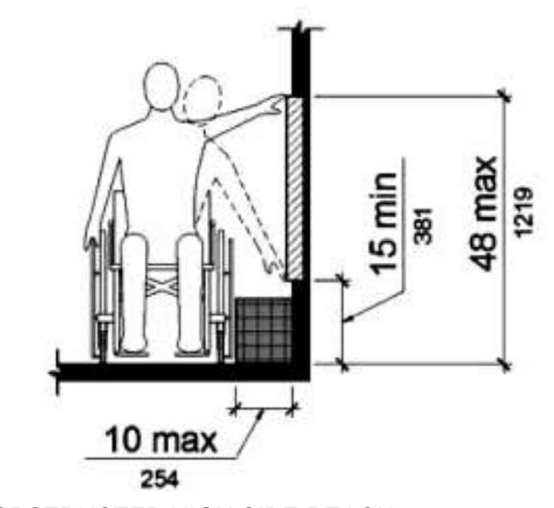
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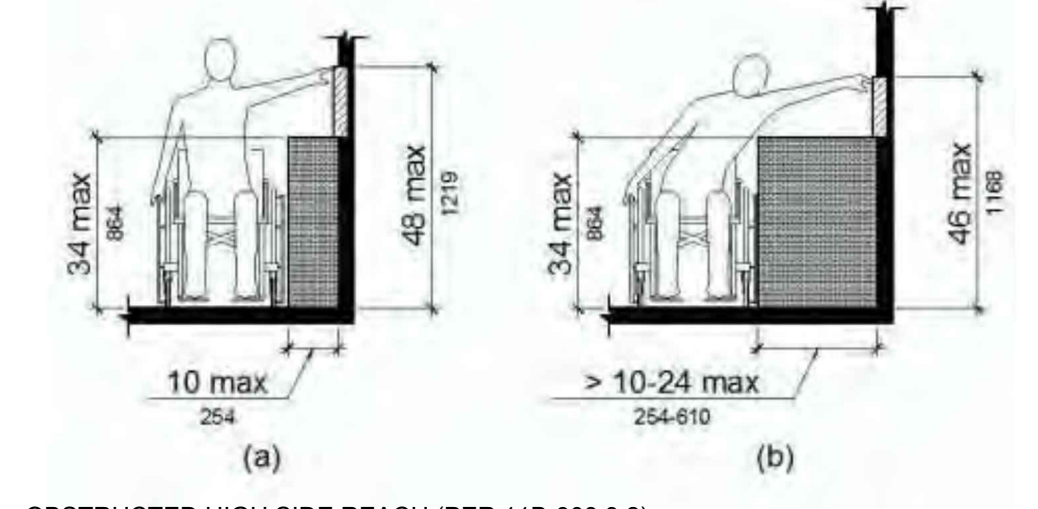
NOTE:
 1. DOOR CLOSERS SHALL NOT ENCRUSCH BELOW 80".
 2. PROVIDE 'CANE DETECTION BARRIER' AT ALL OBSTRUCTIONS THAT DO NOT MEET THE CLEARANCES IN THIS DETAIL.

TYP. PROTRUDING OBJECTS CLEARANCE

REF: -- SCALE: 3" = 1'-0"



UNOBSTRUCTED HIGH SIDE REACH (PER 11B-308.3.1)



OBSTRUCTED HIGH SIDE REACH (PER 11B-308.3.2)

TYP. SIDE REACH

REF: -- SCALE: 3" = 1'-0"

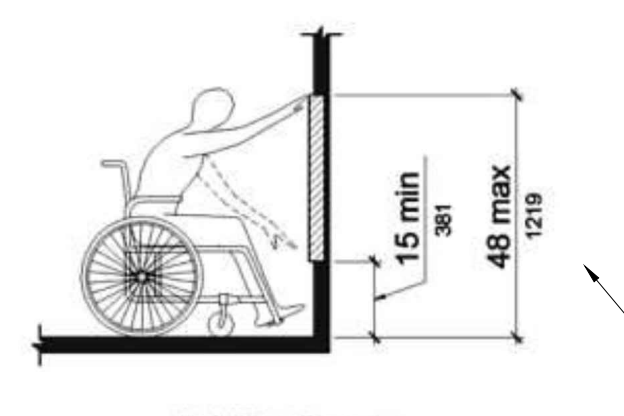


FIGURE 11B-308.2.1 UNOBSTRUCTED FORWARD REACH

NOTE: IF FORWARD REACH IS OVER A COUNTER OR OBSTRUCTION THAT IS 20"-25" MAX., THE MAXIMUM REACH SHALL BE 44".

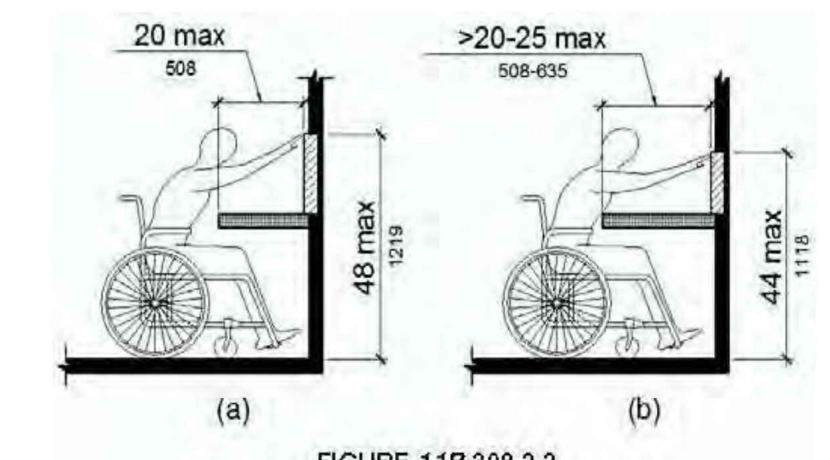
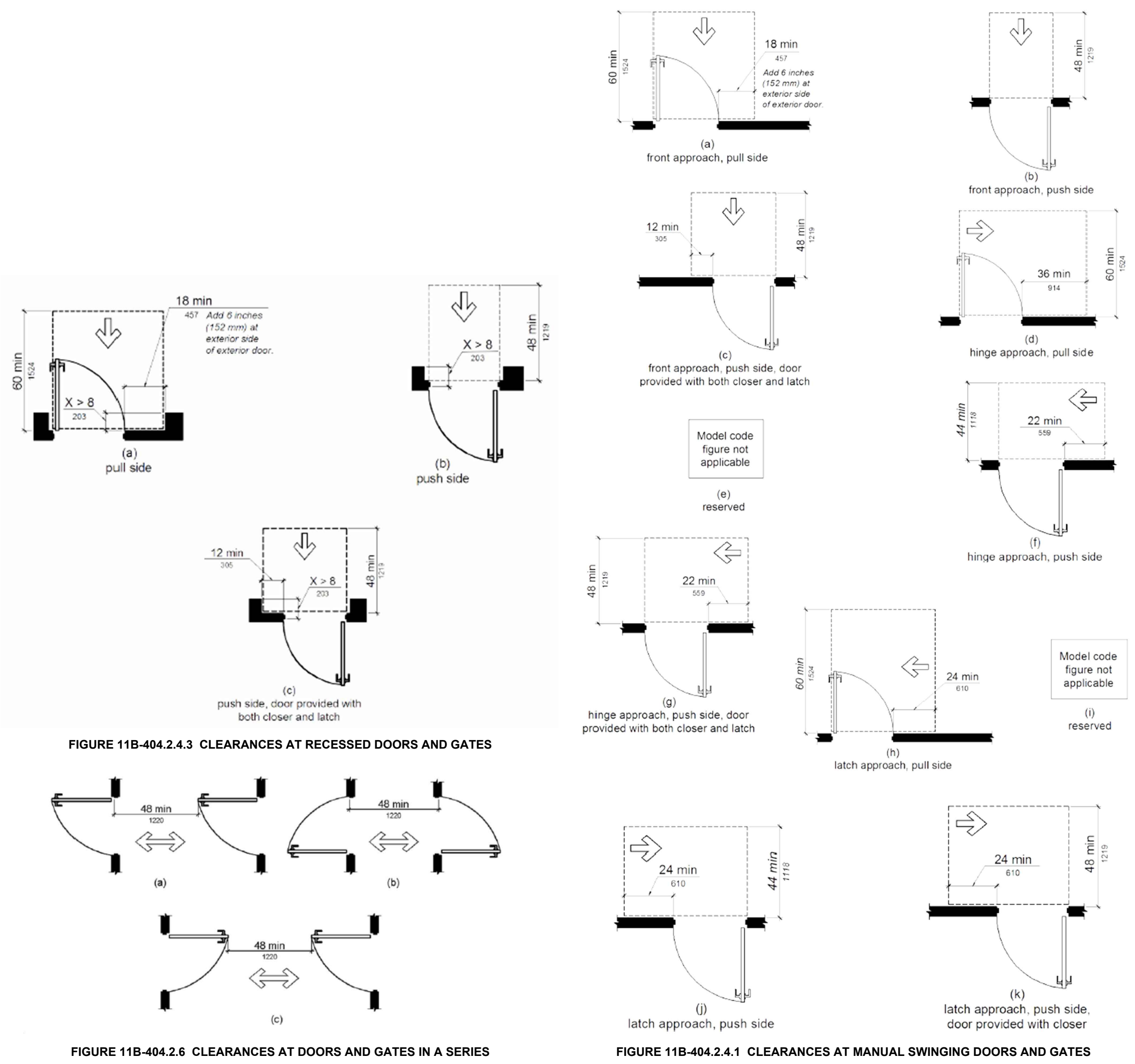


FIGURE 11B-308.2.2 OBSTRUCTED HIGH FORWARD REACH

TYP. FOWARD REACH

REF: -- SCALE: 3" = 1'-0"



CLEARANCES AT DOORS & GATES

REF: -- SCALE: N.T.S.

04

03

02

01

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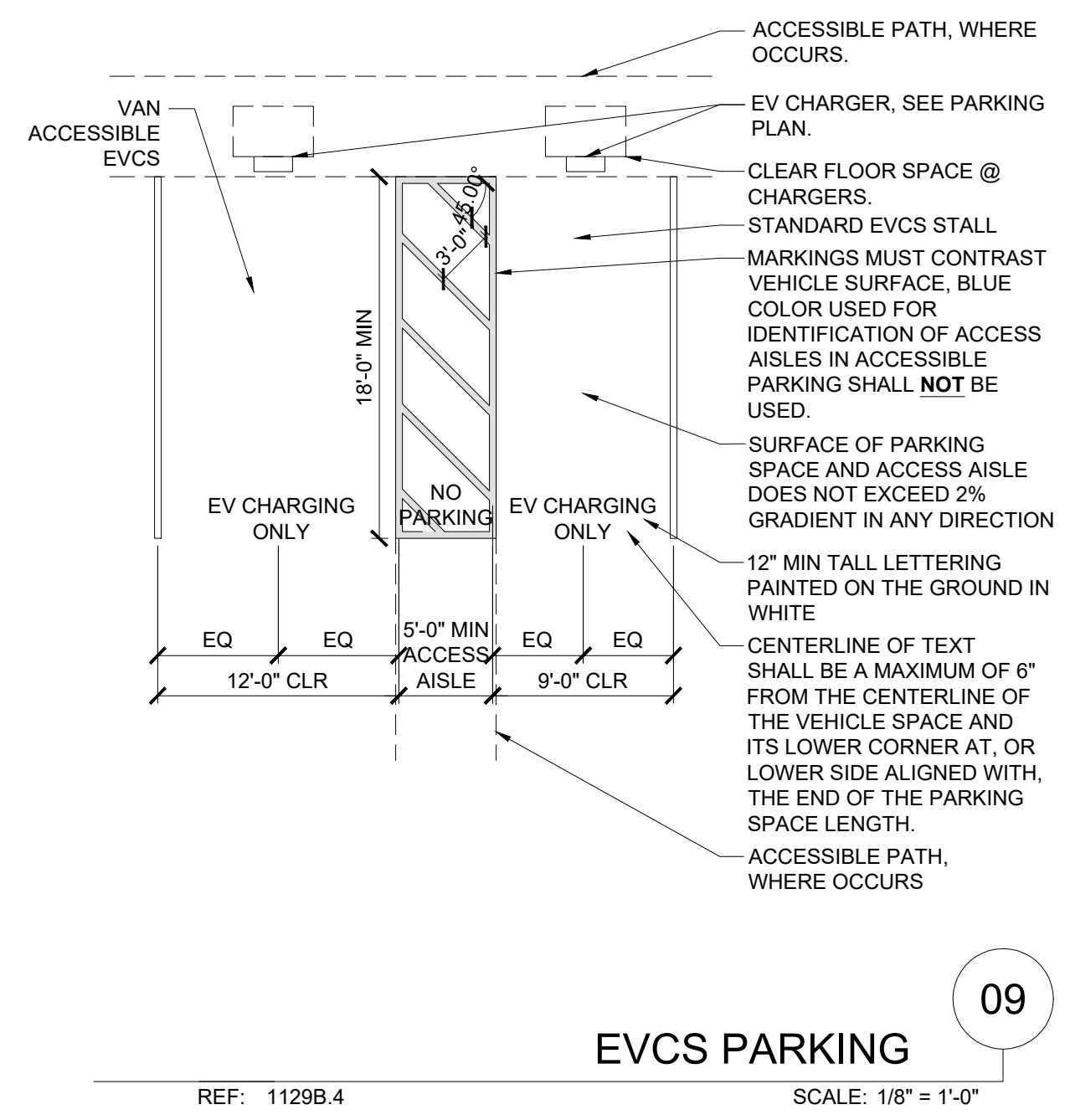
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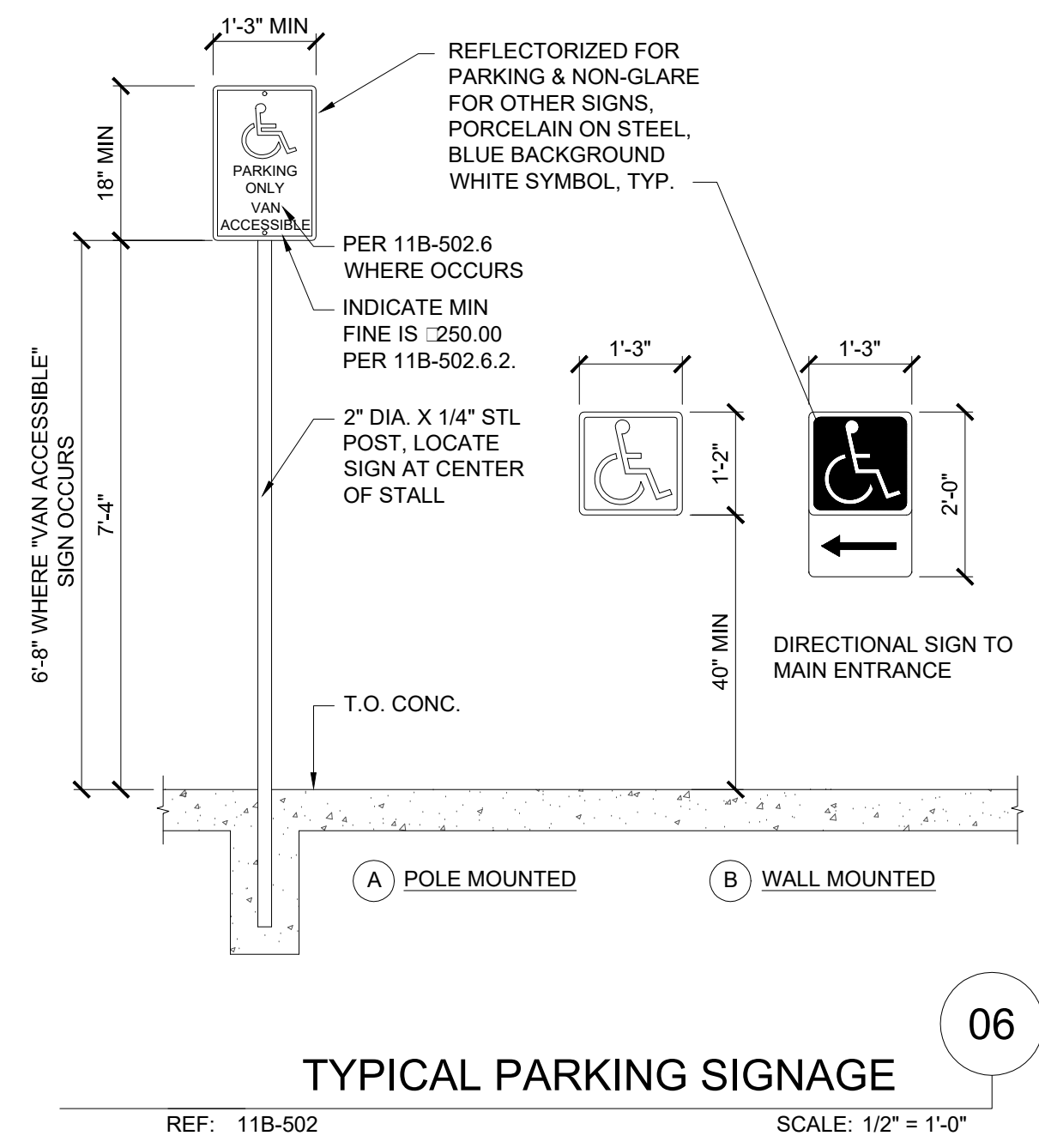
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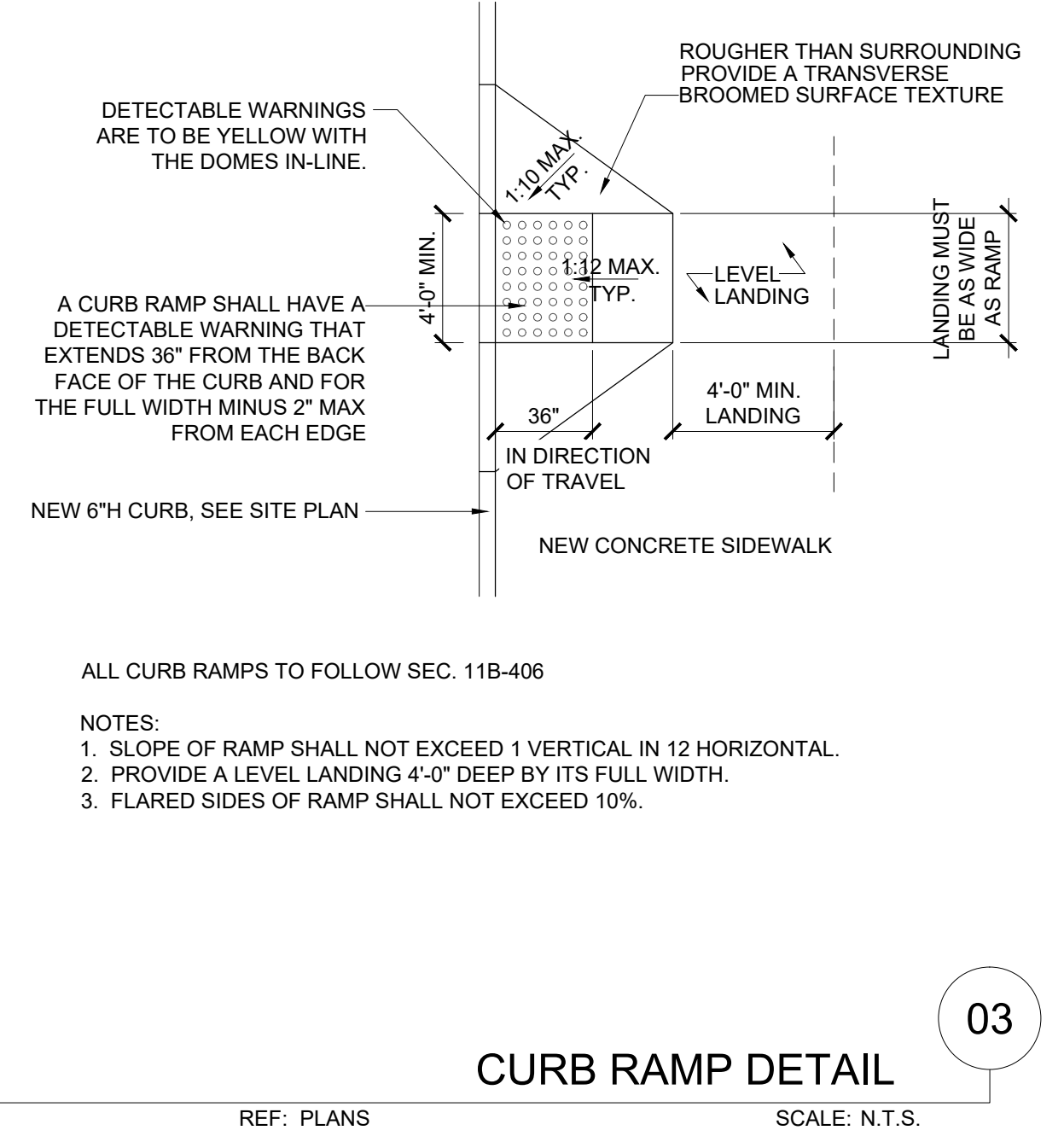
EVCS PARKING

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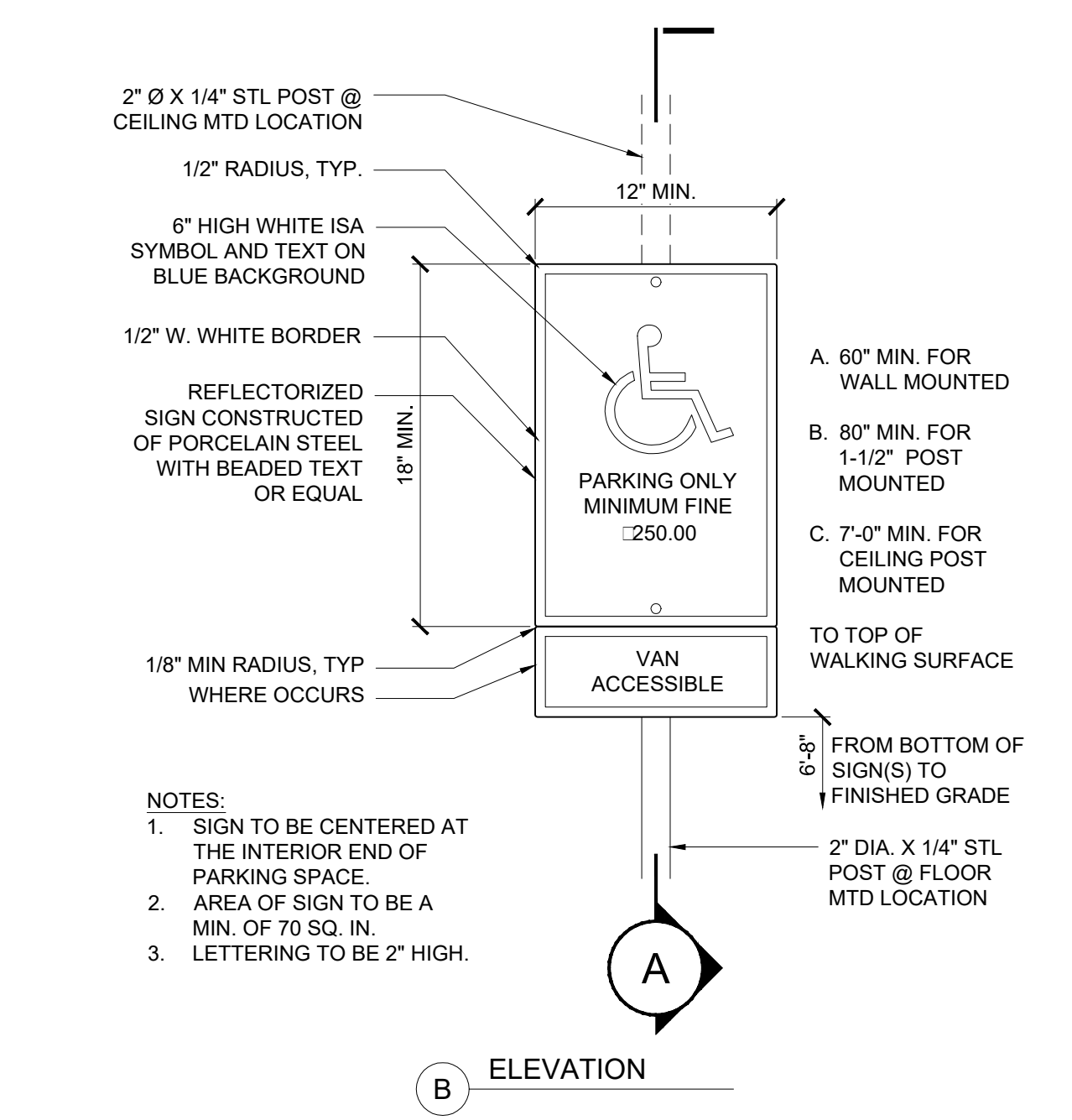
TYPICAL PARKING SIGNAGE

06



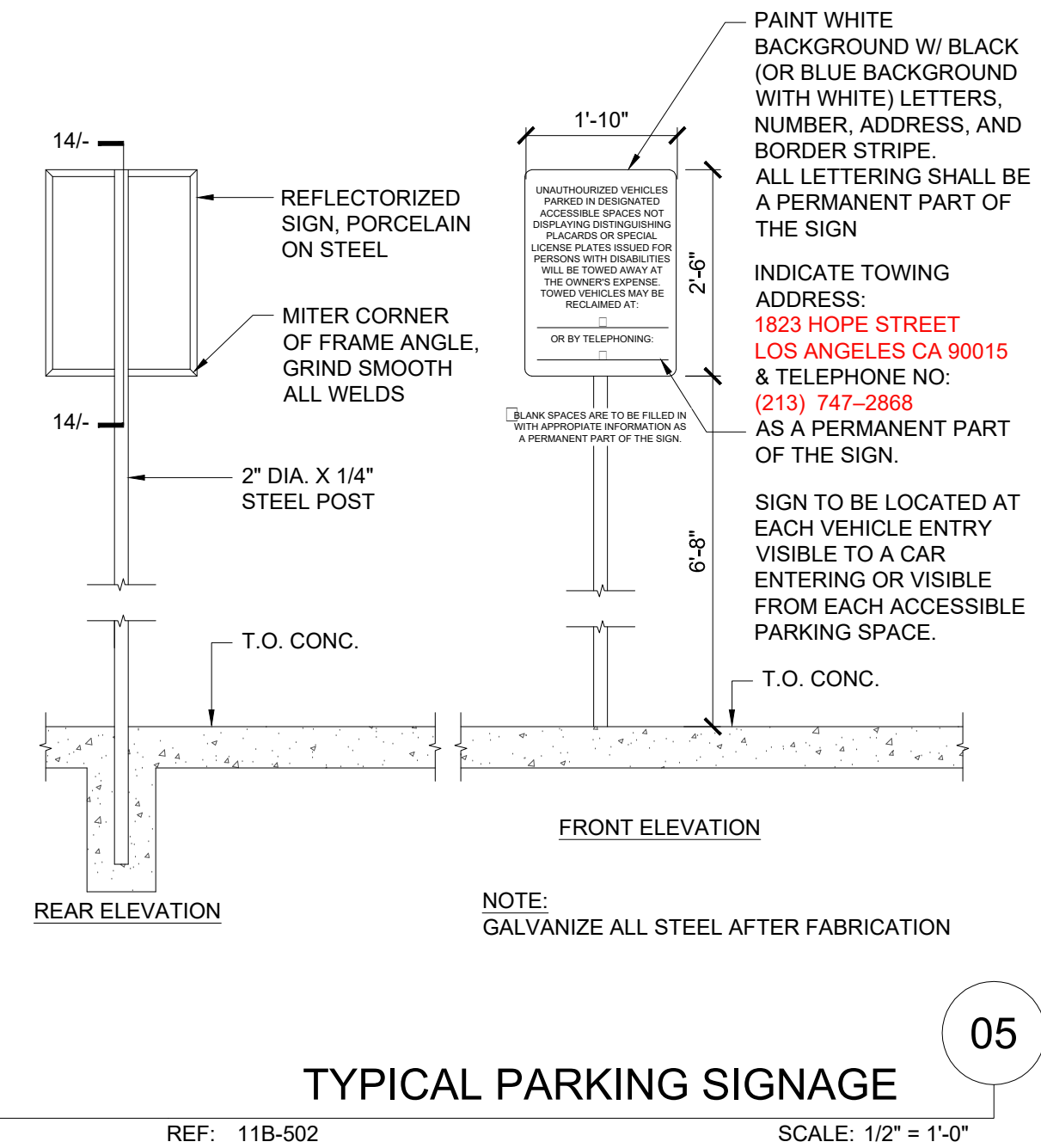
CURB RAMP DETAIL

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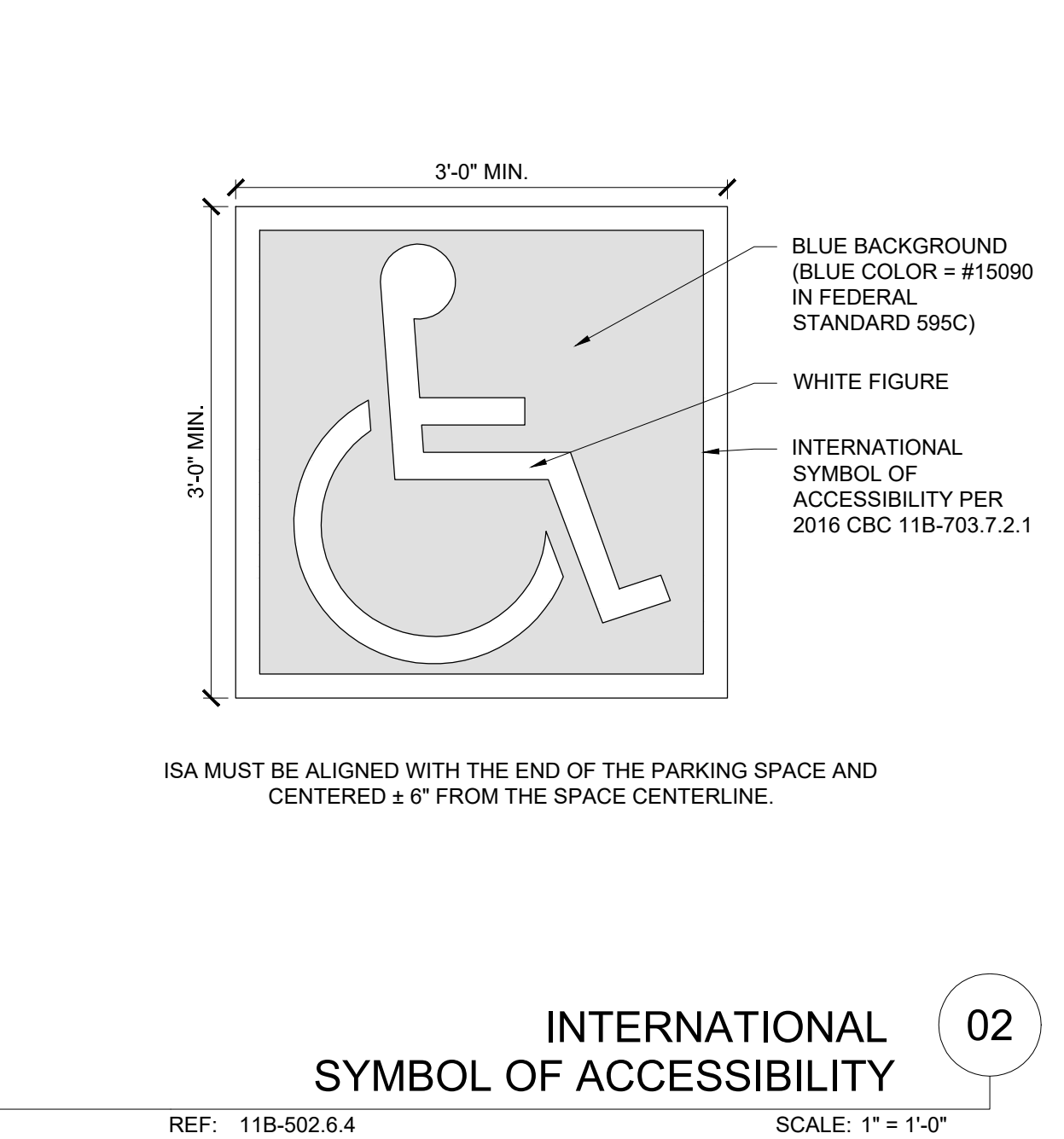
PARKING SIGNAGE DETAIL

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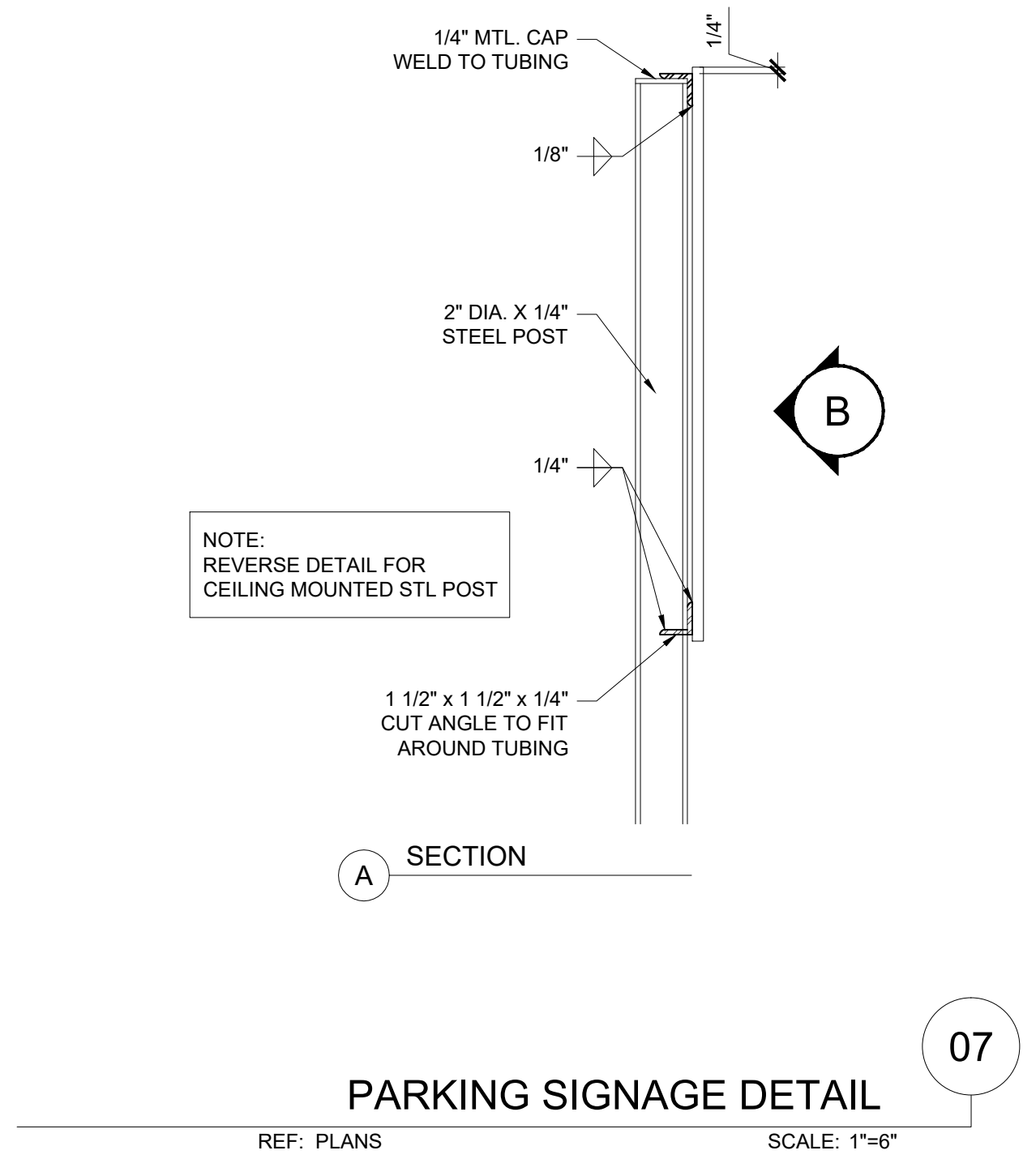
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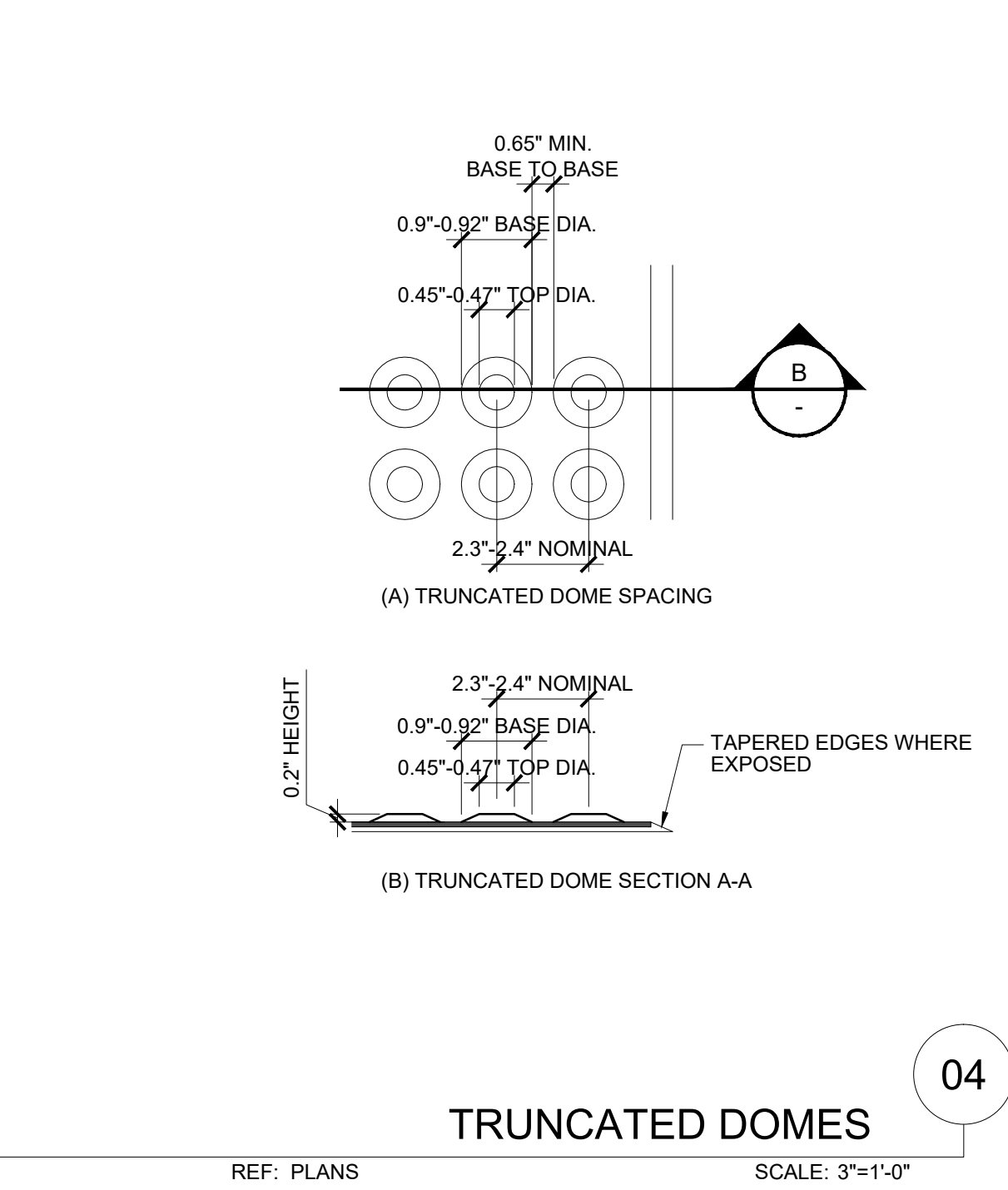
INTERNATIONAL SYMBOL OF ACCESSIBILITY

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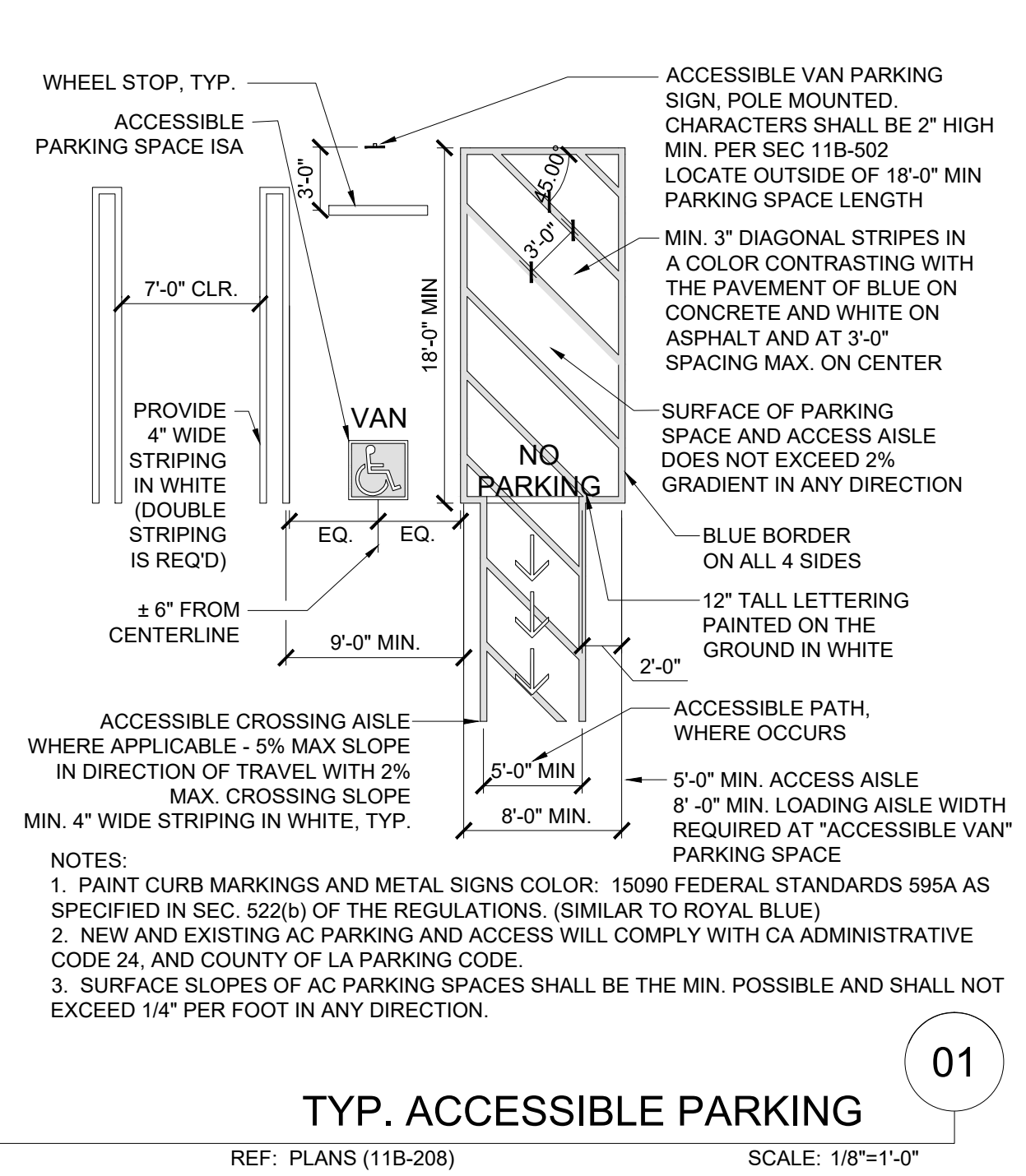
PARKING SIGNAGE DETAIL

07



TRUNCATED DOMES

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TYP. ACCESSIBLE PARKING

01

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TUBS AND SHOWERS

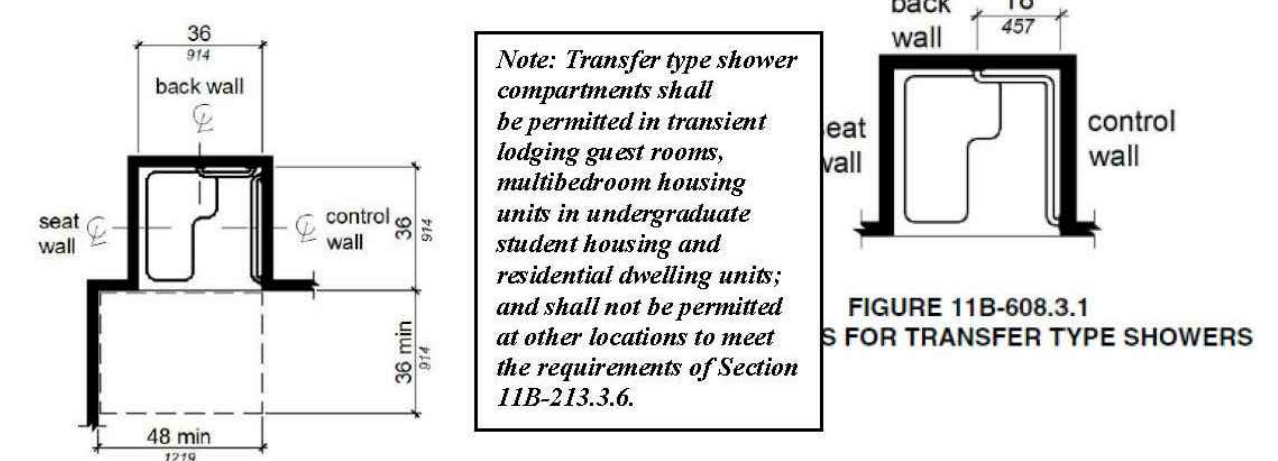


FIGURE 11B-608.2.1
 TRANSFER TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

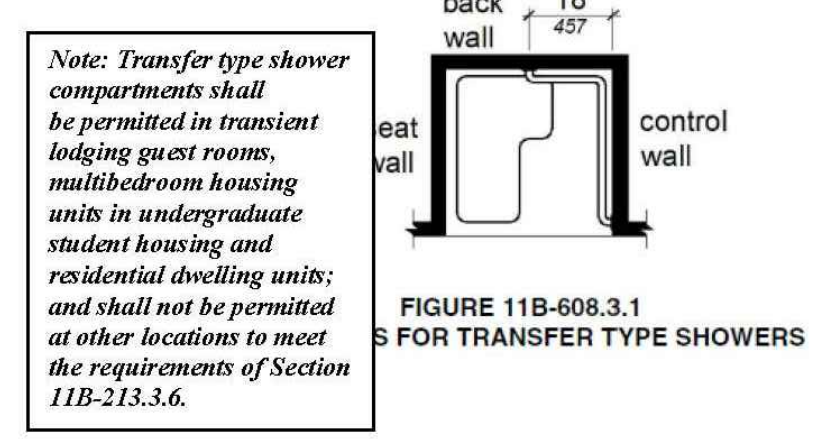


FIGURE 11B-608.3.1
 GRAB BARS FOR TRANSFER TYPE SHOWERS

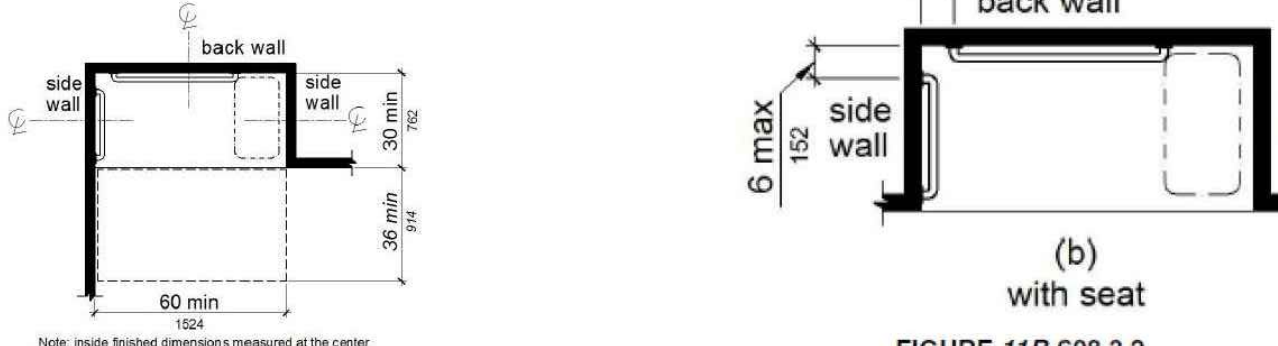


FIGURE 11B-608.2.2
 STANDARD ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

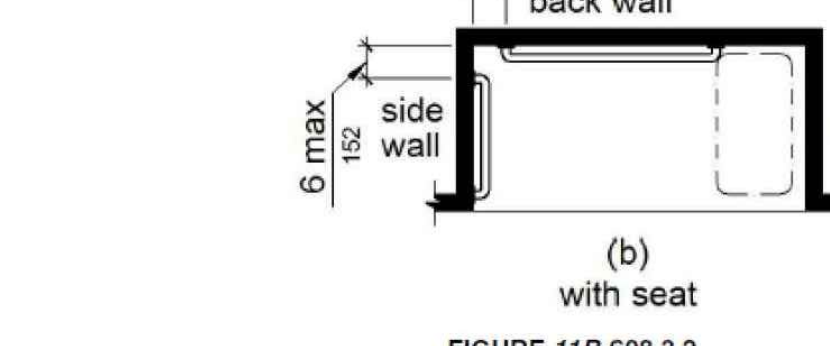


FIGURE 11B-608.3.2
 GRAB BARS FOR STANDARD ROLL-IN TYPE SHOWER



FIGURE 11B-608.2.3
 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

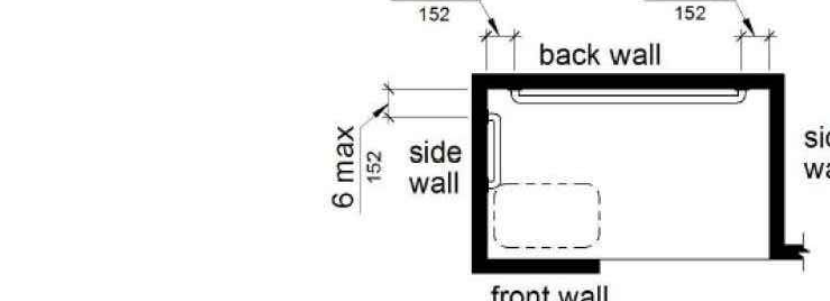
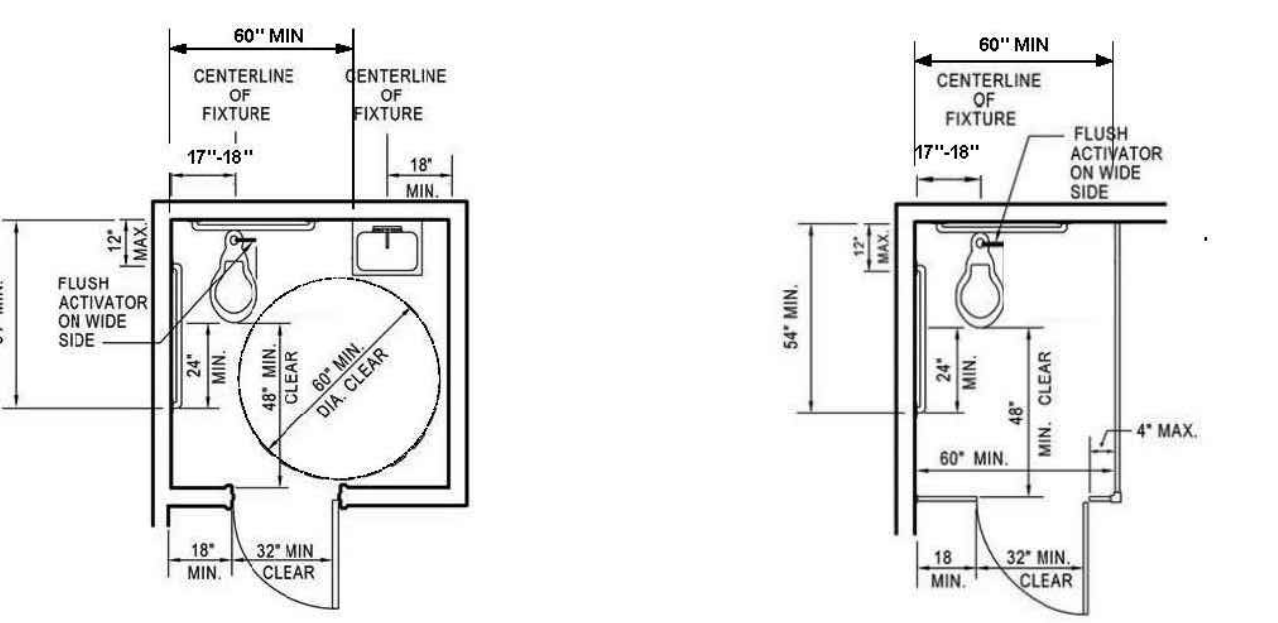


FIGURE 11B-608.3.3
 GRAB BARS FOR ALTERNATE ROLL-IN TYPE SHOWERS

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 Page 4 of 5

ACCESSIBILITY DETAILS FOR RESTROOMS AND DRINKING FOUNTAINS



SINGLE-ACCOMMODATION TOILET FACILITY
 Doors shall not swing into the clear floor space or clearance required for any fixture. Other than the door to the accessible water closet compartment, a door in any position, may encroach into the turning space by 12 inches maximum. (11B-603.2.3)
 Exceptions: (2) Where the toilet room or bathing room is for individual use and a clear floor space complying with Section 11B-306.3 is provided within the room beyond the arc of the door swing, doors shall be permitted to swing into the clear floor space or clearance required for any fixture.

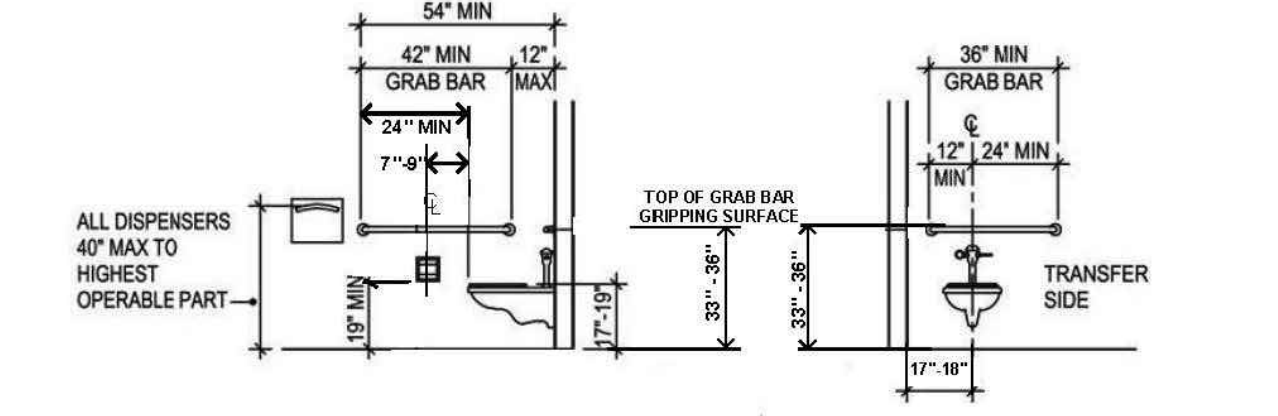


FIGURE 11B-604.5.1
 SIDE WALL GRAB BAR AT WATER CLOSETS

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 Page 1 of 5

TUBS AND SHOWERS

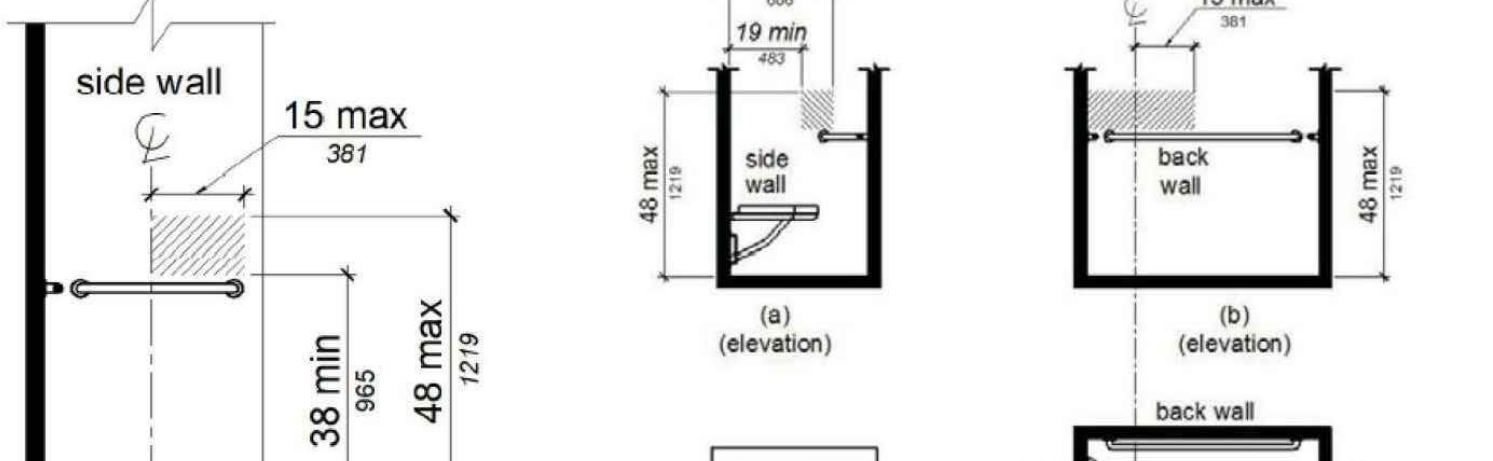


FIGURE 11B-608.5.1
 TRANSFER TYPE SHOWER COMPARTMENT CONTROL



FIGURE 11B-608.5.2
 STANDARD ROLL-IN TYPE SHOWER COMPARTMENT CONTROL LOCATION

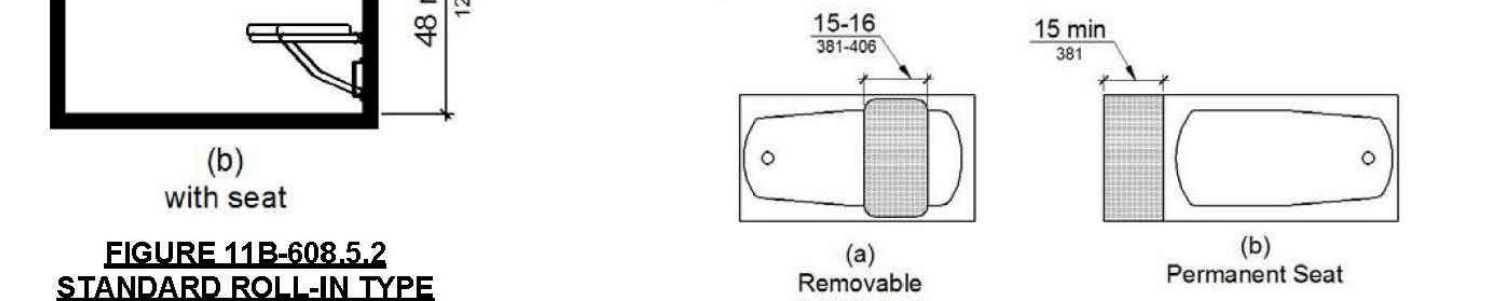


FIGURE 11B-610.2
 BATHTUB SEATS

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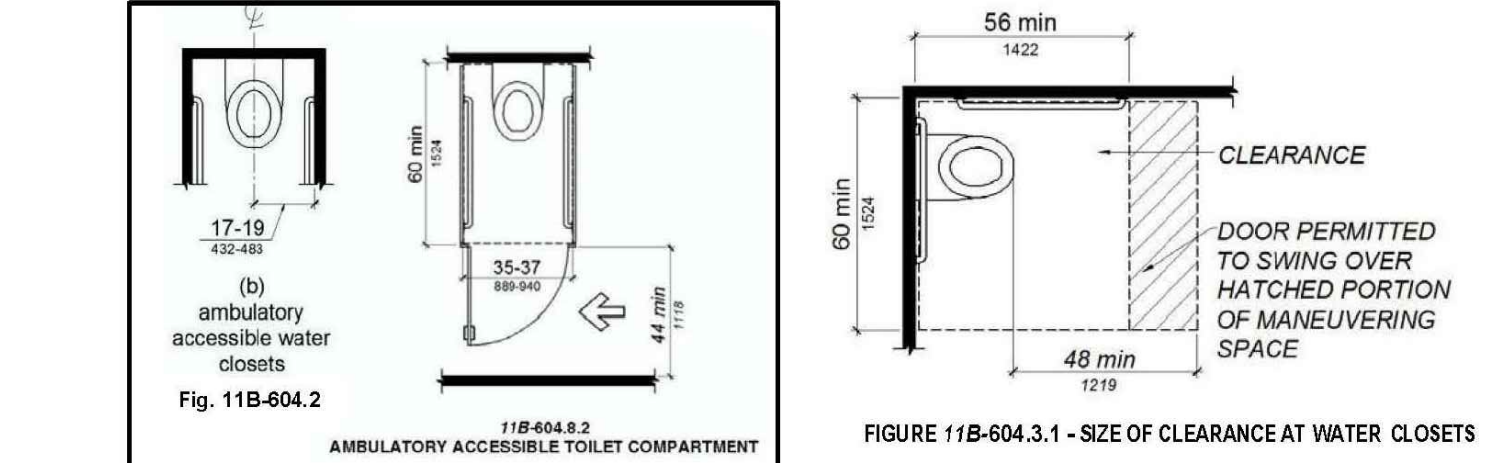


FIGURE 11B-604.2
 AMBULATORY ACCESSIBLE TOILET COMPARTMENT

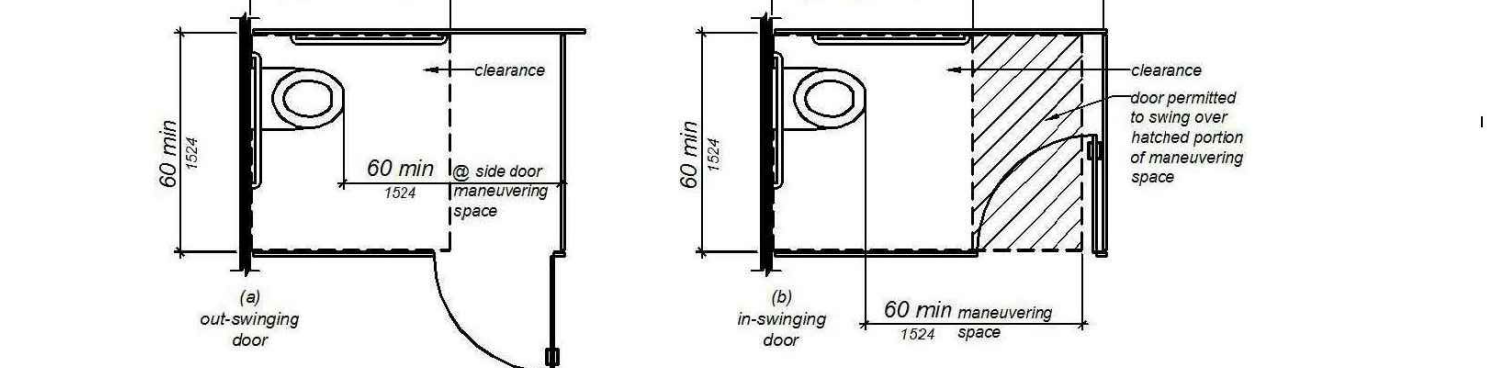


FIGURE 11B-604.3.1
 SIZE OF CLEARANCE AT WATER CLOSETS

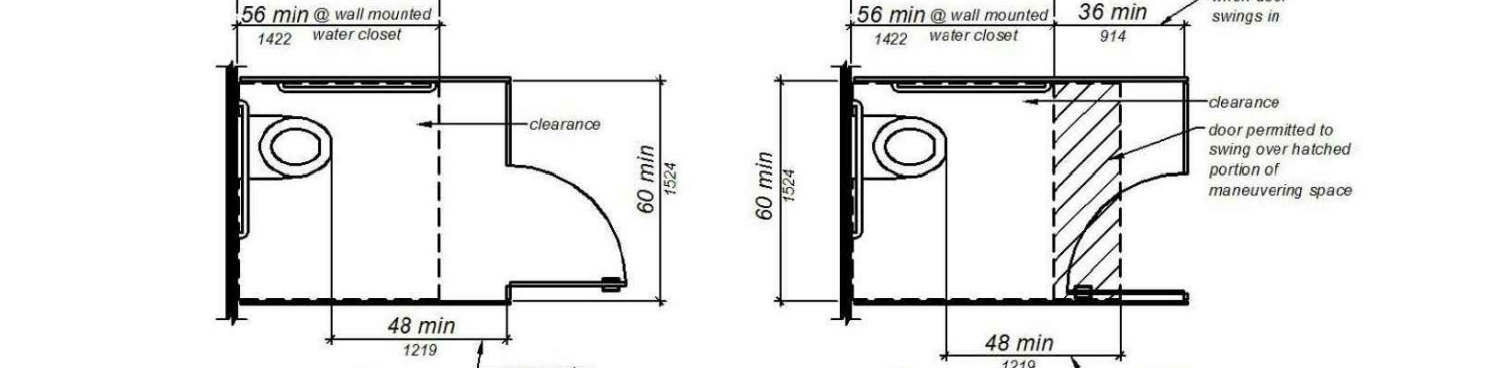


FIGURE 11B-604.8.1.1.2
 MANEUVERING SPACE WITH SIDE-OPENING DOOR

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TUBS AND SHOWERS

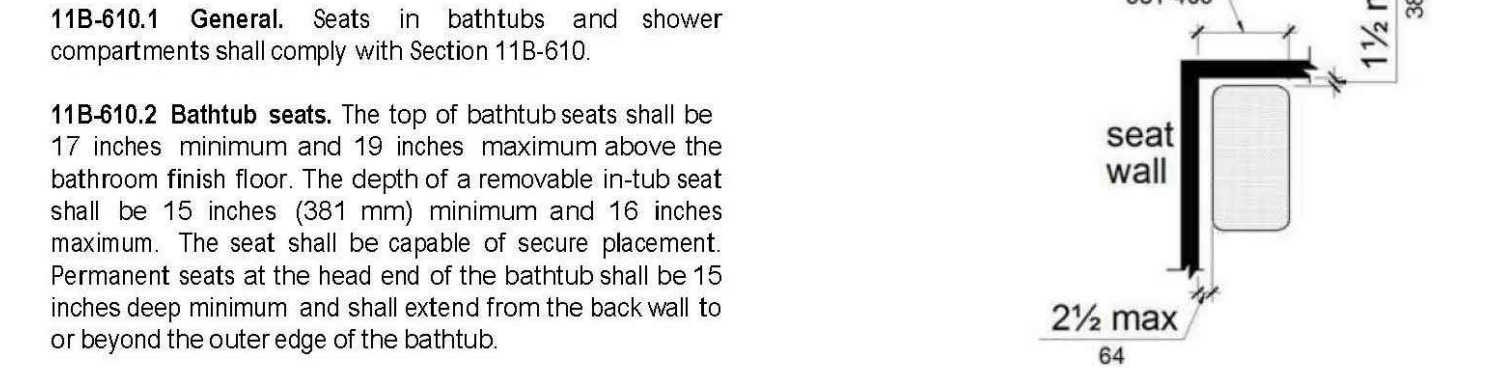


FIGURE 11B-610.1
 RECTANGULAR SHOWER SEAT

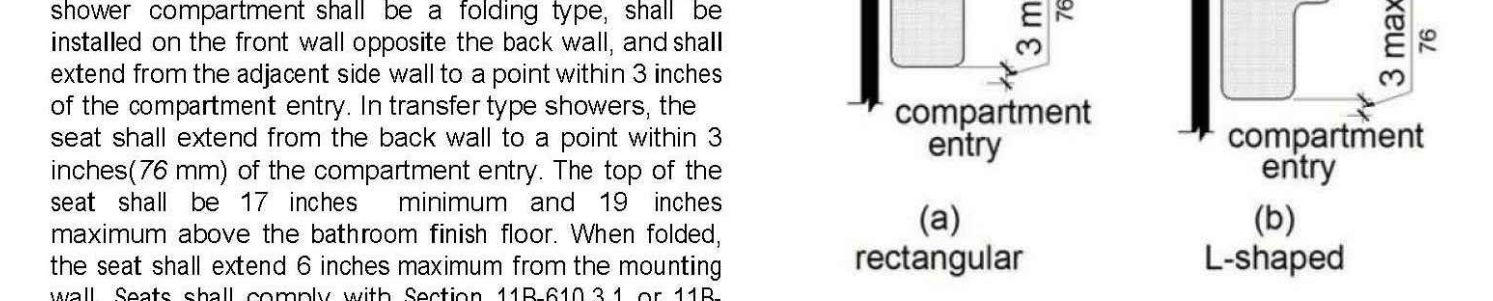


FIGURE 11B-610.3
 EXTENT OF SEAT

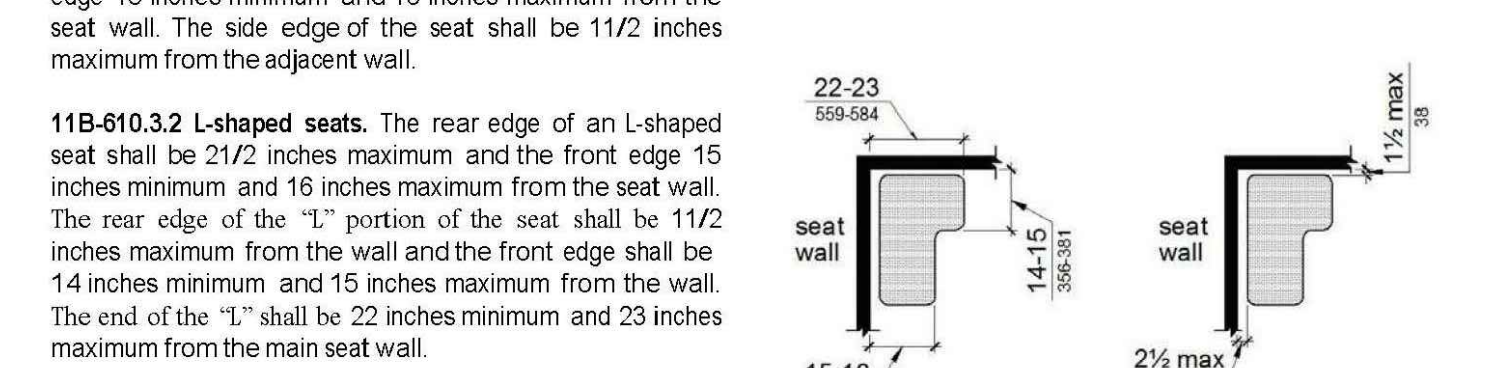


FIGURE 11B-610.3.1
 L-SHAPED SHOWER SEAT

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DRINKING FOUNTAINS

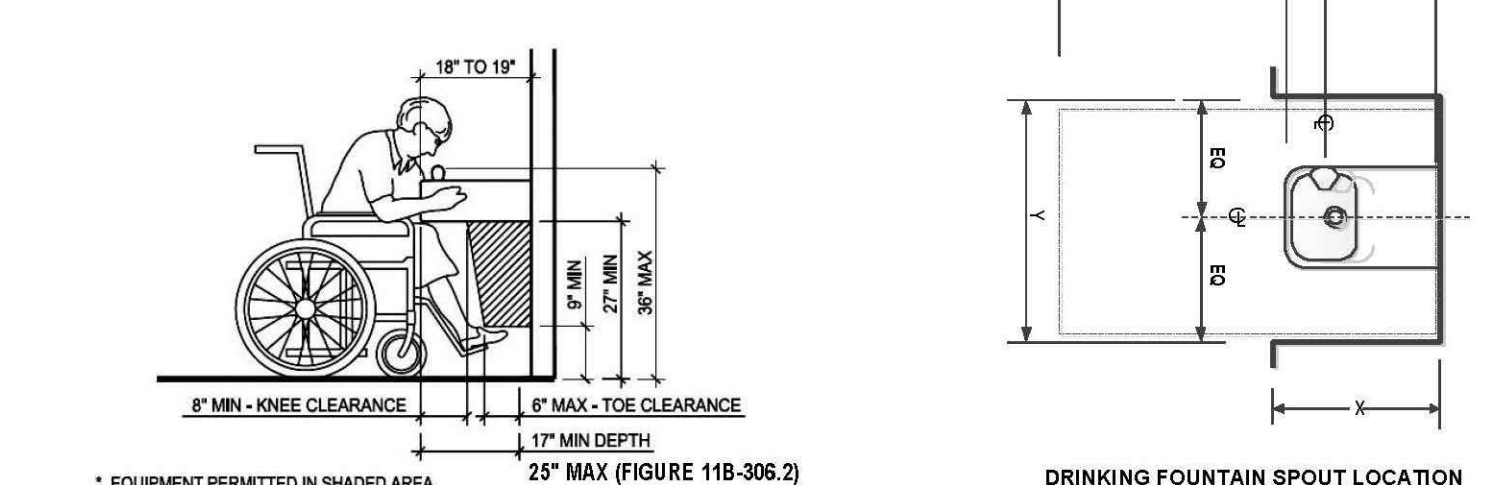


FIGURE 11B-602.1
 SPOUT HEIGHT AND KNEE CLEARANCE AT DRINKING FOUNTAINS



FIGURE 11B-305.7.1
 MANEUVERING CLEARANCE IN AN ALCOVE, FORWARD APPROACH

11B-602.8 WATER FLOW
 THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES HIGH MINIMUM AND SHALL BE LOCATED 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. WHERE SPOUTS ARE LOCATED LESS THAN 3 INCHES FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 90 DEGREES MAXIMUM. WHERE SPOUTS ARE LOCATED BETWEEN 3 INCHES AND 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 15 DEGREES MAXIMUM.

11B-602.9 DRINKING FOUNTAINS FOR STANDING PERSONS
 SPOUT OUTLETS OF DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38 INCHES MINIMUM AND 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

11B-602.9 PEDESTRIAN PROTECTION
 ALL DRINKING FOUNTAINS SHALL EITHER BE LOCATED COMPLETELY WITHIN ALCOVES, POSITIONED COMPLETELY BETWEEN WING WALLS, OR OTHERWISE POSITIONED SO AS NOT TO ENCRUCH INTO PEDESTRIAN WAYS. THE PROTECTED AREA WITHIN A DRINKING FOUNTAIN IS LOCATED SHALL BE 32 INCHES WIDE MINIMUM AND 18 INCHES DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 11B-306.7. WHEN USED, WING WALLS OR BARRIERS SHALL PROJECT HORIZONTALLY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6 INCHES VERTICALLY FROM THE FLOOR OR GROUND SURFACE.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.
 Page 5 of 5

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PLAN CHECK CORRECTION NOTES REQUIRED BY THE CITY OF LOS ANGELES

INSTALLATION).

GENERAL NOTES- PART III
A.3 GENERAL REQUIREMENTS

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B. OMIT (NO GAS IN THIS FACILITY).

C. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

D. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

H. 56-58 MEANS OF EGRESS GENERAL REQUIREMENTS

56.A. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.

B. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).

C. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.

D. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

E. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS.

F. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1010.1.9.3 FOR EXCEPTIONS.

G. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR

H. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.

I. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 & 1010.1.9.12

J. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

K. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

L. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

- I. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
- II. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
- III. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- IV. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- V. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

57. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.

58. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

J. BUILDING ENVELOPE

6. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

10. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY MANUFACTURERS DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING. GLAZING IN:

- A. SWING DOORS.
- B. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
- C. STORM DOORS.
- D. UNFRAMED SWINGING DOORS.
- E. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS.
- F. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. READ CODE FOR EXCEPTIONS.
- G. FIXED OR OPERABLE PANEL OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
 - I. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - II. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - III. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - IV. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

H. GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
I. WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
I. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.
II. THE GLAZING IS WITHIN 60 INCHES OF A SWIMMING POOL OR SPA WATERS EDGE.

J. ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).

K. ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF TREAD (READ CODE FOR EXCEPTION WITH SPECIAL

GENERAL NOTES REQUIRED BY LAFD

• MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE \square 1 FOOTCANDLE AT THE WORKING SURFACE.

• IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT \square 90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE AND A MIN AT ANY POINT OF: 1 FOOTCANDLE:
I. AISLES
II. CORRIDORS.
III. EXIT ACCESS STAIRWAYS AND RAMPS.
IV. INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS.
V. PASSAGEWAYS.
VI. VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE.
VII. ELECTRICAL EQUIPMENT ROOMS
VIII. FIRE COMMAND CENTERS.
IX. FIRE PUMP ROOMS
X. GENERATOR ROOMS.
XI. PUBLIC RESTROOMS \square 300 SF.

• EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
• TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
A. "EXIT" SIGN AT EACH GRADE -LEVEL EXTERIOR DOOR
B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
I. "EXIT STAIR DOWN"
II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
IV. "EXIT RAMP UP"
C. "EXIT ROUTE" AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY.
D. "EXIT ROUTE" AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
E. "TO EXIT" AT EACH DOOR THROUGH A HORIZONTAL EXIT.

• EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

• THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF \geq 5 FOOTCANDLES

• IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT \square 90 MINUTES.

REVISION DATES (DESIGN STAGE ONLY)
A
B
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F
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J
K

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THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE: PLAN CHECK NOTES
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DATE: _____ BY: _____

V/No. REVISIONS:

INDEX NO. _____

CIP NO. _____

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A0.28
SHEET X OF X SHEETS

ICE SKATING FACILITY BUILDING AND SAFETY INFORMATION

CONSTRUCTION GROSS AREA (INCLUDES BUILDING AREA WITHIN THE EXTERIOR WALLS):

- 23,902 SF MEMBRANE STRUCTURE - TYPE II-B (SEE NOTES BELOW)
- 3,670 SF CMU STRUCTURE - TYPE II-B

OCCUPANCY CLASSIFICATION FOR SKATING RINK PER CBC 303.5 = A-4. BUILDING HAS MINOR "B" AND "S" OCCUPANCIES

NFPA 13 SPRINKLERED BUILDING W/ VOICE EVACUATION FIRE ALARM SYSTEM

OCC.	TYPE	ALLOWABLE STORIES ABOVE GRADE PLANE (NS)	ALLOWABLE HEIGHT ABOVE GRADE PLANE (NS)	ALLOWABLE AREA (SM)
A-4	II-B	2 STORIES	55 FT	38,000 SF
B	II-B	3 STORIES	55 FT	92,000 SF
S-2	II-B	2 STORIES	55 FT	70,000 SF

BUILDING HEIGHT: PER CBC 202, "GRADE PLANE" IS "A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS. WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINTS WITHIN THE AREA BETWEEN THE BUILDING AND THE LOT LINE, OR, WHERE THE LOT LINE IS MORE THAN 6 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING."

AVERAGE FINISHED GRADE (SEE PLOT PLAN 01/A0.30 FOR CALCULATION): 739.27'
BUILDING HEIGHT PROVIDED = MAX. 42'-6" @ SPRUNG RIDGE (781.77')

FLOOR AREA: PER CBC SECT. 508.4: IN EACH STORY THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH SEPARATED OCCUPANCY DIVIDED BY THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1.

RATIO OF MIXED OCCUPANCIES FOR II-B:

(A-4) 24,922 / 38,000 SF = 0.656
(B) 650 / 92,000 SF = 0.01
(S-2) 2,000 / 70,000 SF = 0.0285
0.6945 < 1.0

NOTES:

- THE MEMBRANE STRUCTURE PORTION OF THE BUILDING SHALL BE A DEFERRED SUBMITTAL PER THE FOLLOWING BASIS OF DESIGN/ PERFORMANCE CRITERIA (ALSO SEE MODIFICATION SHEET A0.36):
- THE MEMBRANE STRUCTURE SHALL BE A TENSIONED MEMBRANE COVERED FRAME STRUCTURE TO MEET THE DEFINITION IN THE INTERNATIONAL BUILDING CODE (IBC) 2015 AND 2018 IN CHAPTER 2 "DEFINITIONS" AS A "NON-PRESSURIZED BUILDING WHEREIN THE STRUCTURE IS COMPOSED OF A RIGID FRAMEWORK TO SUPPORT A TENSIONED MEMBRANE WHICH PROVIDES THE WEATHER BARRIER."
- CHAPTER 31 SECTION 3102 MEMBRANE STRUCTURES WILL GOVERN SINCE THE STRUCTURE IS TO BE ERRECTED FOR A PERIOD OF 180 DAYS OR LONGER. THE MEMBRANE STRUCTURE SHALL COMPLY TO ALL PROVISIONS OF 2019 CBC SECTIONS 3102.1 THROUGH 3102.8.
- PER CBC 2019 SECTION 3102.3: NON-COMBUSTIBLE FRAME OR CABLE-SUPPORTED STRUCTURES COVERED BY AN APPROVED MEMBRANE IN ACCORDANCE WITH SECTION 3102.3.1 SHALL BE CLASSIFIED AS TYPE II B CONSTRUCTION.
- THE ARCHITECTURAL MEMBRANE WHICH WILL BE UTILIZED NEEDS TO HAVE PASSED FIRE TEST PROTOCOLS TO MEET THE INTENT OF THE FIRE PROPAGATION REQUIREMENTS AS OUTLINED IN THE BUILDING CODE.
- THE FRAME SHALL NOT BURN AND WILL BE NON-COMBUSTIBLE.
- THE MEMBRANE SHALL MEET THE REQUIREMENTS OF SECTION 803.1 WITH A CLASS A RATING. THE MEMBRANE SHALL HAVE A FLAME SPREAD OF 25 OR LESS AND A SMOKED DEVELOPED INDEX OF 450 OR LESS AS PER THE TESTING REQUIREMENTS OF ASTM-E-84.
- THE ARCHITECTURAL MEMBRANE IS CONSIDERED NON-RATED. THE OVERALL FRAME IS CONSIDERED NON-COMBUSTIBLE. AS SUCH, THE STRUCTURE CAN BE CONSIDERED TO MEET THE REQUIREMENTS OF A TYPE II B CONSTRUCTION.
- THE MEMBRANE PORTION OF THE STRUCTURE WILL BE DESIGNED AS PER THE ASCE STANDARD 55 "TENSILE MEMBRANE STRUCTURES". THIS STANDARD PROVIDES MINIMUM CRITERIA FOR THE ANALYSIS, DESIGN AND PERFORMANCE OF MEMBRANE-COVERED CABLE AND RIGID MEMBER STRUCTURES, COLLECTIVELY KNOWN AS TENSILE MEMBRANE STRUCTURES, INCLUDING PERMANENT AND TEMPORARY STRUCTURES... THE REQUIREMENTS OF THIS STANDARD SHALL APPLY WHETHER THE TENSILE MEMBRANE STRUCTURE IS INDEPENDENT OF OR ATTACHED TO ANOTHER STRUCTURE."
- MEMBRANE STRUCTURES ARE CONSIDERED SINGLE STORY BUILDINGS AND SHALL NOT BE LIMITED IN HEIGHT. ASCE-55 2.5.3 HEIGHT LIMITATIONS "TENSILE MEMBRANE STRUCTURES SHALL NOT BE LIMITED IN HEIGHT EXCEPT AS REQUIRED BY APPLICABLE LOCAL ZONING REGULATIONS"

APPLICABLE CODES

- 2019 LA AMENDMENT BUILDING CODE
- 2019 LA AMENDMENT GREEN BUILDING CODE
- 2019 LA AMENDMENT ELECTRICAL CODE
- 2019 LA AMENDMENT MECHANICAL CODE
- 2019 LA AMENDMENT PLUMBING CODE
- 2019 LA AMENDMENT FIRE CODE
- CITY'S GREEN BUILDING ORDINANCE
- TITLE 24 STANDARDS
- STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION ("BROWN BOOK")
- LOW IMPACT DEVELOPMENT (LID)
- STANDARD URBAN STORMWATER MITIGATION PLAN (SUSMP)

ICE SKATING BUILDING FLOOR AREA SUMMARY

(BUILDING AREAS WITHIN EXTERIOR WALLS, INCLUDES INTERIOR WALLS)
TYPE II-B
A-4=24,922 SF
S-2=2,000 SF
B=650 SF
TOTAL= 27,572 SF

WALL & OPENING PROTECTION CALCULATION

REQUIRED WALL RATINGS PER TABLE 601 *	TYPE II-B
STRUCTURAL FRAME	0
EXTERIOR BEARING	0
INTERIOR BEARING	0
EXTERIOR NON-BEARING	FOR OCCUPANCY A-3, B, S SEE TABLE 602 (FOR MORE INFO)
INTERIOR NON-BEARING	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

NOT LESS THAN FIRE RATING BASED ON FIRE SEPARATION DISTANCE PER TABLE 602.

MAX. AREA OF EXTERIOR WALL OPENINGS PER TABLE 705.8 FIRE SEPARATION DISTANCE								
CLASS. OF OPENING	0 - 3 FT.	3 - 5 FT	5 - 10 FT	10 - 15 FT	15 - 20 FT	20 - 25 FT	25 - 30 FT	30 FT
UNPROTECTED/ SPRINKLERED	NOT PERMITTED	15%	25%	45%	75	NO LIMIT	NO LIMIT	NOT REQUIRED
PROTECTED	NOT PERMITTED	15%	25%	45%	75	NO LIMIT	NO LIMIT	NOT REQUIRED

CULTURAL AFFAIRS APPROVAL (SEE SHEETS A0.02, A0.00, A8.30-A8.34)

CULTURAL AFFAIRS COMMISSION HAS APPROVED THE DESIGN PRESENTED ON 2021-03-10 BASED ON :

- THE ARTICULATION OF THE FENCE/ GATE ON SHERMAN WAY.
- THE ARTICULATION OF GATEWAY/ PORTAL AT THE ICE RINK BUILDING ENTRY.
- THE GRAPHICS ON THE MEMBRANE.
- THE LANDSCAPE AND PAINTED GRAPHICS ON THE ROLLER RINK AREA.

THESE ELEMENTS SHALL BE IMPLEMENTED IN ACCORDANCE TO THESE DRAWINGS.

ICE SKATING BUILDING AREAS/ PLUMBING FIXTURE CALCULATION

SPACE	AREA (S.F.)	OCCUPANCY	LOAD FACTOR (PER TABLE 1004.5 & 1004.6)	OCC. LOAD	REQ'D EXITS	OCC. LOAD FOR PLUMBING FIXTURES PER TABLE A SECT. 422.1 LAPC (LOAD FACTORS: A=2=30, B=200, S=5,000)
NEW ONE-STORY BUILDING, TYPE II-B HYBRID (MEMBRANE & CMU) WITH NEW FIRE SPRINKLER SYSTEM						
ICE RESURFACER ROOM	580	S-2	300 GROSS	1.94	1	0.12
LOBBY	3,780	A-4	15 NET	252	2	126
OFFICE	400	B	150 GROSS	2.67	1	2
SKATE STORAGE	82	B	150 GROSS	0.55	1	0.41
BREAK ROOM	100	B	150 GROSS	0.67	1	0.5
RESTROOMS	420	ACCESSORY TO A-4	-	-	-	-
JANITOR	35	S-2	300 GROSS	0.22	1	0.013
VESTIBULE	120	A-4	15 NET	8	1	4
ICE ROOM	760	S-2	300 GROSS	2.53	1	0.15
ELEC. MECH. ROOM	427	S-2	300 GROSS	1.42	1	0.085
REF. ROOM	90	A-4	50 GROSS	1.8	1	3
REF. BATHROOM	60	ACCESSORY TO A-4	-	-	-	-
GIRL'S ROOM	55	A-4	50 GROSS	1	1	1.9
GIRL'S BATHROOM	60	ACCESSORY TO A-4	-	-	-	-
LOCKER ROOM 1	308	A-4	50 GROSS	6.16	1	10.27
LOCKER ROOM 2	308	A-4	50 GROSS	6.16	1	10.27
SHARED BATHROOM 1	207	ACCESSORY TO A-4	-	-	-	-
LOCKER ROOM 3	308	A-4	50 GROSS	6.16	1	10.27
LOCKER ROOM 4	308	A-4	50 GROSS	6.16	1	10.27
SHARED BATHROOM 2	207	ACCESSORY TO A-4	-	-	-	-
BLEACHERS	136'-8"	A-4	1'-6"	90	2	45
ICE RINK	17,013	A-4	50 GROSS	340.26	2	567
TOTAL				729.6=730		

NOTE: WHERE EGRESS WIDTHS CALCULATE LESS THAN 34", A MINIMUM SIZE DOOR OF 34" IS REQUIRED.

TOTAL PLUMBING FIXTURE CALCULATION PER LAPC TABLE 422.1 (USING OCC. LOAD FOR PLUMB. FIXTURES)					
	OCC. LOAD	WATER CLOSET	URINAL	LAVATORY	DRINKING FOUNTAIN
A-4 REQUIRED	TOTAL A-4: 788 OCC.	MALE:3, FEMALE:8	MALE:3	MALE:2, FEMALE:5	3
A-4 PROVIDED	394 MALES, 394 FEMALES				
B REQUIRED	TOTAL B: 4.31 OCC.	MALE:1, FEMALE:1	MALE:1	MALE:1, FEMALE:1	1
B PROVIDED	2.16 MALES, 2.16 FEMALES				
S-2 REQUIRED	TOTAL S: 0.37 OCC.	MALE:1, FEMALE:1	NONE	MALE:1, FEMALE:1	1
S-2 PROVIDED	0.185 MALES, 0.185 FEMALES				
TOTAL REQUIRED		12**	3**	8**	5
TOTAL PROVIDED		12	3	12	6***

** PER LAPC 422.2 EXCEPTION (2) IN OCCUPANCIES WITH A TOTAL OF 10 OR LESS, INCLUDING CUSTOMERS AND EMPLOYEES, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

*** 4 WATER FOUNTAINS - 2 BOTTLE REFILL STATIONS

ZONING- PLANNING INFORMATION

LEGAL DESCRIPTION: ASSESSOR PARCEL NUMBER (APN) 2125036902, 2125036903 TRACT: TR 21799

PROJECT SITE ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335
PARCEL AREA: NORTH LOT= 16,948.1 SF SOUTH LOT= 34,484.3 SF (27,850 SF ORIGINAL LOT= 6,634.3 SF OF THE ADDITIONAL TO-BE-ACQUIRED LAND)
TOTAL= 51,332.4 SF

BUILDING FOOTPRINT (INCLUDES ALL BUILDING AND COVERED AREAS)= 28,445 SF (ONLY ON SOUTH LOT)

THE TWO LOTS ARE DESIGNATED AS Q-C2-1L-CDO AND Q-P-1L-CDO, HOWEVER THEY HAVE BEEN ACQUIRED BY THE DEPARTMENT OF RECREATION AND PARKS, CITY OF LOS ANGELES AND WILL BE RE-ZONED AND RE-DESIGNATED TO OPEN SPACE (SEE A0.31), UNDER CURRENT ZONING [Q] P-1L-CDO, MAX. HEIGHT IS UNLIMITED.

- SEE A0.31, A0.32 FOR CEQA NOE.
- COMMUNITY PLANNING AREA: RESEDA- WEST VAN NUYS.
- AREA PLANNING COMMISSION: SOUTH VALLEY
- NEIGHBORHOOD COUNCIL: RESEDA
- ZONING INFO: ZI-2339
- COMMUNITY DESIGN OVERLAY DISTRICT: RESEDA CENTRAL BUSINESS DISTRICT
- CRA- COMMUNITY REDEVELOPMENT AGENCY: NO
- FIRE DISTRICT 2

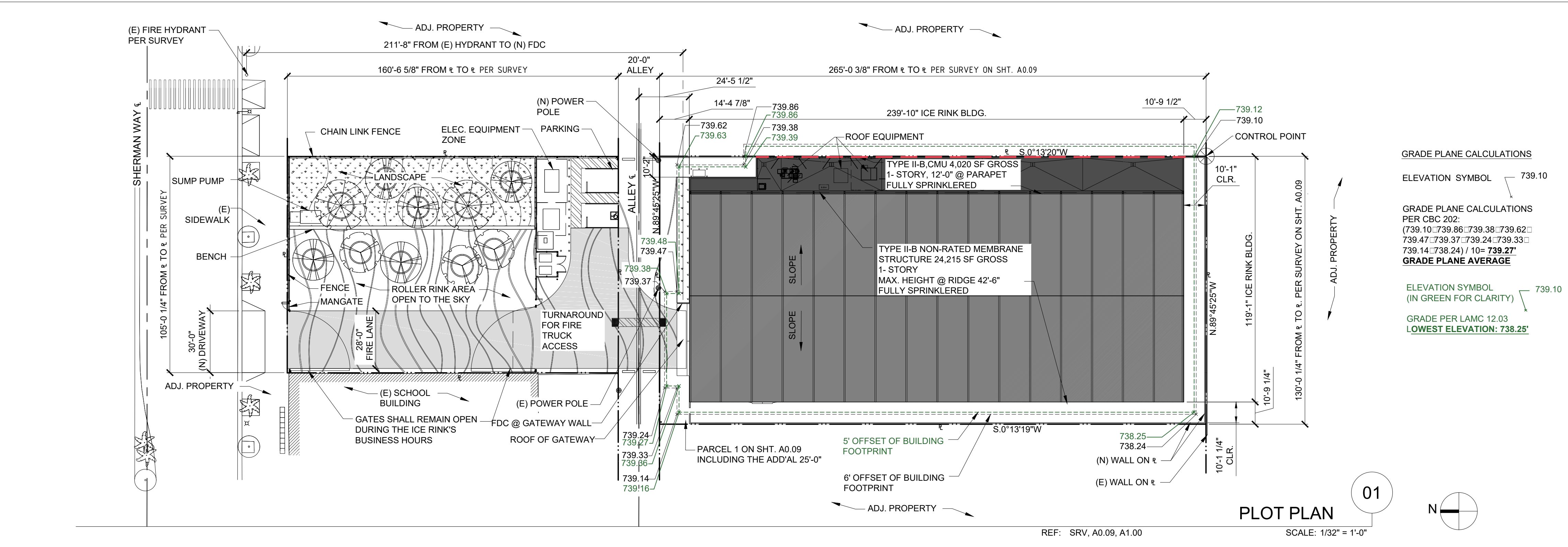
PARKING: PROJECT IS EXEMPT FROM PARKING REQUIREMENTS (SEE A0.31)
PARKING PROVIDED: 1 VAN ACCESSIBLE SPACE 1 VAN EVCS SPACE 7 SHORT TERM BIKE PARKING

DEFERRED SUBMITTALS (CONTRACTOR IS RESPONSIBLE FOR DESIGN, ENGINEERING, PLAN CHECK & PERMIT.)

THE FOLLOWING ITEMS SHALL BE DEFERRED SUBMITTALS:

- MEMBRANE STRUCTURE (MEMBRANE SYSTEM AND ATTACHMENTS), DESIGN INTENT & PERFORMANCE CRITERIA OUTLINED THROUGHOUT THESE DOCUMENTS. IF ALTERNATIVE SYSTEM THAN THE ONE SPECIFIED IN ARCHITECTURAL/ STRUCTURAL DRAWINGS IS USED FOR PAVILION, A SUPPLEMENTAL PERMIT AND PLAN CHECK WILL BE REQUIRED. APPROVAL OF STRUCTURAL ENGINEER AND ARCHITECT OF RECORD IS REQUIRED. THE SYSTEM SHALL COMPLY WITH THE ACCEPTANCE CRITERIA (LARR OR ICC-ES#) WITH ALL THE CONDITIONS OF APPROVAL.
- FIRE DETECTION & VOICE ALARM COMMUNICATION SYSTEM DESIGN
- FIRE SPRINKLER SYSTEM DESIGN (NFPA 13)
- STOREFRONT/ CURTAIN WALL ENGINEERING
- CHAIN LINK FENCE (DESIGN INTENT PER 01/ A8.32)

PLOT PLAN



ENGINEERING

CITY OF LOS ANGELES

Environmental Engineering Division

LICENSED ARCHITECT

LAWRENCE SOMPA

C21812

REN 10/31/2023

STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL: HORIZONTAL CONTROL:

DATE: BY:

SHEET TITLE: CODE ANALYSIS & PLOT PLAN

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP

DESIGN GROUP:

DATE:

WORK ORDER NO. E170121B

SHEET X OF X SHEETS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP

DESIGNED BY:

DRAWN BY:

CHECKED BY:

APPROVED BY:

INDEX NO.

CIP NO.

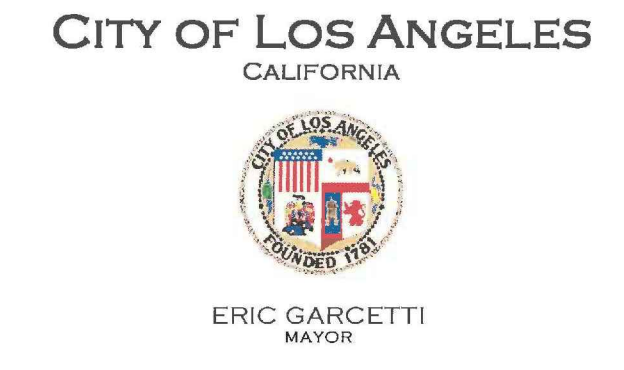
REVISION DATES (DESIGN STAGE ONLY)
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Sheet Version 4.0

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CITY PLANNING COMMISSION
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Date: December 6, 2018
To: Michael Shull, General Manager, Department of Recreation and Parks
Frank M. Bush, General Manager, Department of Building and Safety
Ralph M. Terrazas, Fire Chief, Fire Department
Gary Lee Moore, City Engineer, Department of Public Works, Bureau of Engineering
From: Vincent P. Bertoni, AICP, Director of Planning
Subject: Department of Recreation and Parks Authority under City Charter

In response to recent discussions involving management and staff from Department of Recreation and Parks, Department of City Planning and the City Attorney's Office, all parties concur that the City of Los Angeles Charter establishes broad authorization for the Department of Recreation and Parks to pursue parks and recreational facilities located on property owned or controlled by the City for public recreation, including facilities leased to, or operated and/or managed by private operators and any accessory use or building, within the City of Los Angeles. This memorandum does not apply to privately owned and operated park projects. The following Charter Sections (only applicable language listed) provide the aforementioned authority:

- Section 590. Powers and Duties of the Department.
- The Department of Recreation and Parks shall have the power and duty:
- (a) to establish, construct, maintain, operate and control, wherever located:
 - (1) all parks of the City of Los Angeles;
 - (2) all recreational facilities, museums, observatories, municipal auditoriums, sports centers and all lands, waters, facilities or equipment set aside or dedicated for recreational purposes and public enjoyment; and
 - (3) all property acquired by it or assigned to its jurisdiction for public recreation.
 - (b) to design, construct and operate, lease, rent or sell concessions or privileges to be exercised for the benefit, education, amusement, convenience or enjoyment of the public, in connection with any function, site or facility under the jurisdiction of the department;
 - (c) to establish schedules of charges for special services;
 - (d) to promote public recreation and cooperate with other public agencies and organizations for that purpose; and

(e) to establish, maintain and operate playgrounds or other recreational facilities upon portions of public streets, under terms and conditions provided by ordinance.

Section 591. Board of Recreation and Parks Commissioners.

The Board of Recreation and Park Commissioners shall have the power:

- (a) to control all recreation and park sites;
- (b) to control, appropriate and expend all money in the Recreation and Parks Fund and authorize the City Treasurer to invest any surplus funds under its control in accordance with Section 303(b); and
- (c) to organize the work of the department into divisions and to appoint an administrative officer for each division or for any group of divisions.

Section 594. Control and Management of Recreation and Park Lands.

(a) Management and Control. The Department of Recreation and Parks shall operate, manage and control all property now or hereafter owned or controlled by the City for public recreation, including parks, and shall have power in the name of the City to acquire and take by purchase, lease, condemnation, gift, in trust or otherwise, any and all property necessary or convenient for recreation, including park purposes.

(b) Acquisition of Property. No real property shall be acquired by the City for recreation sites, including parks, unless first approved by the Board of Recreation and Park Commissioners.

(c) Restrictions on Transfer of Dedicated Parks. All lands heretofore or hereafter set apart or dedicated as a public park shall forever remain for the use of the public in whole or in part, except in compliance with.....

(d) Transfer to Purposes other than Recreation and Park Purposes. No sites under the management and control of the department shall be devoted or transferred to any other purpose in whole or in part, except in compliance with.....

As stated in Section 591 of the Los Angeles Charter, the Board of Recreation and Park Commissioners (Board) has the power to control all City-owned and operated parks and recreational facilities. In addition, all proposed park projects require approval by the Board, thus ensuring consistency with adopted City plans. The Board shall have the authority to determine appropriate locations for park projects, uses associated with park projects, accessory structures and buildings, and any off-street parking to satisfy park project needs. This authorization exempts Department of Recreation and Parks projects, including facilities leased to, or operated and/or managed by private operators and any accessory use or building, from the regulations of Chapter 1 of the Los Angeles Municipal Code and any General Provisions and Zoning chapters that may be adopted subsequent to this memorandum, including but not limited to the following:

- A. Use for each zone (Parks and recreational facilities shall be permitted in all zones.)
- B. Restriction for each zone (Parks and recreational facilities, including any accessory use or building, shall be permitted in all zones.)
- C. Area for each zone (The area of each structure and/or building shall not be restricted in all zones.)
- D. Specific Plans
- E. Districts, including Overlays
- F. Off-street parking
- G. Height
- H. Signs

Further, any Department of Recreation and Parks project, including facilities leased to, or operated and/or managed by private operators and any accessory use or building, shall not be subject to any Department of City Planning entitlements for development, including but not limited to the following:

- A. Project Permit Compliance
- B. Zone Change (Changes to zones will continue to be reflected during the community plan update process.)
- C. Conditional Use Permit (The sale of alcoholic beverages for on or off-site consumption requires approval by the RAP Board. Department of Recreation and Parks will be responsible for coordinating directly with the California Department of Alcoholic Beverage Control regarding license authorizations.)
- D. Variance
- E. Adjustment
- F. Site Plan Review
- G. Previously approved entitlements having a Sunset Clause

All other City regulations for development projects, not administered or regulated by Chapter 1 of the Los Angeles Municipal Code, shall continue to be enforced by each respective City department, unless otherwise stated by said department. All Department of Recreation and Parks projects that require building permits for construction, including tenant improvements, shall be subject to all current building code regulations as enforced by the Department of Building and Safety.

In addition, this memorandum does not supersede any State of California or Federal regulations, including but not limited to, the California Coastal Act (California Government Code Sections 30000-30900), the Subdivision Map Act (California Government Code Sections 66410-66499.56), or the Americans With Disabilities Act.

Finally, the Department of City Planning and the Department of Recreation and Parks will jointly write a Memorandum of Understanding for the purpose of maintaining communication regarding all proposed park projects. Department of Recreation and Parks staff has agreed to convene with Department of City Planning staff on a quarterly basis, as needed, to solicit urban design feedback for all proposed park projects to ensure consistency with applicable design guidelines and adopted plans.

FORM GEN. 160 (Rev. 11-02)
CITY OF LOS ANGELES
INTERDEPARTMENTAL CORRESPONDENCE

Date: January 5th, 2021
To: Department of Building and Safety
From: Darryl Ford, Superintendent
Planning, Construction and Maintenance Branch
Department of Recreation and Parks

Subject: Reseda Skate Facility Development

Pursuant to the letter, dated December 6, 2018, issued by Department of City Planning, it is agreed that the City of Los Angeles Charter exempts the Department of Recreation and Parks (RAP) projects from the regulations of Chapter 1 of the Los Angeles Municipal Code (CH 1 LAMC). City of Los Angeles, Department of Public Works, Bureau of Engineering is tasked to manage the development of the following proposed project inside RAP's property.

Project name: Reseda Skate Facility Development
Project address: 18210 Sherman Way, Los Angeles, CA 91335
Scope of work: the project's scope of work mainly consists of constructing an approximately 25,300 square-foot ice rink building. In addition, there will be landscape and hardscape improvements.

Since the proposed project is located on RAP's property and it is leased to concessionaire for operation, it is exempt from the regulations of CH 1 LAMC. Please contact my staff, Sean Phan, at 213-202-2637 or sean.phan@lacity.org if you have any questions.

Cc: Fernando Torres Jr, RAP

Attachment:
Department of Recreation and Parks Authority under City Charter



VERTICAL CONTROL:
HORIZONTAL CONTROL:
SHEET TITLE:
PROJECT:
ADDRESS:
CIP NO.
INDEX NO.

NO. REVISIONS:
DATE: BY:
CITY ENGINEER
DESIGN GROUP

ENGINEER:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:
GARY LEE MOORE, P.E., ENV SP

WORK ORDER NO.
E170121B

SHEET NAME
A0.31
SHEET X OF X SHEETS

CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
ROOM 345 CITY HALL
LOS ANGELES, CALIFORNIA 90012
CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION
(Articles II and III - City CEQA Guidelines)

CITY CLERK'S USE
DOCUMENT FILED
City Clerk's Office
MAY 14 2018
Certified by
Date: 5/14/18

Reseda Skate Facility (W.O. E170121B)

Submission of this form is optional. The form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, California, 90660, pursuant to the Public Resources Code Section 21152(b). Pursuant to Public Resources Code Section 21167(d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project.

LEAD CITY AGENCY AND ADDRESS: Environmental Management Group Los Angeles City Engineer 1149 S. Broadway, MS 939 Los Angeles, CA 90015	COUNCIL DISTRICT 3
PROJECT TITLE: Reseda Skate Facility	LOG REFERENCE W.O. E170121B
PROJECT LOCATION: 18210 and 18132 Sherman Way, Los Angeles, CA 91335	T.G. 530 J5

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT:
The project includes the acquisition of two parcels in order to preserve them for open space that will be used for recreation and park purposes. Also, the project will include the construction of a skate facility including an ice rink, a roller rink and project required parking in the community of Reseda. The project design includes both rinks at 18210 Sherman Way. The ice rink will be approximately 28,000 square feet that will include an approximately 85-foot x 200-foot ice surface, Zamboni machine room, locker rooms for two (2) teams, restrooms, office space, skate rental area, pro shop and concessions space; and other ancillary spaces required by ice hockey and figure skating. The roller rink will be an approximately 8,445 square foot one-story outdoor facility built on grade with a shade structure that will include an approximately 60-foot x 120-foot skating area with approximately ten (10) parking spaces, approximately 1,200 square feet of indoor air-conditioned space for offices, restrooms and storage. The two buildings will be separated by an existing alley. The parking area will be located at 18132 Sherman Way and will include approximately 127 spaces accessible by a long driveway. Fencing, landscaping and security lighting will also be included. The beneficiaries of the project include the local community and all users of the skate facility.

CONTACT PERSON Maria Martin	TELEPHONE NUMBER 213-485-5753
---------------------------------------	---

EXEMPT STATUS: (Check One)

<input type="checkbox"/> MINISTERIAL	CITY CEQA GUIDELINES Art. II, Sec. 2(b)	STATE CEQA GUIDELINES Sec. 15268
<input type="checkbox"/> DECLARED EMERGENCY	Art. II, Sec. 2(a)(1)	Sec. 15269(a)
<input type="checkbox"/> EMERGENCY PROJECT	Art. II, Sec. 2(a)(2)(3)	Sec. 15269(b)(c)
<input type="checkbox"/> GENERAL EXEMPTION	Art. II, Sec. 1	Sec. 15061(b)(3)
<input checked="" type="checkbox"/> CATEGORICAL EXEMPTION*	Art. III, Sec. 1(y)	Sec. 15325
<input type="checkbox"/> STATUTORY*	Art. _____	Sec. 15332(f)

* See Public Resources Code Sec. 21080 and set forth state and city guidelines provisions.

JUSTIFICATION FOR PROJECT EXEMPTION: Class 25 consists of the transfers of ownership of interests in land to preserve open space or lands for park uses. Class 32 consists of in-fill development projects where the site was previously developed and is now vacant. The project parcels will be acquired by the Department of Recreation and Parks and re-zoned to Open Space. The project includes a parking lot and a skate facility that is a total of approximately 32,650 square feet of in-fill construction on a vacant lot that was previously a commercial use along an existing urban business commercial corridor. None of the limitations set forth in State CEQA Guidelines 15300.2 apply (see attached narrative).

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING

SIGNATURE: Maria Martin	TITLE: Environmental Affairs Officer Environmental Management Group	DATE: 1/23/18
FEE: \$75.00	RECEIPT NO.	RECD BY

DISTRIBUTION: (1) County Clerk (2) City Clerk (3) Agency Recorder

Reseda Skate Facility (W.O. E170121B)

including the Open Space, Conservation and Public Recreation Elements. According to the City Attorney Report Number R90-0377, governmental agencies have sovereign immunity from local zoning regulations that extends to land and facilities. The City Council's ability to regulate Open Space land use in relation to the City's Department of Recreation and Parks (RAP) includes various provisions of the Los Angeles City Charter that grant RAP special authority to control the use of specific types of City land and facilities. When property is under control of RAP for recreation and parks purposes, RAP has the authority under the City Charter to determine whether a particular use is appropriate. The Council may not by ordinance vest such authority in itself or in the Planning Commission. Thus, RAP is not subject to the conditional use regulations of the Los Angeles Municipal Code. The new Open Space zone would be applicable to publically-owned land such as the Reseda Skate Facility. As such, the Project is in conformance with the General Plan and Zoning designation.

The Reseda Central Business District (CBD) Community Design Overlay (CDO) District Ordinance No. 176,557 was approved by the City Planning Commission effective on May 2, 2005, as part of the City of Los Angeles General Plan. It established the Reseda Central Business District (CBD) Community Design Overlay (CDO) District Design Guidelines and Standards (Reseda CDO) for projects dealing with commercial properties within the Reseda CDO Boundary. The Reseda CDO is complemented by the Reseda CBD Streetscape Plan (Reseda Streetscape Plan), approved by the City Planning Commission on September 23, 2004, as part of the City of Los Angeles General Plan. The Reseda Streetscape Plan incorporates streetscape design guidelines and standards that provide direction in the design of Projects in the public right-of-way. These two plans help direct development towards a more cohesive design concept. The design of the Reseda Skate Facility will integrate the Design Guidelines and Standards of both the Reseda CDO and Reseda Streetscape Plan including but not limited to Site Planning, Landscaping, Architecture, Street Lighting, Bicycle Parking, and Signage. As such, the Project is in conformance with the General Plan and Zoning designation.

Reseda CBD CDO Permanent [Q] Conditions
Ordinance No. 176,558, which became effective on June 28, 1992, changed zones within the Reseda CBD CDO Business District and imposed permanent [Q] conditions on the property. Specifically, per the Ordinance, commercial projects located on Sherman Way shall provide a street front entrance to remain open during business hours for pedestrian access. The front entrance will be provided directly onto the public right-of-way. The height of the buildings shall be no more than 45 feet. The total signage for the Project shall be limited to 2 square feet for each 1 foot of building frontage (excluding window signage). The sign area will be calculated using only the frontage and shall be affixed to the wall from which the calculations were taken. The area of the wall sign will be limited to 2 square feet for each 1 foot of building frontage. Projecting Signs will be a maximum 16 square feet and shall not project more than 30 inches or half the width of the adjacent public sidewalk, whichever is less. Any awning signs will be limited to 1 square foot for each 1 foot of building frontage. Rear signage will be non-illuminated. The Project will comply with all of these design features and standards. As such, the Project is in conformance with the General Plan and Zoning designation.

(b) The proposed development occurs within city limits on a Project site of no more than five acres substantially surrounded by urban uses:

The subject site is wholly within the City of Los Angeles, on a site that is approximately 2.2 acres. Lots adjacent to the subject site are developed with commercial uses to the east, west, and north. Surface parking lots and single-family residential uses are located to the south. The site is located within an existing commercial business corridor that has store frontages along Sherman Way with

Page 3 of 12

Reseda Skate Facility (W.O. E170121B)

less. Such compliance will be achieved using methods that may include, but are not limited to:

- Prohibiting construction activity (including deliveries, equipment maintenance, or operation of any construction equipment) at the project site before 7 a.m. or after 9 p.m. Monday through Friday, before 8:00 a.m. or after 6:00 p.m. on any Saturday or national holiday, or at any time on Sunday;
- Constructing temporary noise barriers (such as from acoustical panels or acoustical blankets);
- Using low-noise-generating construction equipment;
- Maintaining all construction equipment, including mufflers and ancillary noise abatement equipment;
- Ensuring that all mobile and stationary noise-producing construction equipment used on the project site that is regulated for noise output by a local, state, or federal agency complies with such regulation while in the course of project activity;
- Scheduling high noise-producing activities during periods that are least sensitive;
- Switching off construction equipment when not in use;
- Positioning stationary construction equipment, such as generators and compressors, as far away as practical from noise-sensitive receptors;
- Restricting the use of noise-producing signals, including horns, whistles, alarms, and bells, to safety warning purposes only;
- Routing construction-related truck traffic away from noise-sensitive areas; and
- Reducing construction vehicle speeds.

BMP NOI-2: Implement Ground-Borne Vibration Control Measures to Reduce Construction-Generated Vibration - The construction contractor will conduct all activities so as to limit ground-borne vibration at the adjacent commercial building to 0.5 in/s PPV or less, as follows:

- Operating heavy construction equipment at least 6 feet from the building, wherever possible. Where a 6-foot buffer cannot be maintained, other methods shall be used, such as using smaller pieces of equipment or hand tools; and
- Monitoring shall be conducted during construction to check for vibration-related damage if considered appropriate by the structural engineer. Such monitoring may include vibration measurements, or other tests and observations deemed necessary.

BMP-NOI-3: Implement Operational Noise Control Measures - The ice rink building and outdoor roller rink will be designed and constructed so that all operational noise is controlled to comply with the noise standards of the City Municipal Code at surrounding noise-sensitive uses. The combined noise levels from all on-site project noise sources will not exceed a 1-hour L₉₀ of 50 dBA at the adjacent residences or 60 dBA at the nearby church or school buildings during the daytime hours of 7 a.m. to 10 p.m. or 40 dBA at the adjacent residences or 55 dBA at the nearby church or school buildings during the nighttime hours of 10 p.m. to 7 a.m. Methods to achieve compliance may include, but are not limited to:

- Selecting mechanical equipment designed to produce low noise levels. This includes the mechanical (i.e., heating, ventilation, air-conditioning [HVAC]) equipment for heating and cooling interior spaces as well as equipment associated with refrigeration and maintenance of the rink itself;

Page 5 of 12

Reseda Skate Facility (W.O. E170121B)

CATEGORICAL EXEMPTION NARRATIVE

I. PROJECT HISTORY
The City of Los Angeles (City) is proposing to acquire land and re-zone it to Open Space, then construct a skate facility including an ice rink, a roller rink and project required parking in the community of Reseda. This project is called the Reseda Skate Facility. The project site is in the Reseda-West Van Nuys Community Plan Area of Los Angeles within Council District 3 (CD3). The project is proposed to be constructed on two (2) vacant non-contiguous parcels that are each comprised of two (2) lots, void of any structures and separated by an alley located at 18132 Sherman Way (APN 2125036900 and 2125036901) and 18210 Sherman Way (APN 2125036902 and 2125036903). These parcels are currently owned by the Community Redevelopment Agency (CRA) and will be purchased by the City's Department of Recreation and Parks (RAP) to preserve the land for recreational and park uses.

The project sites are bounded by Sherman Way to the north, Lindley Avenue to the east, Eliwanda Avenue to the west and Gault Street to the south. This Project includes the acquisition of the aforementioned parcels in order to preserve them for recreational and park uses and is considered in-fill development. The Project is in a fully developed urban area of Los Angeles within the Reseda Central Business District Community Design Overlay area. The parcels and surrounding parcels are currently zoned and designated for Commercial uses and Parking, but will be re-zoned and re-designated to Open Space after the acquisition.

II. ENVIRONMENTAL REVIEW
Basis for Categorical Exemption
A Project qualifies for a Class 25 Categorical Exemption if it involves the transfers of ownership of interests in land in order to preserve open space or lands for park purposes. The Proposed Project includes the acquisition of the parcels by the RAP from the CRA. The parcels will be re-zoned and re-designated to Open Space for recreational and park purposes.

Additionally, a Project qualifies for a Class 32 Categorical Exemption if it is developed on an in-fill site and meets the conditions described in this section. The five (5) conditions which the Project must meet in order to qualify for the Class 32 Categorical Exemption are as follows:

(a) The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations:

The proposed Project is located on two parcels (the site) that will be acquired by the City. The proposed Project is located at 18132 Sherman Way (APN 2125036900 and 2125036901) and 18210 Sherman Way (APN 2125036902 and 2125036903). The parcels will be acquired by the RAP from the CRA. The site is currently vacant. The site is zoned [Q]C2-1L-CDO and [Q]P-1L-CDO and both have a General Plan Land Use Designation of Community Residential.

The Establishment of a New Open Space Zone
Ordinance No. 166,168 created a new zoning classification entitled "Open Space" applicable to publically owned property, which could be placed in that zone by right. Per Ordinance No. 166,168, the purpose of the Open Space zone is to provide regulations for publicly owned land in order to implement the City's adopted General Plan, including the recreation, parks and open space designations in the City's adopted district and community plans, and other relevant elements,

Page 2 of 12

Reseda Skate Facility (W.O. E170121B)

surface parking lots to the rear and access via an alley. The site is less than five acres and is in an urbanized area.

As such, the proposed development occurs within city limits on a Project site of no more than five acres substantially surrounded by urban uses.

(c) The Project site has no value as habitat for endangered, rare or threatened species:

The site is in a highly urbanized area and not a wildland area. There are no endangered, rare, or threatened species on the Project site. The Project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance; pollution discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will reduce any potential impacts on noise and water to less than significant.

As such, the Project site has no value as habitat for endangered, rare or threatened species.

(d) Approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality:

The total Project square footage is 36,335, which includes a 28,000 square-foot ice rink and an 8,445 square-foot one-story outdoor roller rink facility built on grade. The two buildings will be separated by an existing alley. The parking area will be located at 18132 Sherman Way and will include approximately 127 spaces accessible by a long driveway. Fencing, landscaping and security lighting will also be included. The Project site is currently paved and there will be no material excavation or export volume beyond the demolition debris since the site is currently flat and construction proposed will be at grade. The material import volume is anticipated to be approximately 14,472 cubic feet of concrete and building envelope materials.

Traffic - The Project abuts a residential neighborhood. A *Traffic Technical Study* for the Project dated December 1, 2017, finds that no impact is anticipated, however, the contractor shall apply the following BMPs:

BMP TRANS-2: Coordination with Emergency Service Providers

- Coordinate with emergency service providers (police, fire, ambulance and paramedic services) to provide advance notice of any lane closures, construction hours and changes to local access and to identify alternative routes where appropriate.

There are no unusual circumstances known to this office. Therefore, this exception has no application here.

Noise - The Project is in close proximity to sensitive residential receptors. A *Noise Technical Study* for the Project dated December 1, 2017, finds that there is no noise impact anticipated, however, the contractor shall comply with the City of Los Angeles Noise Ordinance No. 144,331. The following BMPs, or any other best management practices as recommended by an acoustical engineer or other qualified professional, can be used, as applicable, during Project construction to ensure noise compliance:

BMP-NOI-1 Implement Construction Noise Control Practices - The construction contractor will conduct all activities in compliance with the applicable restrictions contained in the City of Los Angeles Municipal Code, including limiting maximum noise levels at adjacent homes to 75 dBA or

Page 4 of 12

Reseda Skate Facility (W.O. E170121B)

- Locating mechanical equipment inside the building or shielding it with screens, walls (including parapet walls for rooftop equipment), acoustical louvers, or other noise barriers;
- Designing the building shell to provide adequate interior-to-exterior noise control and contain noise within the building. This includes proper specifications for windows, doors, and ventilation systems;
- Limiting the maximum noise levels produced by the P.A. and amplified sound systems installed within the ice rink building;
- Orienting doors, windows, and other openings away from adjacent homes. Where windows or emergency doors need to be oriented toward homes or other noise-sensitive uses, ensure they remain closed when not in use;
- Using entry/exit vestibules at the ice rink building with two independent sets of doors to minimize noise that might propagate out of the building when patrons arrive or leave;
- Designing, installing, and operating any P.A. or amplified sound system at the outdoor roller rink to control noise;
- All noise control methods will be included in the final architectural and engineering designs and specifications for project construction; and
- The hours of operation for the outdoor roller rink will be limited to 7 a.m. to 10 p.m. daily. Any activity outside of these hours will be permitted only if the operator can prove, to the City's satisfaction, that such activity will not exceed applicable noise standards at any residential property.

Air Quality - The Project is in close proximity to sensitive receptors. An *Air Quality Technical Study* for the Project dated December 1, 2017, finds that no impact is anticipated, however, the contractor shall comply with the following BMP:

BMP AQ-1: Construction

- All exposed areas will be frequently watered to reduce the generation of dust.
- Vehicle speed of construction vehicles/equipment in exposed areas (i.e., unpaved access) shall be reduced to reduce the generation of dust.

Water Quality - The Project site is currently paved and there will be no material excavation or export volume beyond the demolition debris since the site is currently flat and construction proposed will be at grade. There is no water quality impact anticipated, however, the contractor shall apply the following *Section III B (1) j-Stone, Clay, Glass, Concrete of the Board of Public Works Rules and Regulations Governing Pollution Control of Discharges into the Stormdrain System* BMPs during Project construction:

- Store dry materials and waste inside or in covered bermed areas.
- Regularly clean up spills and dust.
- Wash vehicles and equipment in designated areas that drain to recycle ponds or process wastewater treatment systems.
- Use and properly maintain dust collection systems.
- Store dry bulk materials in an enclosed silo or building.
- Materials may include sand, gravel, clay, cement, fly ash, kln dust, and gypsum.
- Cover material storage piles.
- Divert run-on around storage areas using curbs, dikes, diversion swales or positive drainage away from material storage piles.
- Store only washed sand and gravel outdoors.

Page 6 of 12

REVISION DATES (DESIGN STAGE ONLY)

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

CITY OF LOS ANGELES

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

DATE: _____

SHEET ORDER NO. E170121B

SHEET NAME: **A0.32**

SHEET X OF X SHEETS

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: CEOA_NOE
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

CIP NO. _____
INDEX NO. _____

REVISION DATES (DESIGN STAGE ONLY)
A
B
C
D
E
F
G
H
I
J
K

Sheet Version 4.0

Reseda Skate Facility (W O. E170121B)

- 10) Use dust collection systems (i.e., bag houses) to collect airborne particles generated as a result of handling and mixing operations. Properly remove and recycle or dispose of collected dust to minimize exposure of collected dust to the environment.
- 11) Routinely clean material handling equipment and vehicles to remove accumulated dust and residue.
- 12) Clean exposed mixing equipment after mixing operations is complete.
- 13) Pour and cure precast products in a covered area. Clean forms before storing outdoors.
- 14) Install sediment basins, silt fence, vegetated filter strips, or other sediment removal measures downstream/downslope of handling and mixing operations.
- 15) Comply with other BMP's deemed appropriate by the Director.

As such, approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality

e) The site can be adequately served by all required utilities and public services:

The Project site will be adequately served by all public utilities and services given that the construction of the building will be on a site which has been previously developed with commercial buildings. The existing infrastructure will remain and will serve the new building.

Therefore, it can be found that the Project meets the qualifications of the Class 32 Exemption.

Consideration of Potential Exceptions to use of a Categorical Exemption

The State CEQA Guidelines (CCR Sec 15300.2) limit the use of categorical exemptions in the following circumstances:

1. Location. Exemption Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may be significant in a particularly sensitive environment. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.

The Project is exempt under Class 25 (Transfers of Ownership in Land to Preserve Existing Natural Conditions and Historical Resources). This Project includes the acquisition of the Project parcels in order to preserve them for recreational and park uses. The Project parcels will be acquired by the RAP, then will be re-zoned and re-designated as Open Space. Therefore, this exception has no application here.

Additionally, the Project is exempt under Class 32 (In-fill Development Projects). The new skate facility will be built on a site that has previously been developed with commercial uses but is now vacant. The proposed Project will be located on same site and general location as the previous commercial structures and will have less capacity as a skate facility than the commercial structure that was previously built on the site. Therefore, this exception has no application here.

2. Cumulative Impact. This exception applies when, although a particular project may not have a significant impact, the cumulative impact of successive projects of the same type in the same place, over time is significant. There are no other known projects that could involve cumulatively significant impacts. Therefore, this exception has no application here.

3. Significant Effect. This exception applies when, although the project may otherwise be exempt,

Reseda Skate Facility (W O. E170121B)

there is a reasonable possibility that the project will have a significant effect due to unusual circumstances.

Traffic - The Project abuts a residential neighborhood. A *Traffic Technical Study* for the Project dated December 1, 2017, finds that no impact is anticipated, however, the contractor shall apply the following BMPs:

BMP TRANS-2: Coordination with Emergency Service Providers

A. Coordinate with emergency service providers (police, fire, ambulance and paramedic services) to provide advance notice of any lane closures, construction hours and changes to local access and to identify alternative routes where appropriate.

There are no unusual circumstances known to this office. Therefore, this exception has no application here.

Noise - The Project is in close proximity to sensitive residential receptors. A *Noise Technical Study* for the Project dated December 1, 2017, finds that there is no noise impact anticipated, however, the contractor shall comply with the City of Los Angeles Noise Ordinance No. 144,331. The following BMPs, or any other best management practices as recommended by an acoustical engineer or other qualified professional, can be used, as applicable, during Project construction to ensure noise compliance:

BMP-NOI-1 Implement Construction Noise Control Practices - The construction contractor will conduct all activities in compliance with the applicable restrictions contained in the City of Los Angeles Municipal Code, including limiting maximum noise levels at adjacent homes to 75 dBA or less. Such compliance will be achieved using methods that may include, but are not limited to:

- A. Prohibiting construction activity (including deliveries, equipment maintenance, or operation of any construction equipment) at the project site before 7 a.m. or after 9 p.m. Monday through Friday, before 8:00 a.m. or after 6:00 p.m. on any Saturday or national holiday, or at any time on Sunday;
- B. Constructing temporary noise barriers (such as from acoustical panels or acoustical blankets);
- C. Using low-noise-generating construction equipment;
- D. Maintaining all construction equipment, including mufflers and ancillary noise abatement equipment;
- E. Ensuring that all mobile and stationary noise-producing construction equipment used on the project site that is regulated for noise output by a local, state, or federal agency complies with such regulation while in the course of project activity;
- F. Scheduling high noise-producing activities during periods that are least sensitive;
- G. Switching off construction equipment when not in use;
- H. Positioning stationary construction equipment, such as generators and compressors, as far away as practical from noise-sensitive receptors;
- I. Restricting the use of noise-producing signals, including horns, whistles, alarms, and bells, to safety warning purposes only;
- J. Routing construction-related truck traffic away from noise-sensitive areas; and
- K. Reducing construction vehicle speeds.

Reseda Skate Facility (W O. E170121B)

BMP NOI-2: Implement Ground-Borne Vibration Control Measures to Reduce Construction-Generated Vibration - The construction contractor will conduct all activities so as to limit ground-borne vibration at the adjacent commercial building to 0.5 in/s PPV or less, as follows:

- A. Operating heavy construction equipment at least 6 feet from the building, wherever possible. Where a 6-foot buffer cannot be maintained, other methods shall be used, such as using smaller pieces of equipment or hand tools; and
- B. Monitoring shall be conducted during construction to check for vibration-related damage if considered appropriate by the structural engineer. Such monitoring may include vibration measurements, or other tests and observations deemed necessary.

BMP-NOI-3: Implement Operational Noise Control Measures - The ice rink building and outdoor roller rink will be designed and constructed so that all operational noise is controlled to comply with the noise standards of the City Municipal Code at surrounding noise-sensitive uses. The combined noise levels from all on-site project noise sources will not exceed a 1-hour L_{eq} of 50 dBA at the adjacent residences or 60 dBA at the nearby church or school buildings during the daytime hours of 7 a.m. to 10 p.m. or 40 dBA at the adjacent residences or 55 dBA at the nearby church or school buildings during the nighttime hours of 10 p.m. to 7 a.m. Methods to achieve compliance may include, but are not limited to:

- A. Selecting mechanical equipment designed to produce low noise levels. This includes the mechanical (i.e., heating, ventilation, air-conditioning [HVAC]) equipment for heating and cooling interior spaces as well as equipment associated with refrigeration and maintenance of the rink itself;
- B. Locating mechanical equipment inside the building or shielding it with screens, walls (including parapet walls for rooftop equipment), acoustical louvers, or other noise barriers;
- C. Designing the building shell to provide adequate interior-to-exterior noise control and contain noise within the building. This includes proper specifications for windows, doors, and ventilation systems;
- D. Limiting the maximum noise levels produced by the P.A. and amplified sound systems installed within the ice rink building;
- E. Orienting doors, windows, and other openings away from adjacent homes. Where windows or emergency doors need to be oriented toward homes or other noise-sensitive uses, ensure they remain closed when not in use;
- F. Using entry/exit vestibules at the ice rink building with two independent sets of doors to minimize noise that might propagate out of the building when patrons arrive or leave;
- G. Designing, installing, and operating any P.A. or amplified sound system at the outdoor roller rink to control noise;
- H. All noise control methods will be included in the final architectural and engineering designs and specifications for project construction; and
- I. The hours of operation for the outdoor roller rink will be limited to 7 a.m. to 10 p.m. daily. Any activity outside of these hours will be permitted only if the operator can prove, to the City's satisfaction, that such activity will not exceed applicable noise standards at any residential property.

There are no unusual circumstances known to this office. Therefore, this exception has no application here.

Reseda Skate Facility (W O. E170121B)

Air Quality - The Project is in close proximity to sensitive receptors. An *Air Quality Technical Study* for the Project dated December 1, 2017, finds that no impact is anticipated, however, the contractor shall comply with the following BMPs in compliance with the SCAQMD Fugitive Dust Rule:

BMP AQ-1: Construction

- a) All exposed areas will be frequently watered to reduce the generation of dust.
- b) Vehicle speed of construction vehicles/equipment in exposed areas (i.e., unpaved access) shall be reduced to reduce the generation of dust.

There are no unusual circumstances known to this office. Therefore, this exception has no application here.

Water Quality - The Project site is currently paved and there will be no material excavation or export volume beyond the demolition debris since the site is currently flat and construction proposed will be at grade. There is no water quality impact anticipated, however, the contractor shall apply the following *Section III B (1)-Stone, Clay, Glass, Concrete of the Board of Public Works Rules and Regulations Governing Pollution Control of Discharges Into the Stormdrain System BMPs* during Project construction:

- 1) Store dry materials and waste inside or in covered bermed areas.
- 2) Regularly clean up spills and dust.
- 3) Wash vehicles and equipment in designated areas that drain to recycle ponds or process wastewater treatment systems.
- 4) Use and properly maintain dust collection systems.
- 5) Store dry bulk materials in an enclosed silo or building.
- 6) Materials may include sand, gravel, clay, cement, fly ash, kiln dust, and gypsum.
- 7) Cover material storage piles.
- 8) Divert run-on around storage areas using curbs, dikes, diversion swales or positive drainage away from material storage piles.
- 9) Store only washed sand and gravel outdoors.
- 10) Use dust collection systems (i.e., bag houses) to collect airborne particles generated as a result of handling and mixing operations. Properly remove and recycle or dispose of collected dust to minimize exposure of collected dust to the environment.
- 11) Routinely clean material handling equipment and vehicles to remove accumulated dust and residue.
- 12) Clean exposed mixing equipment after mixing operations is complete.
- 13) Pour and cure precast products in a covered area. Clean forms before storing outdoors.
- 14) Install sediment basins, silt fence, vegetated filter strips, or other sediment removal measures downstream/downslope of handling and mixing operations.
- 15) Comply with other BMP's deemed appropriate by the Director.

As such, there are no unusual circumstances known to this office. Therefore, this exception has no application here.

Hazardous Materials - The Project is in close proximity to sensitive receptors; however, as of November 30, 2017, the Project site was not on list of hazardous materials sites and would not create a significant hazard to the public or the environment. A *Phase II Environmental Site Assessment* for the Project dated December 28, 2017, found that a vapor encroachment condition (VEC) exists on the northeastern portion of the site due to its proximity to several dry-cleaning establishments. The current plans identify the area affected as a parking lot area that would remain capped. Other potential issues would be addressed through various project design features in accordance with applicable local and State regulations. Additionally, potentially significant impacts

Reseda Skate Facility (W O. E170121B)

related to hazardous materials are not anticipated to represent a significant environmental condition in connection with the Project; as such, there are no unusual circumstances known to this office. Therefore, this exception has no application here.

Cultural Resources - According to the City of Los Angeles General Plan Framework EIR, the Project site is not located within any *Invertebrate Paleontological Resource Sensitivity Area*. Also, a Cultural Resources *Technical Study* for the Project dated December 1, 2017, finds that no impact is anticipated, however, the contractor shall comply with the following BMPs:

BMP CUL-1: Archaeological and/or Tribal Cultural Resource

- In the event of an unanticipated discovery, all work must be suspended within 50 feet of the find until a qualified archaeologist evaluates it. In the unlikely event that human remains are encountered during Project development, all work must cease near the find immediately.
- In accordance with California Health and Safety Code Section 7050.5, the County Coroner must be notified if potentially human bone is discovered. The Coroner will then determine within two working days of being notified if the remains are subject to his or her authority. If the Coroner recognizes the remains to be Native American, he or she shall contact the NAHC by phone within 24 hours, in accordance with Public Resources Code Section 5097.96. The NAHC will then designate a MLD with respect to the human remains. The MLD then has the opportunity to recommend to the property owner or the person responsible for the excavation work means for treating or disposing, with appropriate dignity, the human remains and associated grave goods. Work may not resume in the area of the find until all requirements of the health and safety code have been met. As such, there are no unusual circumstances known to this office. Therefore, this exception has no application here.

4. Scenic Highway. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. The proposed Project is not within sight of any state designated scenic highway. Therefore, this exception has no application here.

5. Hazardous Waste Site. This exception applies when a project is located on a site listed as a hazardous waste site under Government Code Section 65962.5.

The Project is in close proximity to sensitive receptors; however, as of November 30, 2017, the Project site was not on any such list. Also, according to the *Hazardous Materials* discussion above, potentially significant impacts related to hazardous materials are not anticipated to represent a significant environmental condition in connection with the Project. Therefore, this exception has no application here.



6. Historical Resources. This exception applies when a project may cause a substantial adverse change in the significance of a historical resource.

No historical resource is involved in the proposed Project since the site is vacant, so this exception has no application here.

Reseda Skate Facility (W O. E170121B)

RESOURCES

1. Reseda Central Business District Community Design Overlay District (CDO) Design Guidelines and Standards. Approved by the City Planning Commission September 23, 2004.
2. Reseda Central Business District Streetscape Plan. Approved by the City Planning Commission September 23, 2004.
3. Ordinance No. 166,168, relating to the establishment of the "Open Space" zone. Effective date: October 4, 1990.
4. Ordinance No. 176,558, relating to the establishment of the [Q] Qualified Classification conditions for the Reseda CBD CDO. Effective date: May 2, 2005
5. Office of the City Attorney, Report No. R99-0377 Regarding Ordinance 166,168, and Ordinance Establishing a New "OS" Open Space Zone. Dated July 2, 1990.

ENGINEERING CITY OF LOS ANGELES	
	
	
THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED	
BUREAU OF ENGINEERING	
VERTICAL CONTROL:	BY:
HORIZONTAL CONTROL:	DATE:
SHEET TITLE: CEOA_NOE	
PROJECT: RESEDA SKATE FACILITY	
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335	
INDEX NO.	
CIP NO.	
REVISIONS:	
DATE:	
BY:	
CITY ENGINEER:	
DESIGN GROUP:	
P. LEE MOORE, P. E., ENV. SP.	
GARY LEE MOORE, P. E., ENV. SP.	
WORK ORDER NO. E170121B	
SHEET NAME: A0.33	
SHEET X OF X SHEETS	

K
J
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A

REVISION DATES
(DESIGN STAGE ONLY)

Sheet Version 4.0

FORM GEN. 160 (Rev. 11-02)

CITY OF LOS ANGELES
DEPARTMENTAL CORRESPONDENCE

Date: July 12, 2018; Revised July 13, 2018
To: Neil Drucker, Project Manager
Architectural Division, Bureau of Engineering
From: Maria Martin, Manager
Environmental Management Group, Bureau of Engineering

Subject: SUMMARY OF FINDINGS AND DESIGN MEASURES FOR THE LIMITED PHASE II ENVIRONMENTAL SITE ASSESSMENT (ESA) REPORT AND ADDENDUM REPORT - PROPOSED RESEDA SKATE FACILITY, 18132 AND 18210 SHERMAN WAY*

The City of Los Angeles, Department of Recreation and Parks requires that residential environmental standards be met at their facilities. Therefore, to lower human health risks to meet those standards, future site development at the above-referenced facility site would require the services of an experienced, California-licensed professional geologist or experienced civil engineer to prepare and supervise implementation of a Soil Management Plan (SMP). The SMP would address soil management procedures during any soil removal, grading, and trenching activity. In addition, to further define the source of the onsite subsurface vapors, technical experts recommend offsite sampling in the vicinity of the northeast corner of the site, as vapor levels are highest near this corner. A summary of findings and associated design measures is provided below.

1. West Parcel - 18210 Sherman Way, Reseda, CA

The findings for the west parcel show an unacceptable residential health risk at the northwest lot of the west parcel. The southwest lot of the west parcel has an acceptable residential health risk.

A single measure is necessary to lower health risks to acceptable residential levels at the northwest lot. This would include removal or encapsulation of soil at one shallow location. Elevated levels of dieldrin (an insecticide) exist at six inches deep at Boring B-1A in the northwest lot. The location is shown in Figure 1. The approach to this and any additional sampling to confirm complete removal of the elevated dieldrin soil (i.e., confirmation and/or delineation sampling) would be described in the SMP.

A second recommendation applies to the west parcel and the entire Project site. This recommendation requires vapor, visual and olfactory (odor) monitoring to be performed during grading and trenching activities within the construction phase of the development project. This is because elevated levels of insecticide and volatile organic compound vapor (vapor) have been found in subsurface soils at the Project site. With this monitoring, any obvious additional impact may be addressed as needed. Details of this type of monitoring and associated soil management would be provided in the SMP.

*Draft final reviewed on July 10, 2018 by Jay Roberts, Project Manager for the Limited Phase II ESA for Reseda Skate Facility, Nimyo & Moore and Neil Drucker, Project Manager, Bureau of Engineering.

Page 3

materials, equipment, and installation cost is \$66,085 to \$75,215, plus operations, maintenance, monitoring, and permitting costs.

3. Offsite

Additional offsite sampling is recommended and currently planned. This sampling will determine whether the source of onsite subsurface vapors is coming from the known source to the east, and/or from some other unknown offsite source, located north to northeast of the northeast corner of the site. The proposed offsite sampling locations are shown in Figure 1 as well as the known source to the east (Cavalier Dry Cleaners). The offsite sampling locations are planned borings B-14 to B-18. The farthest locations, B-16 to B-18, would be drilled and sampled for vapor, only in the event that elevated vapors are first detected at the closer sampling locations, B-14 and B-15.

Cost Recovery: Should pursuit of cost recovery for onsite vapor protection systems and/or if coordination with regulators become necessary, offsite sampling data, the Phase II ESA Report and Addendum Report, the SMP Implementation Report, and this Memorandum would be important documents for consideration by the City Attorney, local decision makers, and/or involved enforcement agencies.

MEM:ES:hf

Q:\Eileen\Reseda Skate Facility\Tech Studies\Phase I and II ESA - Haz Mat\Summary of Findings and Design Measures, Limited Phase II ESA Addendum Report -7-12-2018.docx

Page 2
18128 - 18138 W. Sherman Way

- A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
- All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
- If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department; and, obtained approval (7008.2).
- Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below the bottom of footings or a minimum of three feet whichever is greater, except at locations where lateral over excavation is not possible (i.e., foundations adjacent to property lines or structures), in which case the foundations may be deepened to bear in native soils, as recommended (7011.3).
- Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
- Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
- The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).
- Excavations shall not remove lateral support from a public way, adjacent property or an existing structure. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
- Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
- The soils engineer shall review and approve the shoring and/or underpinning plans prior to issuance of the permit (3307.3.2).
- Prior to the issuance of the permits, the soils engineer and the structural designer shall evaluate all applicable surcharge loads for the design of the retaining walls and shoring.
- Unsurcharged temporary excavations over 5 feet exposing soil shall be trimmed back at a gradient not exceeding 1:1, as recommended.

Page 4
18128 - 18138 W. Sherman Way

be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)

- Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; [shoring; ABC slot cuts; underpinning; pile installation;] protection fences; and, dust and traffic control will be scheduled (108.9.1).
- Installation of shoring, underpinning, slot cutting and/or pile excavations shall be performed under the inspection and approval of the soils engineer (1705.8).
- Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).
- No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

YANG LIU
Geotechnical Engineer II

Log No. 110593
213-482-0480

cc: City of LA - GED, Project Consultant
VN District Office



VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: ENVIRONM. DESIGN RECOMMENDATION
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

NO.	REVISIONS	DATE	BY

INDEX NO. _____
CIP NO. _____

CITY ENGINEER: _____ DATE: _____
GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO.
E170121B

SHEET NAME
A0.34
SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)
THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16


CITY OF LOS ANGELES
CALIFORNIA

BOARD OF BUILDING AND SAFETY COMMISSIONERS

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E. FELICIA BRANNON
VICE PRESIDENT

JOSELYN GEAGA-ROSENTHAL
GEORGE HOVAGUIMIAN
JAVIER NUNEZ



ERIC GARCETTI
MAYOR

DEPARTMENT OF BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

FRANK M. BUSH
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

OSAMA YOUNAN, P.E.
EXECUTIVE OFFICER

SOILS REPORT APPROVAL LETTER

November 8, 2019

LOG # 110593
SOILS/GEOLOGY FILE - 2

City of Los Angeles
221 N. Figueroa St., # 350
Los Angeles, CA 90012

TRACT: 21799
LOT(S): 5 (arb 1 and 2)
LOCATION: 18128 - 18138 W. Sherman Way

CURRENT REFERENCE REPORT/LETTER(S)	REPORT No.	DATE OF DOCUMENT	PREPARED BY
Soils Report	19-080	08/28/2019	City of LA - GED

The Grading Division of the Department of Building and Safety has reviewed the referenced report that provides recommendations for the proposed roller rink, indoor ice-skating rink, and surface parking. The earth materials at the subsurface exploration locations consist of up to 5 feet of uncemented fill underlain by lean clay. The consultants recommend to support the proposed structures on conventional foundations bearing on native undisturbed soils and/or compacted fill.

The referenced report is acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2017 City of LA Building Code. P/BC numbers refer to the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

- The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer; and, that the plans included the recommendations contained in their reports (7006.1).
- All recommendations of the report that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
- A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.

LADBS G-6 (Rev.11/23/2016) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

Page 2
18128 - 18138 W. Sherman Way

- A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
- All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
- If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department; and, obtained approval (7008.2).
- Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below the bottom of footings or a minimum of three feet whichever is greater, except at locations where lateral over excavation is not possible (i.e., foundations adjacent to property lines or structures), in which case the foundations may be deepened to bear in native soils, as recommended (7011.3).
- Existing uncemented fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
- Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
- The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).
- Excavations shall not remove lateral support from a public way, adjacent property or an existing structure. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
- Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
- The soils engineer shall review and approve the shoring and/or underpinning plans prior to issuance of the permit (3307.3.2).
- Prior to the issuance of the permits, the soils engineer and the structural designer shall evaluate all applicable surcharge loads for the design of the retaining walls and shoring.
- Unsurcharged temporary excavations over 5 feet exposing soil shall be trimmed back at a gradient not exceeding 1:1, as recommended.


CITY OF LOS ANGELES
CALIFORNIA

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MAYOR

DEPARTMENT OF BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

SOILS REPORT APPROVAL LETTER

March 25, 2021

LOG # 116702
SOILS/GEOLOGY FILE - 2

City of Los Angeles
221 N. Figueroa St., # 350
Los Angeles, CA 90012

TRACT: 21799
LOT(S): 5 (arb 1 and 2)
LOCATION: 18128 - 18138 W. Sherman Way

CURRENT REFERENCE REPORT/LETTER(S)	REPORT No.	DATE OF DOCUMENT	PREPARED BY
Addendum Report	19-080	12/21/2020	City of LA - GED

PREVIOUS REFERENCE REPORT/LETTER(S)	REPORT No.	DATE OF DOCUMENT	PREPARED BY
Dept. Approval Letter	110593	11/08/2019	LADBS
Soils Report	19-080	08/28/2019	City of LA - GED

The Grading Division of the Department of Building and Safety has reviewed the referenced addendum report that provides supplemental recommendations for the proposed Peseda Skate Facility Project. The project scope is described on page one of the 12/21/2020 report.

The Department reviewed and conditionally approved the previous referenced report for the proposed roller rink, indoor ice-skating rink, and surface parking. The earth materials at the subsurface exploration locations consist of up to 5 feet of uncemented fill underlain by lean clay. The consultants recommend to support the proposed structures on conventional foundations bearing on native undisturbed soils and/or compacted fill.

The referenced addendum report provides an alternative deep foundation option for the Shade Structure.

The referenced report is acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2017 City of LA Building Code. P/BC numbers refer to the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)


LADBS G-6 (Rev.11/23/2016) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

Page 3
18128 - 18138 W. Sherman Way

- Shoring shall be designed for the lateral earth pressures specified in the section titled "Temporary Shoring" starting on page 7 of the referenced report; all surcharge loads shall be included into the design.
- Shoring shall be designed for a maximum lateral deflection of 1 inch, provided there are no structures within a 1:1 plane projected up from the base of the excavation. Where a structure is within a 1:1 plane projected up from the base of the excavation, shoring shall be designed for a maximum lateral deflection of 1/2 inch, or to a lower deflection determined by the consultant that does not present any potential hazard to the adjacent structure.
- A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.
- All foundations shall derive entire support from native undisturbed soils and / or compacted fill, as recommended and shall be approved by the geologist and soils engineer by inspection.
- Footings supported on approved compacted fill or expansive soil shall be reinforced with a minimum of four (4), 1/2-inch diameter (#4) deformed reinforcing bars. Two (2) bars shall be placed near the bottom and two (2) bars placed near the top of the footing.
- The foundation/slab design shall satisfy all requirements of the Information Bulletin P/BC 2014-116 "Foundation Design for Expansive Soils" (1803.5.3). [Note: Soils with an Expansion Index greater than 20 are considered to be expansive, in accordance with Section 1803.5.3 of the 2014 LABC.]
- Slabs placed on approved compacted fill shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
- Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane.
- The seismic design shall be based on a Site Class D as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check.
- All roof, pad and deck drainage shall be conducted to the street in an acceptable manner in non-erosive devices or other approved location in a manner that is acceptable to the LADBS and the Department of Public Works (7013.10).
- All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).
- The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008 & 1705.6).
- Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LADBS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall

Page 4
18128 - 18138 W. Sherman Way

- be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
- Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; [shoring; ABC slot cuts; underpinning; pile installation;] protection fences; and, dust and traffic control will be scheduled (108.9.1).
- Installation of shoring, underpinning, slot cutting and/or pile excavations shall be performed under the inspection and approval of the soils engineer (1705.8).
- Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).
- No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

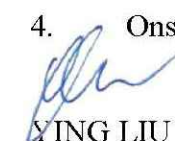

 YING LIU
 Geotechnical Engineer II

Log No. 110593
213-482-0480

cc: City of LA - GED, Project Consultant
VN District Office

Page 2
18128 - 18138 W. Sherman Way


- All conditions of the previous Department approval letter dated 11/08/2019 (Log # 110593), except as specifically modified herein, shall be complied with.
- All latest recommendations of the 12/21/2020 report that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
- CIDH piles shall be designed as recommended on pages 2 and 3 of the 12/21/2020 report.
- Onsite storm water infiltration shall not be used at the subject site.



 YING LIU
 Geotechnical Engineer II

Log No. 116702
213-482-0480

cc: City of LA - GED, Project Consultant
VN District Office

ENGINEERING
CITY OF LOS ANGELES


 OSAMA YOUNAN, P.E.
 GENERAL MANAGER
 SUPERINTENDENT OF BUILDING


 JOHN WEIGHT
 EXECUTIVE OFFICER

BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: SOILS REPORT APPROVAL LETTER
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DATE: _____ BY: _____

NO. REVISIONS: _____

CITY ENGINEER: _____ DATE: _____
GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A0.35
SHEET X OF X SHEETS

REQUEST FOR MODIFICATION OF BUILDING ORDINANCES

UNDER AUTHORITY OF L.A.M.C. SECTION 98.0403

PERMIT APP #: 21010-10000-01858 **DATE:** 09/10/2021 **For City Dept. Use Only**

JOB ADDRESS: 18210 Sherman Way **Building Zoning:** **Grading Shoring:** **Mech. Elec. Plumb. Green D.A. Misc.:**

Tract: TR 21799 **Block:** **Lot:** **Petitioner:** Brooks + Scapa Architects

Address: 1149 S. Broadway, Suite 830 **Address:** 3929 W 139th Street

City: Los Angeles **State:** CA **Zip:** 90015 **City:** Hawthorne **State:** CA **Zip:** 90250 **Phone:** (213) 465-2134 **Phone:** (480) 434-3479

REQUEST (SUBMIT PLANS OR ADDITIONAL SHEETS AS NECESSARY): CODE SECTIONS: CBC 2019 - SECTION 3102.6.1
To allow for a type II-B combustible Membrane Structure, as defined by CBC 3102, in a mixed construction building.

JUSTIFICATION (SUBMIT PLANS OR ADDITIONAL SHEETS AS NECESSARY):
Attached exhibits: Justification list, Drawing sheets A0.30, A0.41, A0.42, MECH diagrams, IBC Ref. provided by Basis-of-Design manufacturer, fire testing report of coated membrane per ASTM E108-04, LARR 25820 renewing approval of PVC membrane on polyester base & CA State Fire Marshal registration of product into CA-approved list of flame retardant chemicals & fabrics per NFPA 701 #2

Angela Brooks, FAIA **Principal, Brooks + Scapa Architects**

FOR CITY DEPARTMENT'S USE ONLY BELOW THIS LINE

Concurrences required from the following Department(s)	Print Name	Signature	Approved	Denied
<input checked="" type="checkbox"/> Los Angeles Fire Department	Oscar Salgado 11.11.21	<i>[Signature]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Public Works Bureau of Engineering			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Department of City Planning			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Department of County Health			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Other			<input type="checkbox"/>	<input type="checkbox"/>

DEPARTMENT ACTION
Reviewed by: *[Signature]* **Date:** 8-31-21
 GRANTED DENIED **Date:** 10/10/21
Action taken by: *[Signature]* **Date:** 10/10/21

NOTE: IN CASE OF DENIAL, SEE PAGE #2 OF THIS FORM FOR APPEAL PROCEDURES

CONDITIONS OF APPROVAL (Continued on Page 2):

FEES (DEPARTMENT USE ONLY)

Appeal Processing Fee (No. of Items)	1X \$130 + \$39/addtl	=	130
Inspection Fee (No. of Insp.)	X \$ 84.00	=	0
Research Fee (Total Hours Worked)	X \$104.00	=	79.8
Subtotal		=	79.8
Development Services Center Surcharge	X 3%	=	2.39
Systems Development Surcharge	X 6%	=	4.79
Total Fees		=	368.42

Fees verified by: *[Signature]*

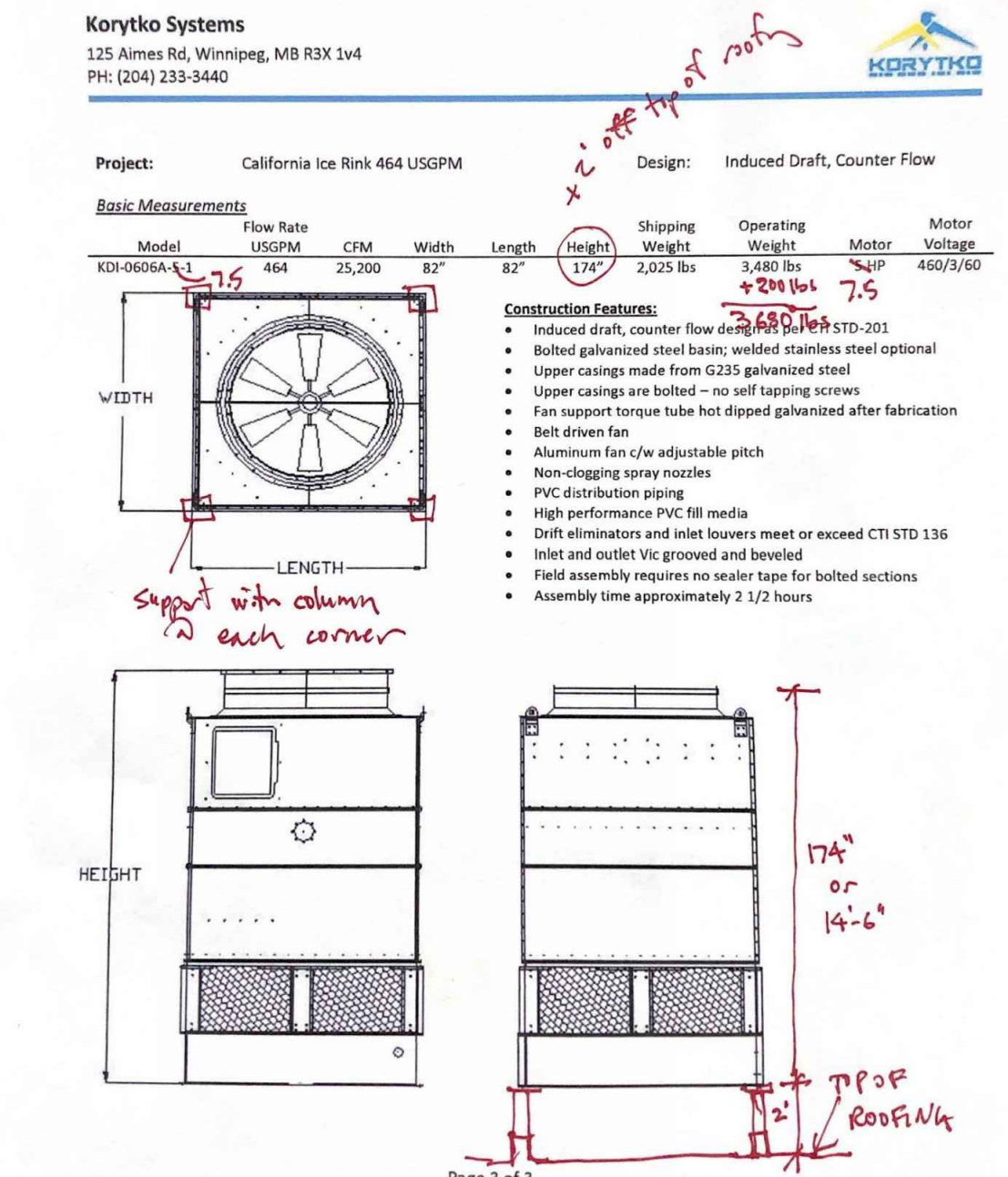
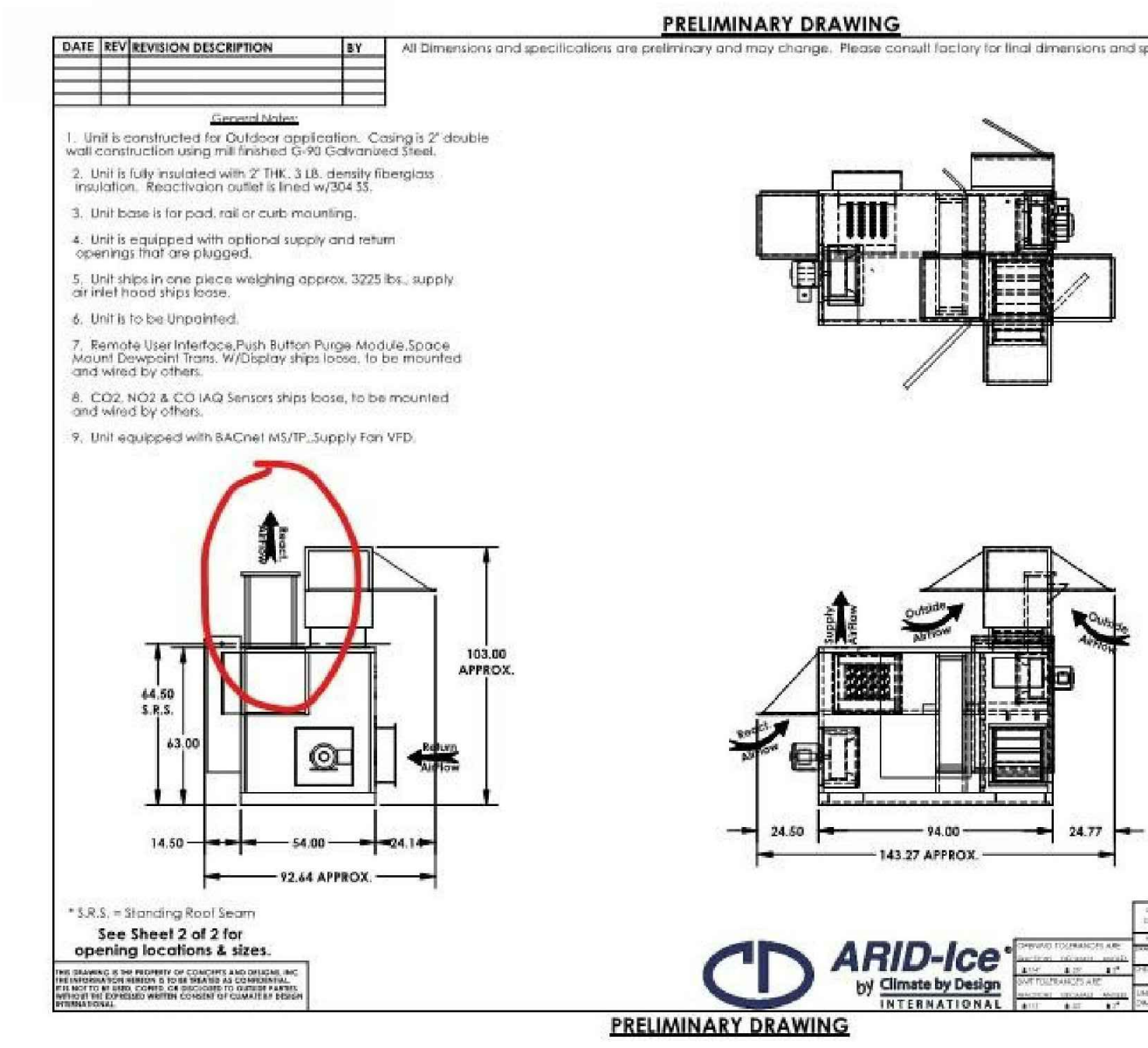
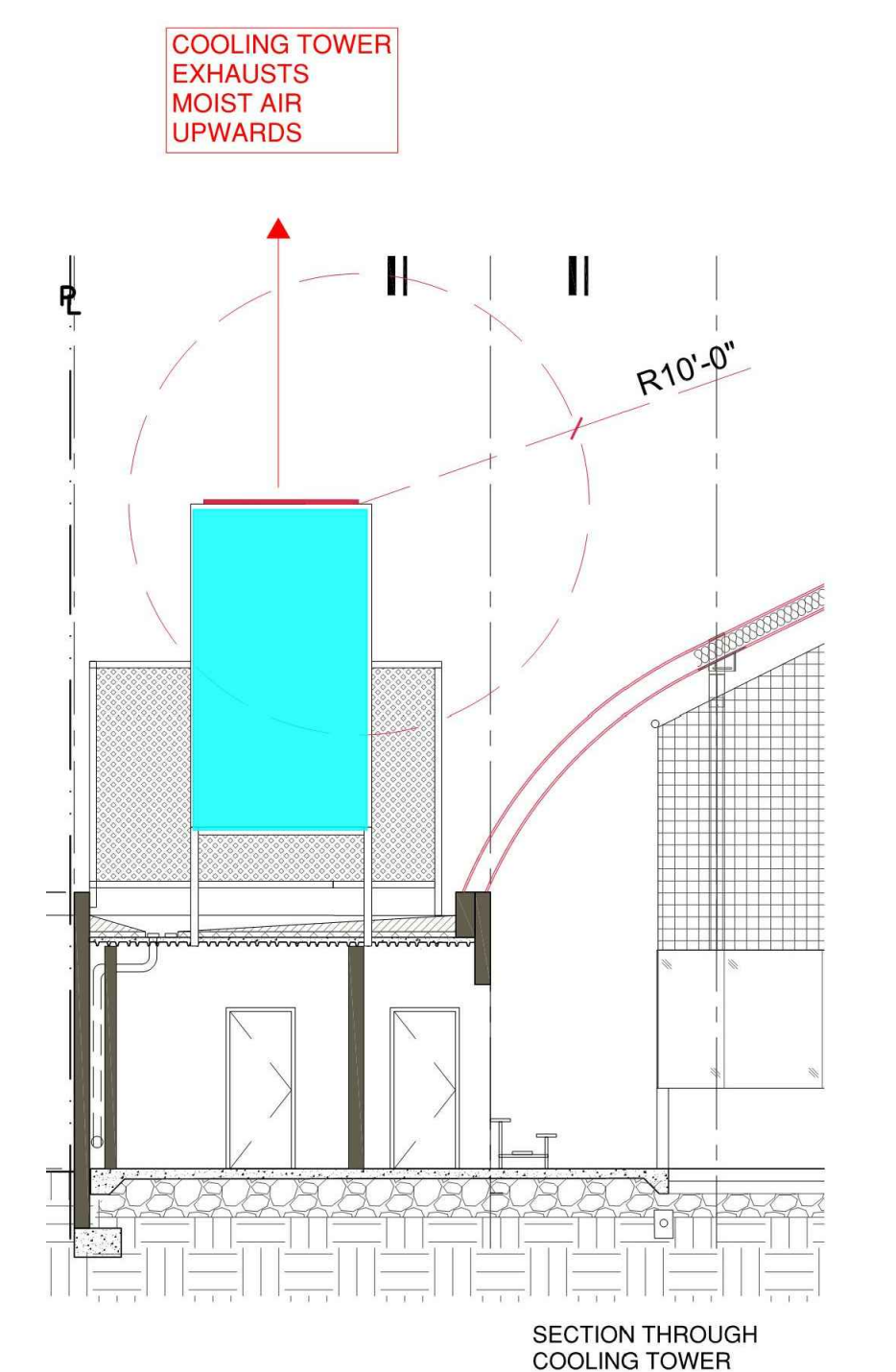
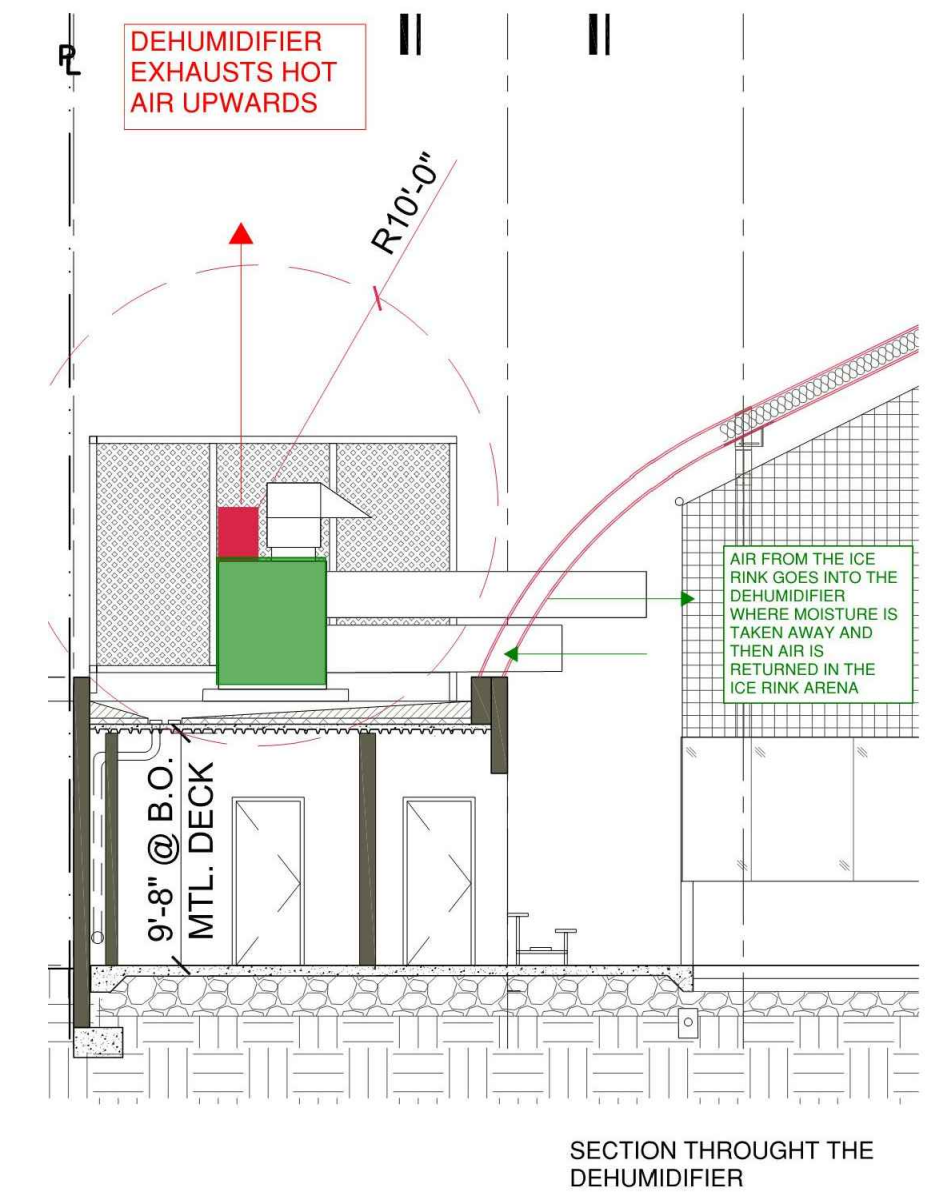
2021-10-18 JUSTIFICATION

- Membrane and interior liner shall be flame resistant in accordance with the provisions set forth in CCR, Title 19, Division 1, Chapter 8. Tops and sidewalls shall be made either from fabric that has been flame resistant treated with an approved exterior chemical process by an approved application concern, or from inherently flame resistant fabric approved and listed by the State Fire Marshal (see CCR, Title 19, Division 1, Chapter 8).
- Membrane shall also meet the fire propagation performance criteria of Test Method 1 or Test Method 2, as appropriate, of NFPA 701
- One side of the membrane structure shall sit in a type II-B building make of CMU block walls, the other three shall sit on a concrete curb at grade, framed with non-combustible structural members.
- Combustible finishes and decorative materials such as but not limited to, signs, banners, shall be kept clear from all building and membrane structure walls, roofs and ceilings. The protective netting in particular, shall be treated by a California Registered Applicator per California Title 19 Regulation below. Upon completion of treatment, applicator will issue a certificate of flame resistance.

TITLE 19 California Code of Regulations:
Article 4 Registration of Flame-Retardant

1272. Fabric Registration. Manufacturers who market a flame-retardant fabric or material for use as draperies, upholstery, wall coverings, etc., or a flame-retardant canvas for use in tents, may have their product listed under its trade name as a registered flame-retardant fabric or material provided that: (a) The fabric or material is treated by a registered flame-retardant application concern with a registered chemical;

- Storage approximate to the membrane within 20'-0" of the finished floor shall be prohibited unless a 1-HR rated wall is provided between the membrane structure and the storage area (such as at the skate storage and office).
- Storage shall be prohibited of the roof of building within the membrane structure.
- Furnishing such as but not limited to, seating, bleachers, etc., inside the membrane structure shall be non-combustible materials.
- All mechanical exhaust, excluding roof and bathroom vents, shall terminate at a minimum of 10' from the membrane structure. 10' distance shall be measured in section from the edge of the exhaust, as shown in the diagrams attached. Cooling tower and dehumidifier complies with this req'ment. Condensing unit can be at approx. 8' from the membrane structure since there are no clearance req'ments to combustibles on the condenser discharge. (reference attached exhibits)
- The building shall be fire sprinklered per NFPA 13 and provided with a fire alarm system.



Permit App #: **Job Address:**

CONDITIONS OF APPROVAL (Continued from Page 1)

CITY OF LOS ANGELES
BOARD OF BUILDING AND SAFETY/DISABLED ACCESS
COMMISSION APPEAL FORM
(Must be Attached to the Modification Request Form, Page 1)

AFFIDAVIT - LADBS BOARD OF BUILDING AND SAFETY COMMISSIONERS - RESOLUTION NO. 832-93

I, _____ do state and swear as follows:

- The name and mailing address of the owner of the property (as defined in the resolution 832-93) at _____ as shown on the appeal application (LADBS Com 31) are correct. *[Signature]*
- The owner of the property as shown on the appeal application will be made aware of the appeal and will receive a copy of the appeal. I declare under PENALTY OF PERJURY that the foregoing is true and correct.

OWNER'S INFORMATION:
Owner's Name(s): _____
Owner's Signature(s): _____
Name of Corporation: _____
Dated this _____ day of _____, 20____

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT - SIGNATURE(S) MUST BE NOTARIZED
State of _____ County of _____
before me, _____, personally appeared _____
Name, Title of Officer (e.g. Jane Doe, Notary Public) _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument in person(s), or the entry upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing is true and correct.

WITNESS my hand and official seal.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

APPEAL OF DEPARTMENT ACTION TO THE BOARD OF BUILDING AND SAFETY COMMISSIONERS/DISABLED ACCESS APPEALS COMMISSION

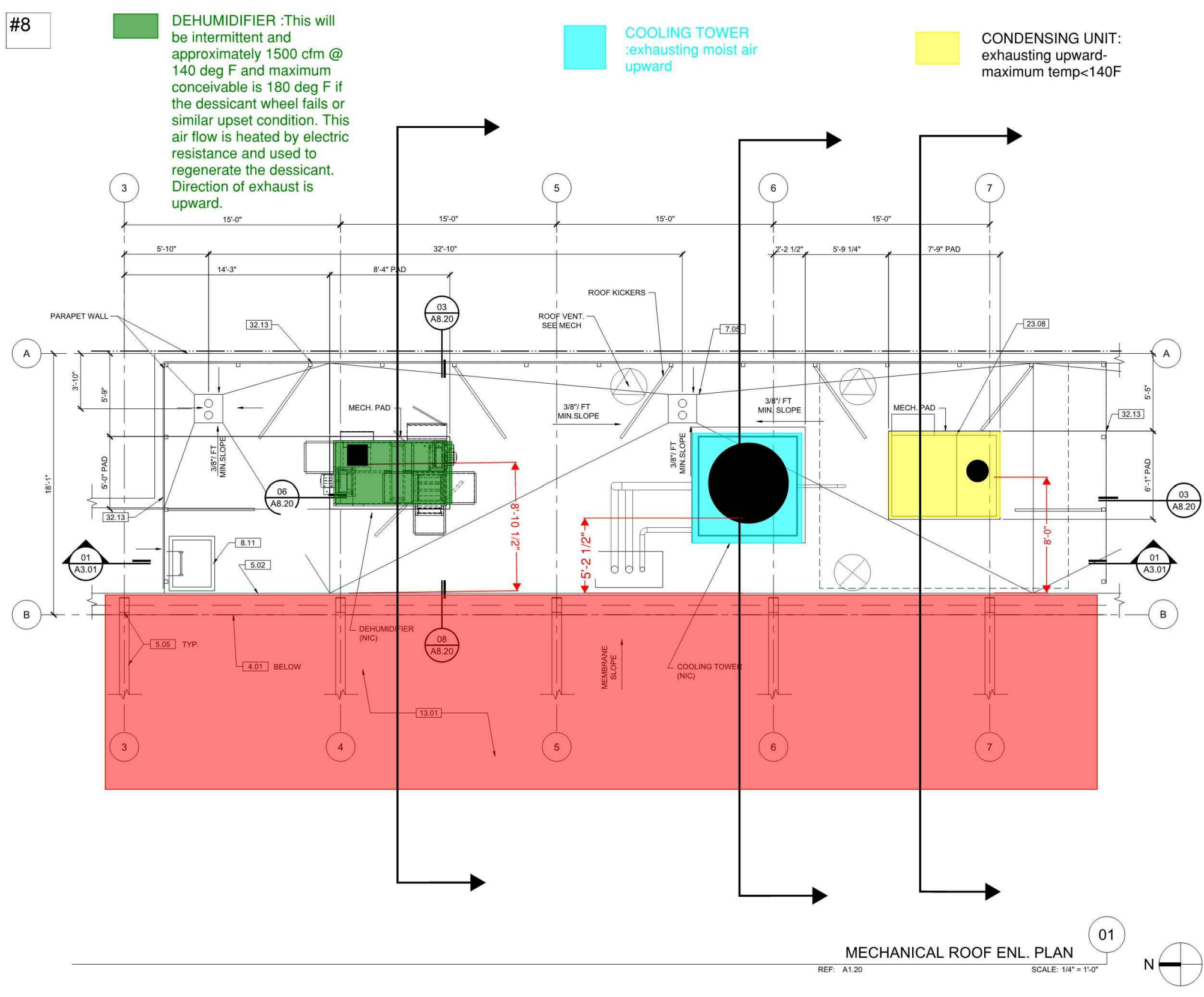
Applicant's Name: _____ Applicant's Title: _____
Signature: _____ Date: _____

FEES (DEPARTMENT USE ONLY)

Board Fee (No. of Items)	1 X \$130.00	=	0.00
Inspection Fee (No. of Insp.)	X \$84.00	=	0.00
Research Fee (Total Hours Worked)	X \$104.00	=	0.00
Subtotal		=	0.00
Development Services Center Surcharge	X 3%	=	0.00
Systems Development Surcharge	X 6%	=	0.00
Total Fees		=	0.00

Fees verified by: _____

For Cashiers Use Only (PROCESS ONLY WHEN FEES ARE VERIFIED)



ENGINEERING
CITY OF LOS ANGELES

LICENSED ARCHITECT
LAWRENCE S. PARR
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING
HORIZONTAL CONTROL
DATE: _____ BY: _____
REVISIONS: _____
CITY ENGINEER: _____
DESIGN GROUP: _____

DEPARTMENT OF PUBLIC WORKS
DATE: _____ BY: _____
REVISIONS: _____
CITY ENGINEER: _____
DESIGN GROUP: _____

CITY OF LOS ANGELES
ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

PROJECT: MODIFICATION
RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335
CIP NO. _____
INDEX NO. _____

WORK ORDER NO.
E170121B

SHEET NAME
A0.36
SHEET X OF X SHEETS

NORTH LOT OCCUPANT LOAD CALCULATION PER CBC TABLE 1004.5				
ROOM	OCCUPANCY	AREA OR LENGTH	LOAD FACTOR	# OF OCCUPANTS
SEATING AREA D	A-4	118'-0"	1'-6"	78
ROLLER PARK	A-4	4,000 SF	15	84
TOTAL				162

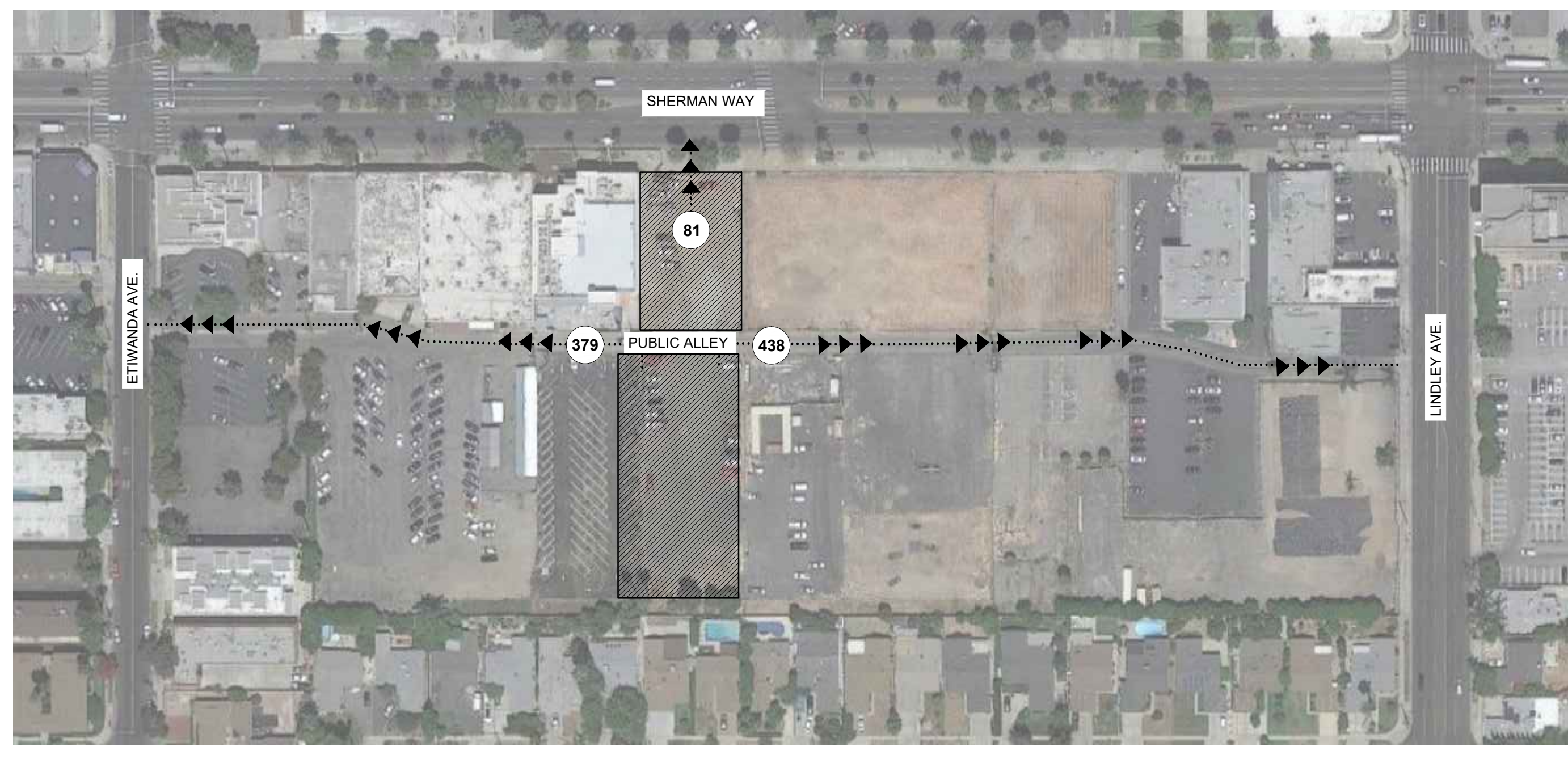
TOTAL OCCUPANT LOAD	
OCCUPANCY	# OF OCCUPANTS
A-4	721
B	5
S-2	10
TOTAL	736

ICE RINK BUILDING OCCUPANT LOAD CALCULATION PER CBC TABLE 1004.5				
ROOM	OCCUPANCY	AREA OR LENGTH	LOAD FACTOR	# OF OCCUPANTS
ICE RESURFACER ROOM	S-2	580 SF	300	2
LOBBY	A-4	3,780 SF	15	252
OFFICE	B	400 SF	150	3
SKATE STORAGE	B	82 SF	150	1
BREAK ROOM	B	100 SF	150	1
JANITOR	S-2	35 SF	300	1
VESTIBULE	A-4	120 SF	15	8
ICE ROOM	S-2	760 SF	300	3
ELEC.-MECH ROOM	S-2	427 SF	300	2
GIRL'S ROOM	A-4	55 SF	50	1
REF. ROOM	A-4	90 SF	50	2
LOCKER ROOM A	A-4	308 SF	50	7
LOCKER ROOM B	A-4	308 SF	50	7
LOCKER ROOM C	A-4	308 SF	50	7
LOCKER ROOM D	A-4	308 SF	50	7
SEATING AREA A	A-4	47'-4"	1'-6"	31
SEATING AREA B	A-4	42'-0"	1'-6"	28
SEATING AREA C	A-4	47'-4"	1'-6"	31
ICE RINK	A-4	17,013 SF	50	340
BACK OF HOUSE	S-2	675 SF	300	2
TOTAL				736

- LEGEND**
- EXIT DISCHARGE
 - EGRESS ROUTE
 - ⊙ WALL MOUNTED EXIT SIGN
 - * PANIC HARDWARE
 - 100 OCCUPANT LOAD PER CBC TABLE 1004.5

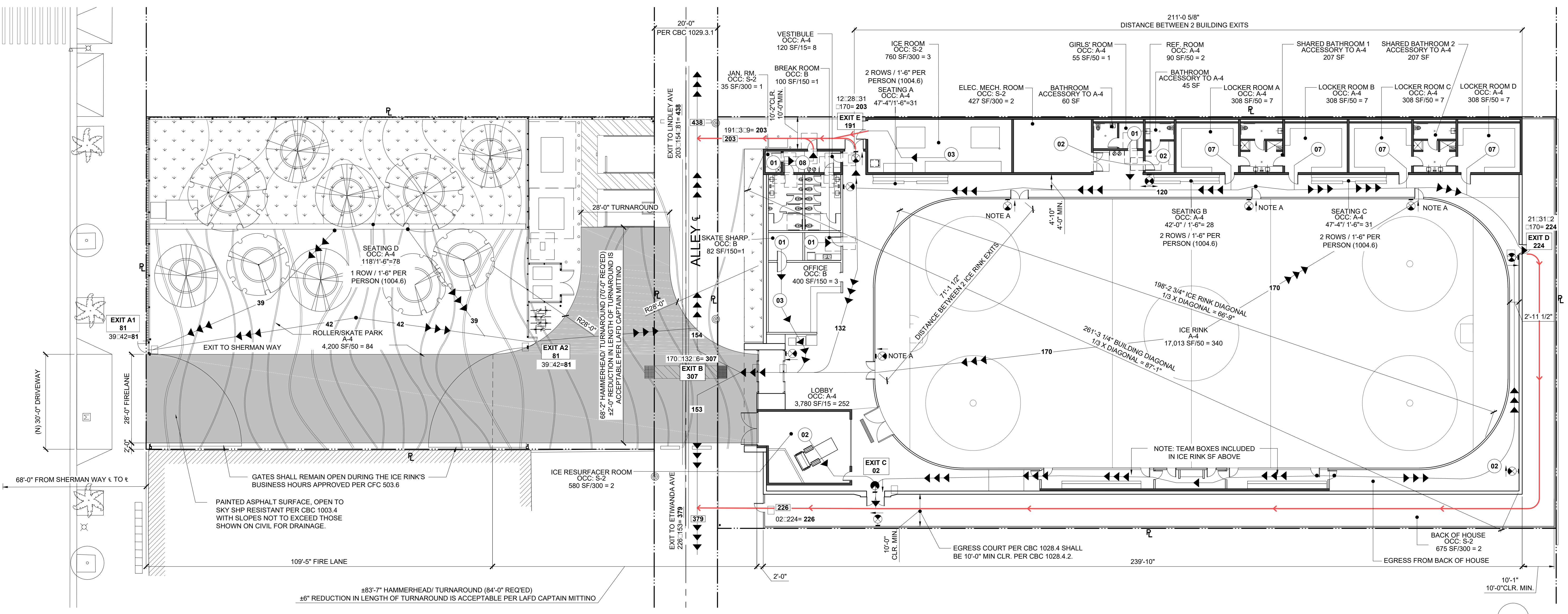
EXIT LOAD CALCULATION				
EXIT	OCC. LOAD	CAPACITY FACTOR	MIN. CALCULATED OPENING	OPENING WIDTH PROVIDED
EXIT A1/A2	81	0.15"	12 1/8"	34"
EXIT B**	307	0.15"	46"	74"
EXIT C***	2	0.15"	3"	70"
EXIT D	224	0.15"	33 1/2"	34"
EXIT E	191	0.15"	28 3/4"	70"

PER CBC 1005.3.2 EXCEPTION 1: "MEANS OF EGRESS CAPACITY FACTOR OF 0.15 INCH (3.8 MM) PER OCCUPANT IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM."
 MAIN EXIT OF SUFFICIENT CAPACITY TO ACCOMMODATE NOT LESS THAN 1/2 OCCUPANT LOAD, PER CBC 1029.2. (736/2 X 0.15" = 55'-14") □ 74".
 ADDITIONAL MEANS OF EGRESS WITH CAPACITY FOR NOT LESS THAN 1/2 OCCUPANT LOAD, PER CBC 1029.3. (736/2 X 0.15" = 55'-14") □ 70".
 NOTE A: PROVIDE SIGN * ICE RINK GATES SHALL REMAIN OPEN WHEN THE FACILITY IS USED BY THE PUBLIC.*



SITE PLAN EGRESS DIAGRAM

REF: -- SCALE: NTS



FIRST FLOOR/ SITE PLAN MEANS OF EGRESS/ FIRE LANE

REF: -- SCALE: 1/16"=1'-0"

ENGINEERING
CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE S. PARR
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY ENGINEER
GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:

WORK ORDER NO.
E170121B

SHEET NAME
A0.41

SHEET X **OF** X **SHEETS**

VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE:
EGRESS EXITING DIAGRAM & FIRE LANE

PROJECT:
RESEDA SKATE FACILITY

ADDRESS:
18210 SHERMAN WAY, RESEDA CA 91335

DATE:
BY:

NO. REVISIONS:

INDEX NO.

CIP NO.

REVISION DATES (DESIGN STAGE ONLY)

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES (DESIGN STAGE ONLY)

Sheet Version 4.0

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

K J I H G F E D C B A

EXITING NOTES:

1. COMMON PATH OF TRAVEL (75'-0" PER TABLE 1006.2.1 COMMON PATH OF EGRESS FOR 'A' OCCUPANCY, SECT. 1014.2 EGRESS MAY OCCUR THROUGH INTERVENING SPACES WHERE SPACES ARE ACCESSORY TO ONE ANOTHER AND CANNOT BE LOCKED TO PREVENT EGRESS)
2. EXIT ACCESS (250'-0" MAX. PER TABLE 1017.2, FOR 'A' OCC. W/ SPRINKLER SYSTEM, MOST RESTRICTIVE)
3. PER 1029.2, THE MAIN EXIT SHALL BE OF SUFFICIENT CAPACITY TO TO ACCOMMODATE NOT LESS THAN ONE HALF OF THE OCCUPANT LOAD, BUT SUCH CAPACITY SHALL BE NOT LESS THAN THE TOTAL REQUIRED CAPACITY OF ALL MEANS OF EGRESS LEADING TO THE EXIT.
4. ALL FIRE RATED DOORS SHALL BE SELF OR AUTOMATIC CLOSING.
5. SIZES & DISTRIBUTION OF PORTABLE FIRE EXTINGUISHERS DESIGNED FOR PRIMARILY CLASS A FIRE HAZARDS, PER CBC 906.3.1
6. LOCATIONS OF PORTABLE FIRE EXTINGUISHERS SHOWN TO COMPLY WITH LIGHT HAZARD OCCUPANCY PER CBC T906.3(1)

FIRE PROTECTION NOTES:

1. THIS BUILDING MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA 13 THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
2. AN APPROVED FIRE ALARM SYSTEM INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND NFPA 72 SHALL BE PROVIDED IN NEW BUILDINGS AND STRUCTURES IN ACCORDANCE WITH SECTIONS 907.2.1 THROUGH 907.2.23 AND PROVIDE OCCUPANT NOTIFICATION IN ACCORDANCE WITH SECTION 907.5

LEGEND

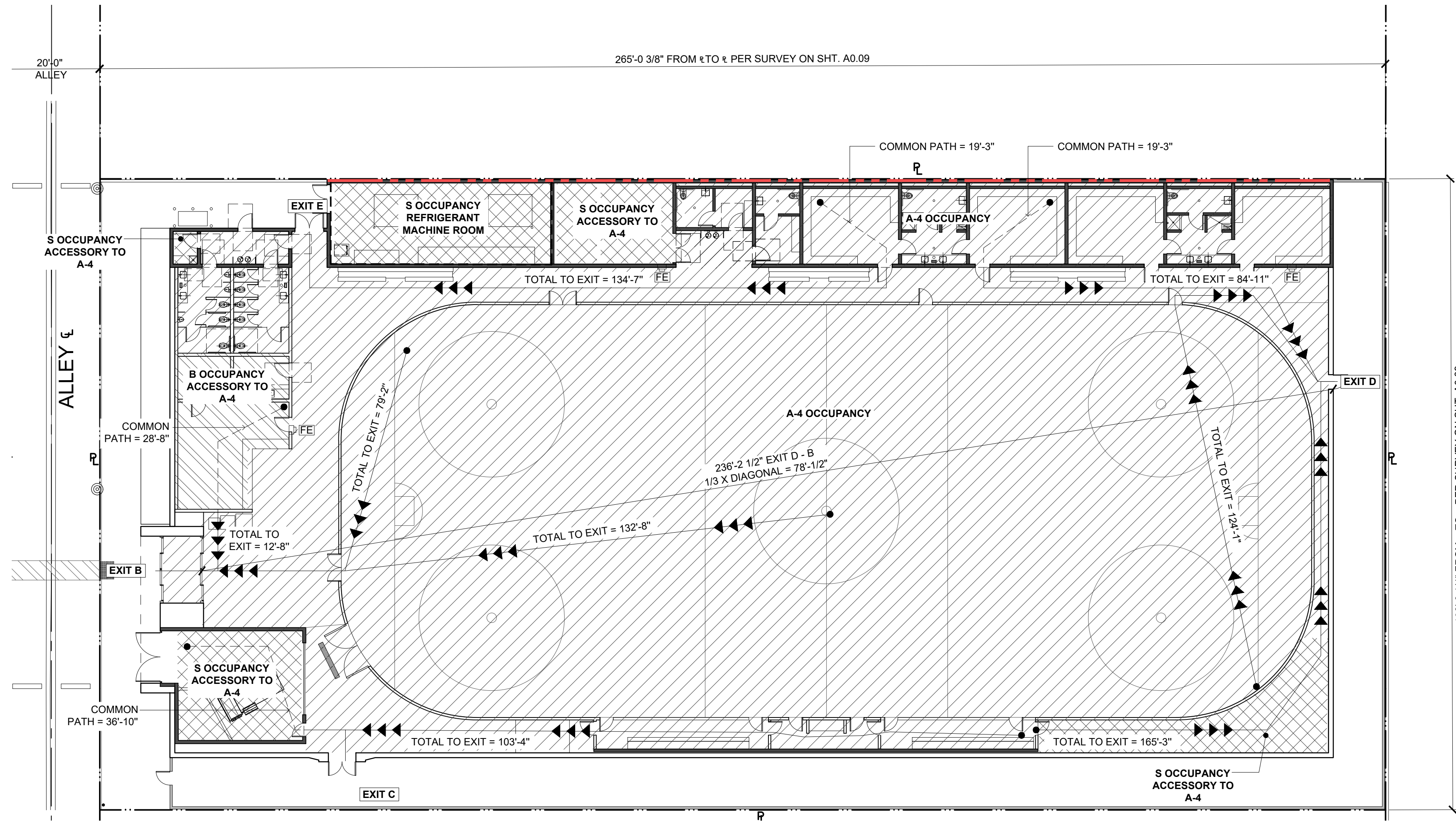
- TOTAL TO EXIT = # EXIT ACCESS TRAVEL DISTANCE
- → → → EXIT ACCESS
- - - - - COMMON PATH OF TRAVEL
- EXIT DISCHARGE
- MOST REMOTE POINT FOR EGRESS
- WALL MOUNTED EXIT SIGN
- FE FIRE EXTINGUISHER

TOTAL BUILDING AREA= 27,572 □ 38,000 ALLOWED PER TABLE 506.2 FOR TYPE II-B, OCCUPANCY A-4.

PER CBC 508.2.3 AGGREGATE ACCESSORY B □ S OCCUPANCIES= 2,650 SF (2,752 SF (10% x 27,572). PER CBC 508.2.4 NO OCCUPANCY SEPARATION IS REQUIRED.

WALL LEGEND

- 1-HOUR RATED EXTERIOR WALL PER CBC TABLE 602
- 1-HOUR SEPARATION AND/OR PROTECTION PER CBC TABLE 509 (REFRIGERANT MACHINE ROOM.)
- CMU- TYPE II-B STRUCTURE

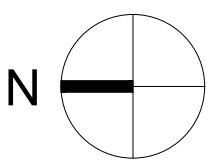


FIRE RATED WALL DIAGRAM/ OCCUPANCY SEPARATIONS & EXIT ACCESS TRAVEL DISTANCE

REF: A0.41

SCALE: 1/16" = 1'-0"

01



BUREAU OF ENGINEERING

VERTICAL CONTROL: HORIZONTAL CONTROL:

SHEET TITLE: FIRE RATED WALL & EXIT ACCESS TRAVEL

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE: BY:

NO. REVISIONS:

CIP NO.

INDEX NO.

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP

DESIGNED BY: DESIGN GROUP

DRAWN BY:

CHECKED BY:

APPROVED BY:

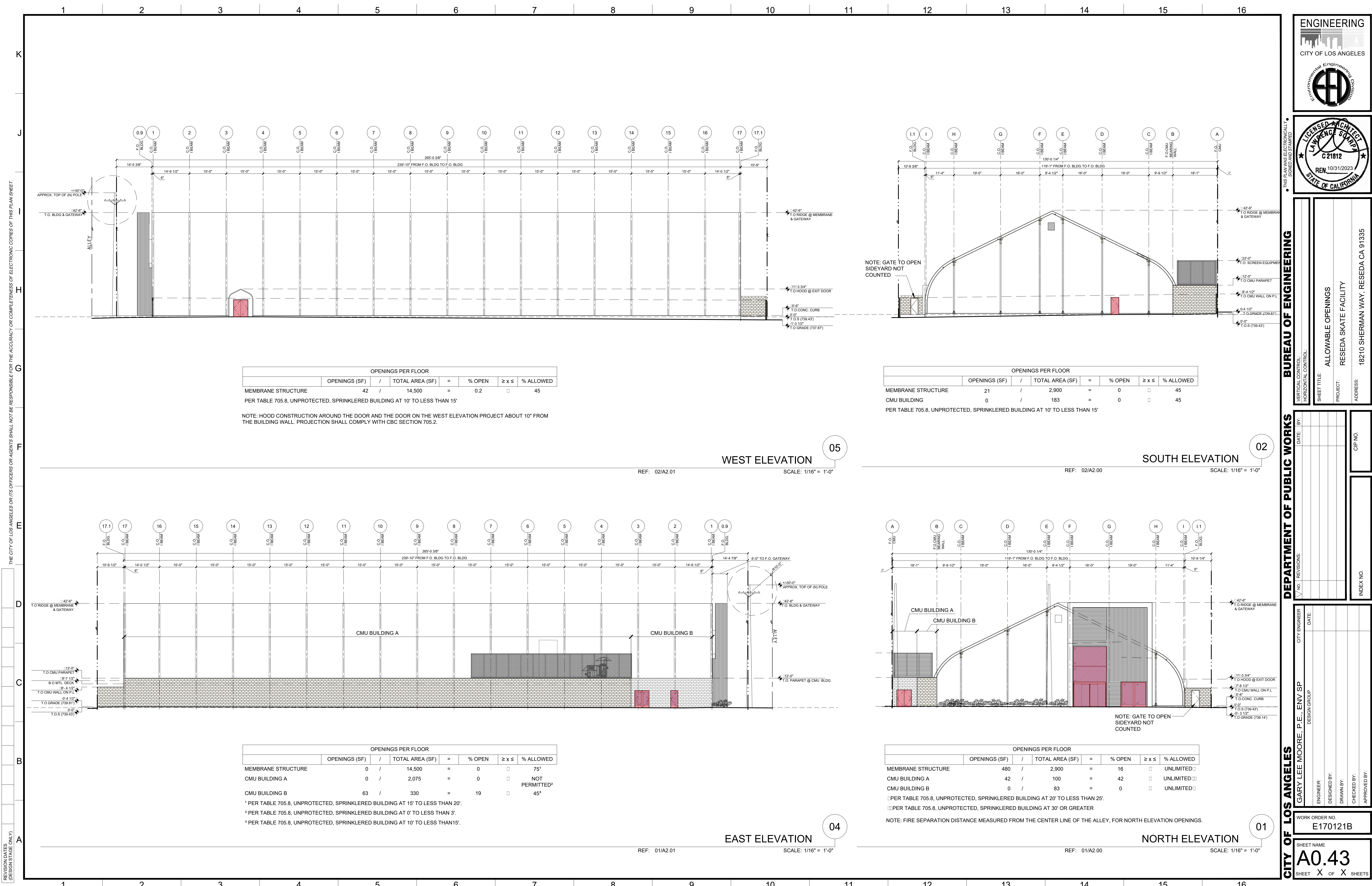
CITY ENGINEER

DATE:

WORK ORDER NO. E170121B

SHEET NAME A0.42

SHEET X OF X SHEETS



OPENINGS PER FLOOR							
MEMBRANE STRUCTURE	OPENINGS (SF)	/	TOTAL AREA (SF)	=	% OPEN	≥ x ≤	% ALLOWED
MEMBRANE STRUCTURE	42	/	14,500	=	0.2	□	45

PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 10' TO LESS THAN 15'

NOTE: HOOD CONSTRUCTION AROUND THE DOOR AND THE DOOR ON THE WEST ELEVATION PROJECT ABOUT 10" FROM THE BUILDING WALL. PROJECTION SHALL COMPLY WITH CBC SECTION 705.2.

OPENINGS PER FLOOR							
MEMBRANE STRUCTURE	OPENINGS (SF)	/	TOTAL AREA (SF)	=	% OPEN	≥ x ≤	% ALLOWED
MEMBRANE STRUCTURE	21	/	2,900	=	0	□	45
CMU BUILDING	0	/	183	=	0	□	45

PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 10' TO LESS THAN 15'

OPENINGS PER FLOOR							
MEMBRANE STRUCTURE	OPENINGS (SF)	/	TOTAL AREA (SF)	=	% OPEN	≥ x ≤	% ALLOWED
MEMBRANE STRUCTURE	0	/	14,500	=	0	□	75 ¹
CMU BUILDING A	0	/	2,075	=	0	□	NOT PERMITTED ²
CMU BUILDING B	63	/	330	=	19	□	45 ³

¹ PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 15' TO LESS THAN 20'
² PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 0' TO LESS THAN 3'
³ PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 10' TO LESS THAN 15'

OPENINGS PER FLOOR							
MEMBRANE STRUCTURE	OPENINGS (SF)	/	TOTAL AREA (SF)	=	% OPEN	≥ x ≤	% ALLOWED
MEMBRANE STRUCTURE	480	/	2,900	=	16	□	UNLIMITED ¹
CMU BUILDING A	42	/	100	=	42	□	UNLIMITED ²
CMU BUILDING B	0	/	83	=	0	□	UNLIMITED ³

¹ PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 20' TO LESS THAN 25'.
² PER TABLE 705.8, UNPROTECTED, SPRINKLERED BUILDING AT 30' OR GREATER

NOTE: FIRE SEPARATION DISTANCE MEASURED FROM THE CENTER LINE OF THE ALLEY, FOR NORTH ELEVATION OPENINGS.

REVISION DATES (DESIGN STAGE ONLY)

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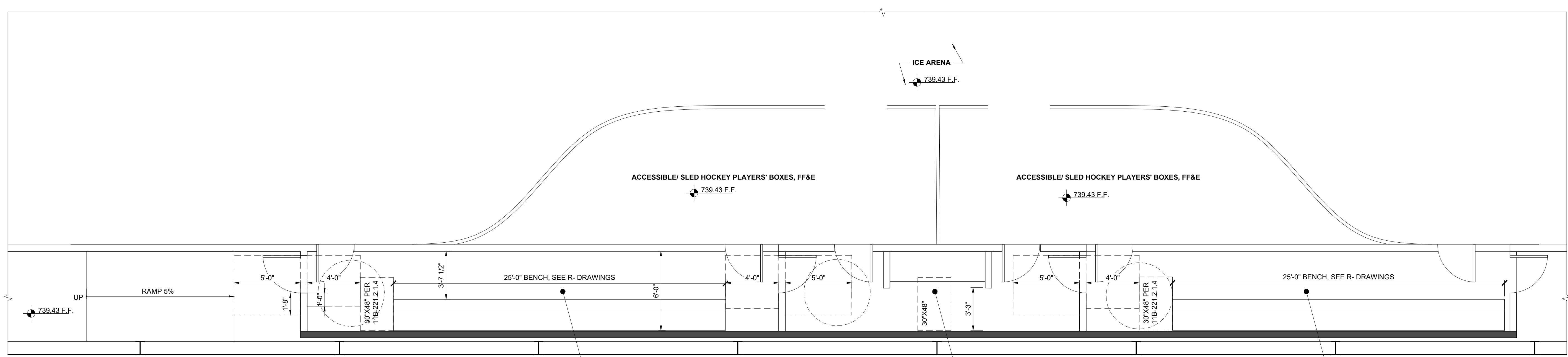
BUREAU OF ENGINEERING
 VERTICAL CONTROL:
 HORIZONTAL CONTROL:
 SHEET TITLE:
 PROJECT:
 ADDRESS:

DEPARTMENT OF PUBLIC WORKS
 DATE: BY:
 NO. REVISIONS:
 INDEX NO.

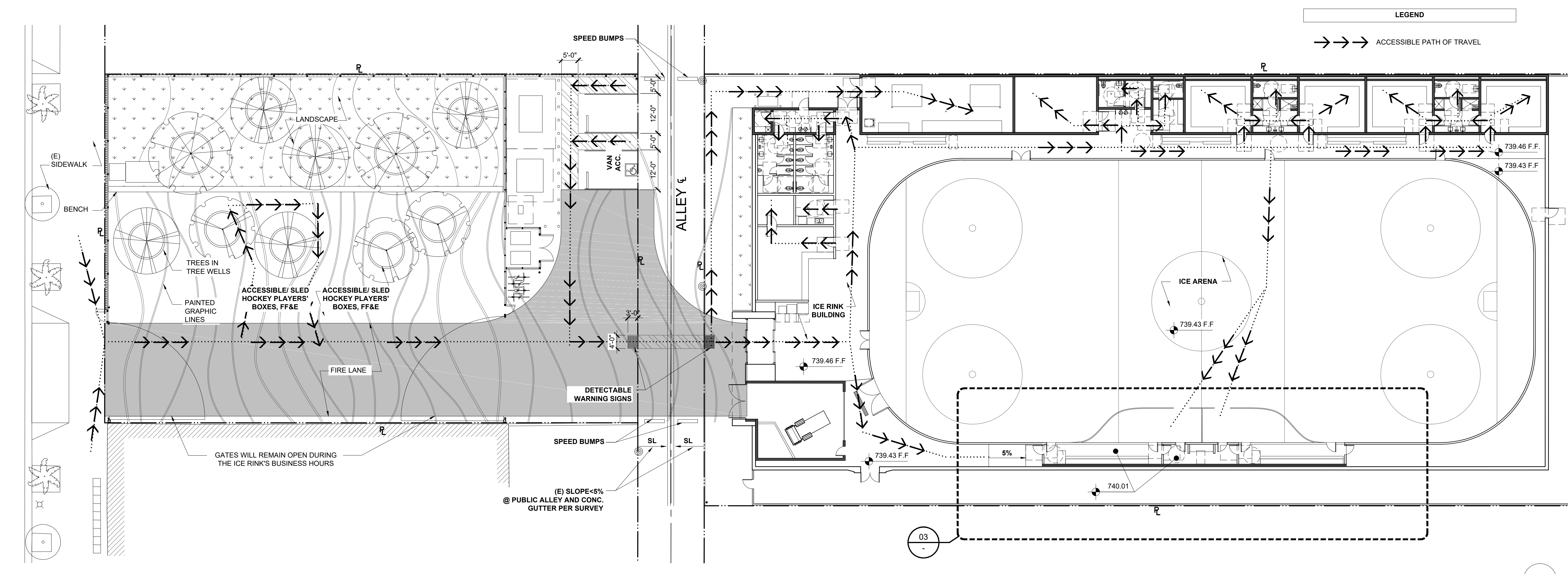
CITY ENGINEER
 DESIGNER:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:

WORK ORDER NO.
E170121B

SHEET NAME
A0.43
SHEET X OF X SHEETS



TEAMS' BOXES ENLARGED PLAN
REF: 01/- SCALE: 1/4" = 1'-0"



ACCESSIBLE PATH OF TRAVEL DIAGRAM
REF: A1.00 SCALE: 1/16" = 1'-0"

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE:
ACCESSIBLE PATH OF TRAVEL

PROJECT:
RESEDA SKATE FACILITY

ADDRESS:
18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE: BY:

REVISIONS:

CITY ENGINEER
GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:

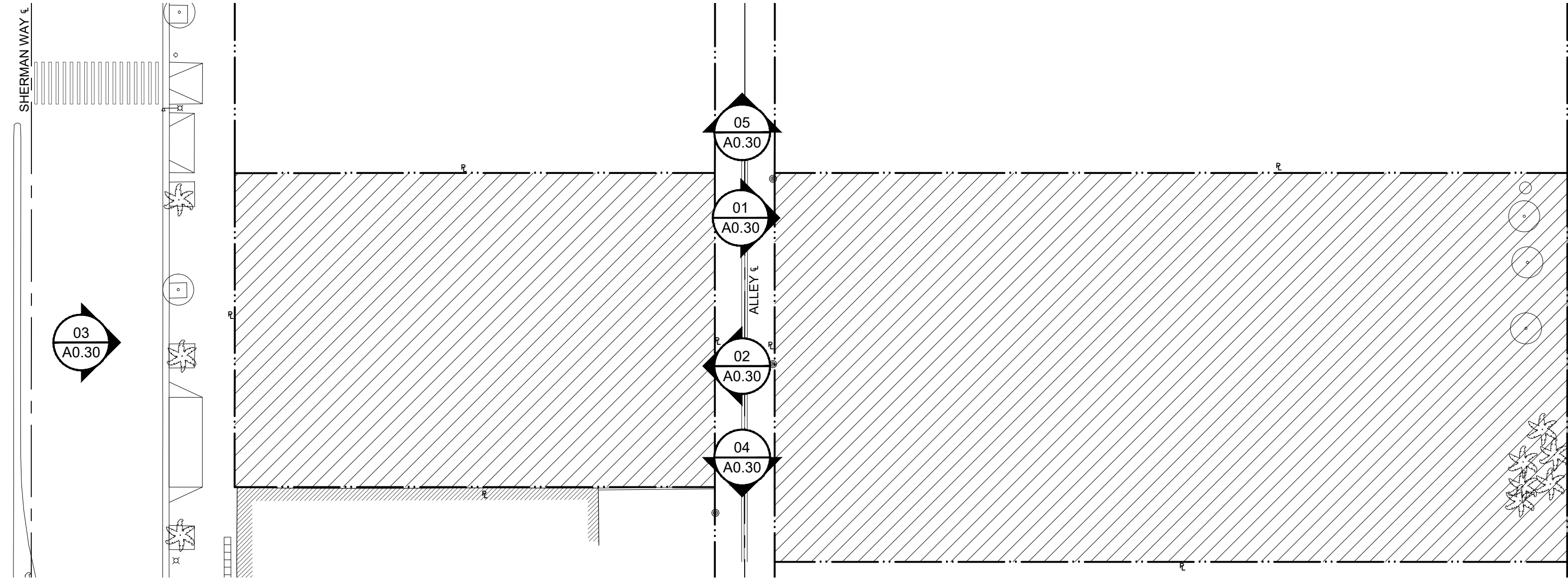
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E170121B

SHEET NAME
A0.50

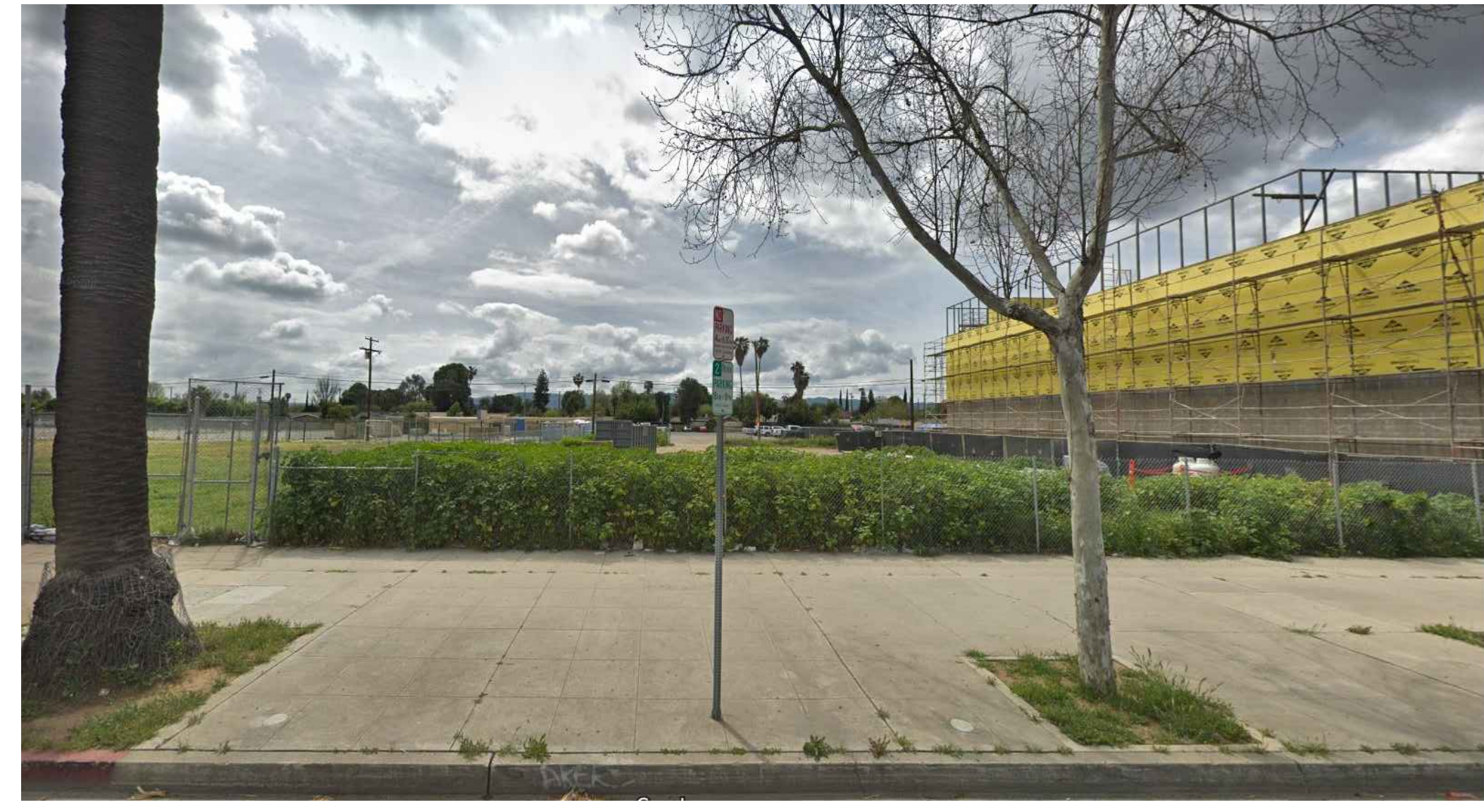
SHEET X OF X SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

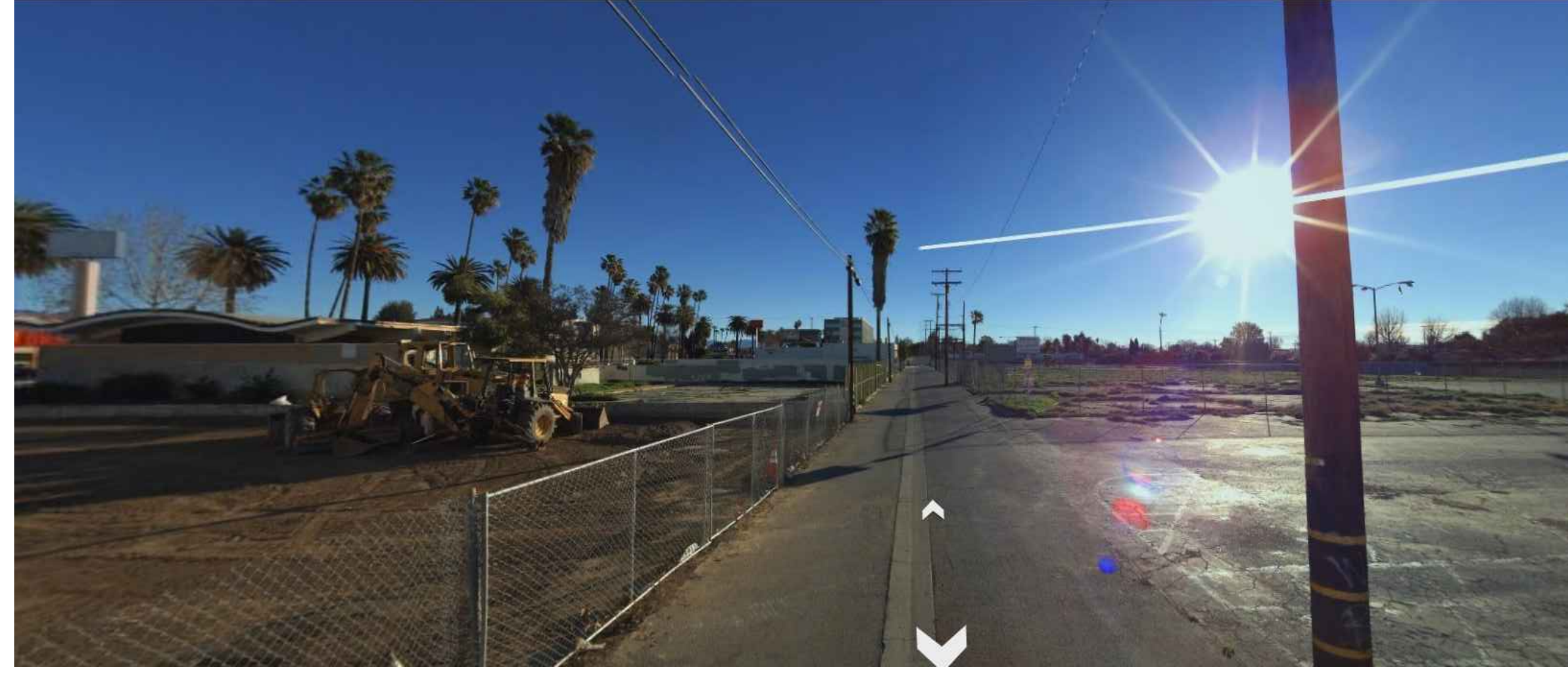
REVISION DATES (DESIGN STAGE ONLY)



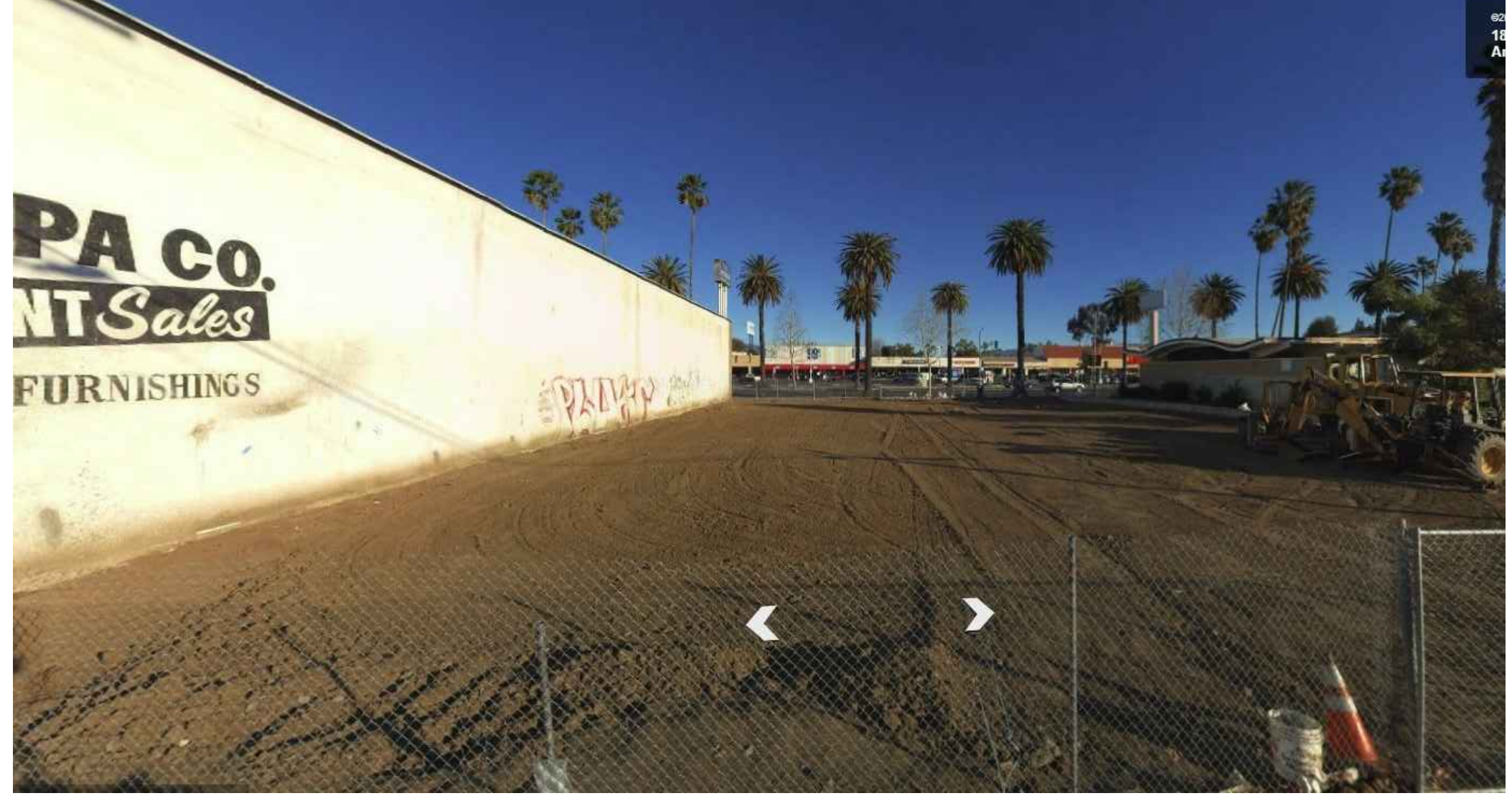
KEY SITE PLAN 06
REF: A1.00 SCALE: 1/32" = 1'-0"



NORTH LOT VIEW FROM SHERMAN WAY 03
REF: 06/- SCALE: N/A



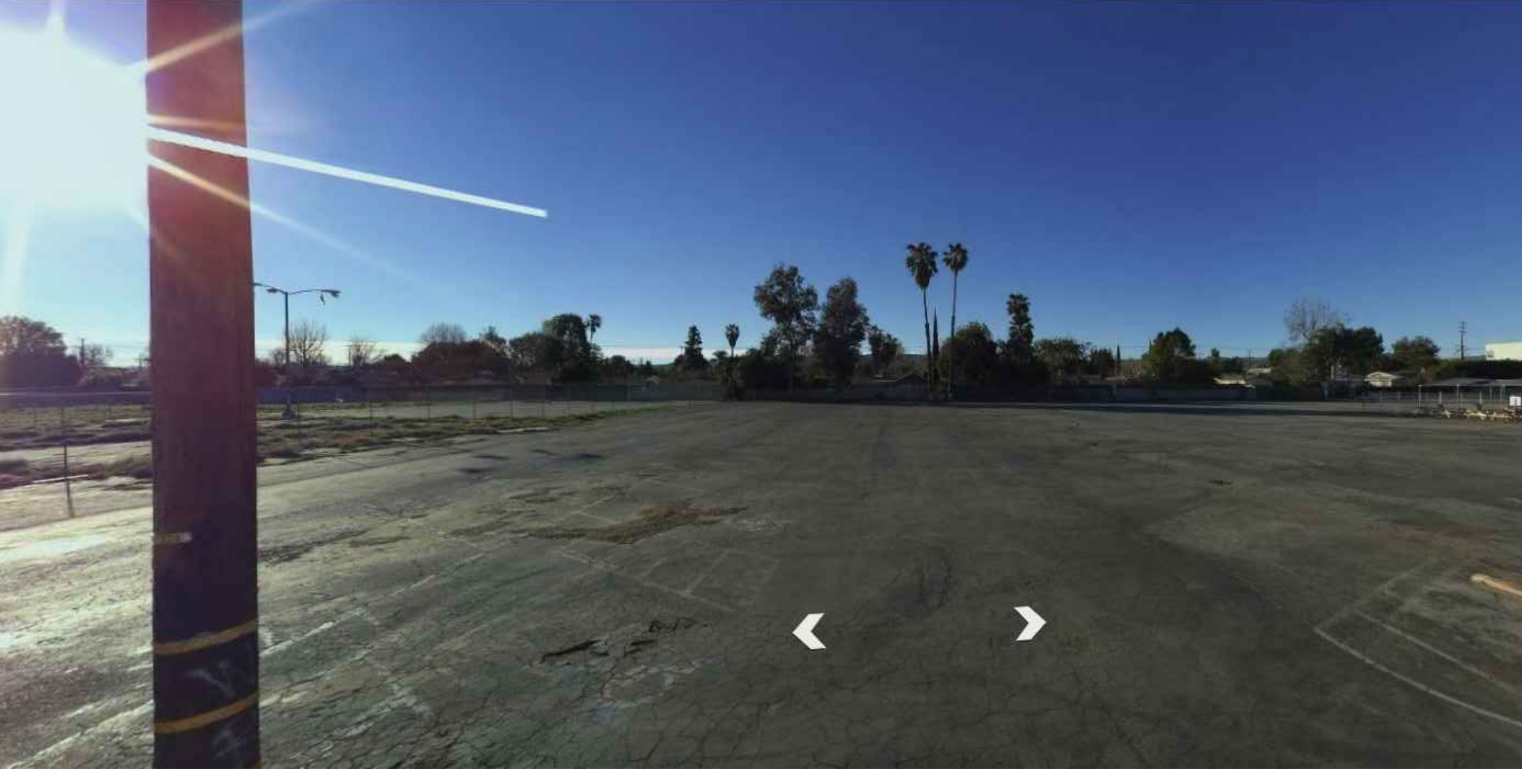
VIEW OF THE TWO LOTS FROM THE ALLEY FACING EAST 05
REF: 06/- SCALE: N/A



NORTH LOT VIEW FROM THE ALLEY 02
REF: 06/- SCALE: N/A



VIEW OF THE TWO LOTS FROM THE ALLEY FACING WEST 04
REF: 06/- SCALE: N/A



SOUTH LOT VIEW FROM THE ALLEY 01
REF: 06/- SCALE: N/A



BUREAU OF ENGINEERING
VERTICAL CONTROL: HORIZONTAL CONTROL:
SHEET TITLE: (E) SITE PHOTOS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

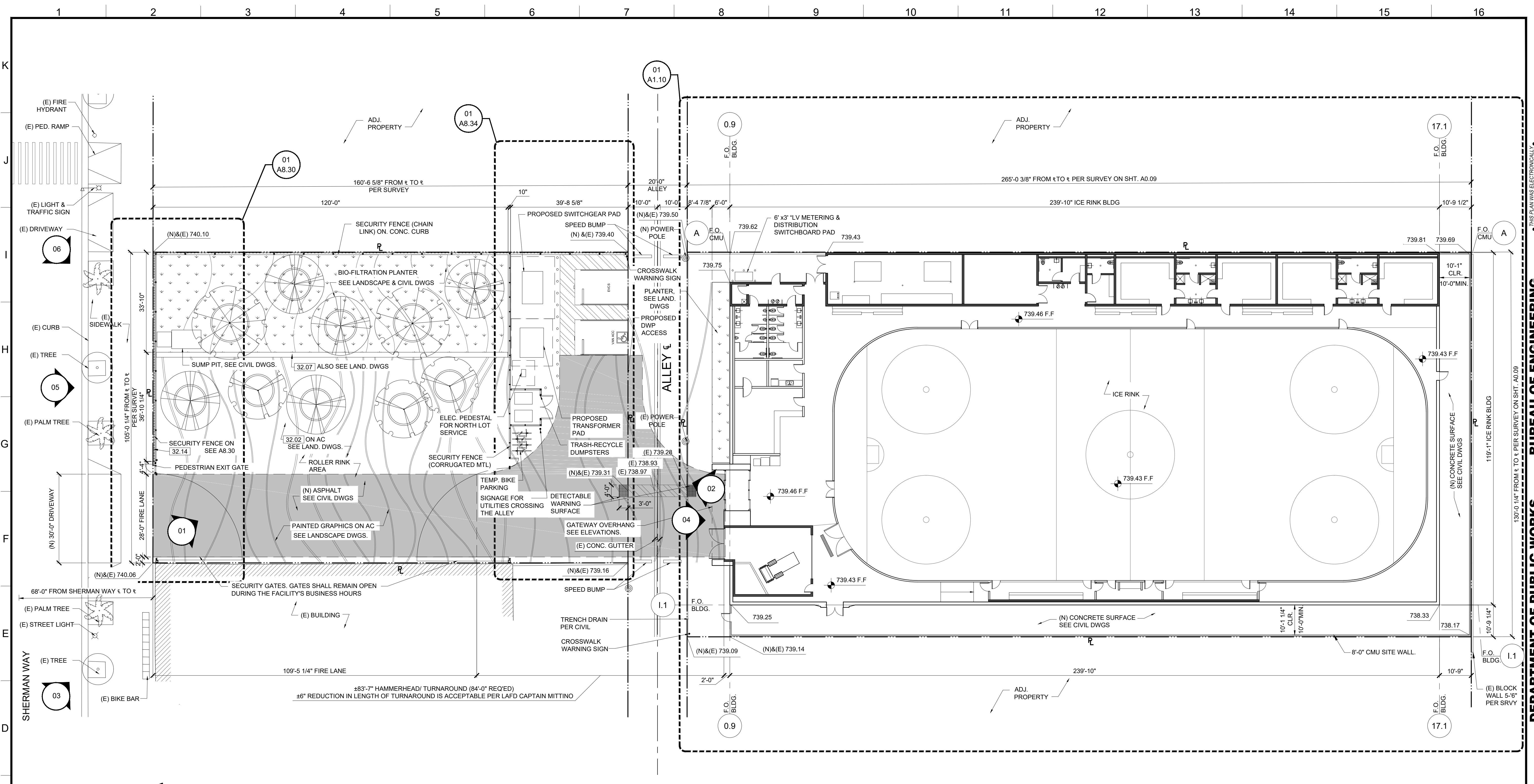
NO.	REVISIONS	DATE	BY

INDEX NO. CIP NO.

CITY OF LOS ANGELES
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

WORK ORDER NO. E170121B

SHEET NAME: **A0.90**
SHEET X OF X SHEETS



NOTES:
 1. ALL ELEVATION BUBBLES ON THIS SHEET REFER TO SHEET A0.02 3D MODEL IMAGES. SEE A2.00 & A2.01 FOR TECHNICAL ELEVATIONS THAT ARE CROSS-REFERENCED ON PLANS.
 2. ELEVATIONS @ CORNER OF PROPERTY AND DIMENSIONS NOT SHOWN ON SURVEY ARE EXTRAPOLATED FROM SURVEY. CONTRACTOR SHALL VERIFY ALL PROPERTY DIMENSIONS, CORNERS AND ELEVATIONS W/ SURVEYING EQUIPMENT PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCY OF (E) ELEVATIONS OR (E) PROPERTY DIMENSIONS. ARCHITECT SHALL BE COMPENSATED BY OWNER FOR ANY CHANGES DUE TO INCOMPLETE SURVEY.

REF: SURVEY, A0.09, A0.30, A0.41, A0.50
 SCALE: 1/16" = 1'-0"

KEYNOTES	05 - METALS	06 - WOOD AND PLASTICS	07 - THERMAL & MOISTURE PROTECTION	08 - OPENINGS (SEE DOOR/WINDOW SCHED)	09 - FINISHES (SEE FIN. SCHED)	10 - SPECIALTIES	11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)	12 - FURNISHINGS	13 - SPECIAL CONSTRUCTION	14 - CONVEYING EQUIPMENT (NOT USED)	15 - FIRE SUPPRESSION	16 - PLUMBING	17 - HEATING, VENTILATING, AND AIR-CONDITIONING	18 - ELECTRICAL	19 - COMMUNICATION	20 - ELECTRONIC SAFETY AND SECURITY	21 - EARTHWORK	22 - EXTERIOR IMPROVEMENTS	23 - UTILITIES
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.	5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.	6.01 W.P. MEMBRANE PER DETL. & SPECS. 6.02 SINGLE PLY PVC ROOFING PER SPECS. 6.03 R-21 RIGID INSULATION @ WALLS. 6.04 UNDERSLAB MOISTURE VAPOR BARRIER. 6.05 ROOF DRAIN AND OVERFLOW.	7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.	8.01 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.02 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES. 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.	9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS. PAINT CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 REVEAL PER DETAILS. 9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.06 GLAZED FINISH ON CMU. 9.07 CERAMIC TILE.	10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.	11.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 11.02 DASHBOARD. NIC. 11.03 BENCH. NIC.	12.01 BLEACHERS. NIC. 12.05 SCOREBOARD. NIC. 12.06 SKATE RACKS. NIC.	21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.	22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.	23.01 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.	23.01 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.	26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.	27.01 SMOKE ALARM. 27.02 SECURITY CAMERA. 27.03 FIRE ALARM MAIN PANEL.	31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.	32.01 ASPHALT PAVING PER CIVIL DWGS. 32.02 GRAPHICS/PAINT. SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE. PTD. 32.05 STL. SECURITY FENCE. PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE. SEE LANDSCAPE DWGS. 32.10 PLANTING. SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.	33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.		

ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE SOMPA
 C21812
 REN 10/31/2023
 STATE OF CALIFORNIA

DEPARTMENT OF PUBLIC WORKS
 BUREAU OF ENGINEERING

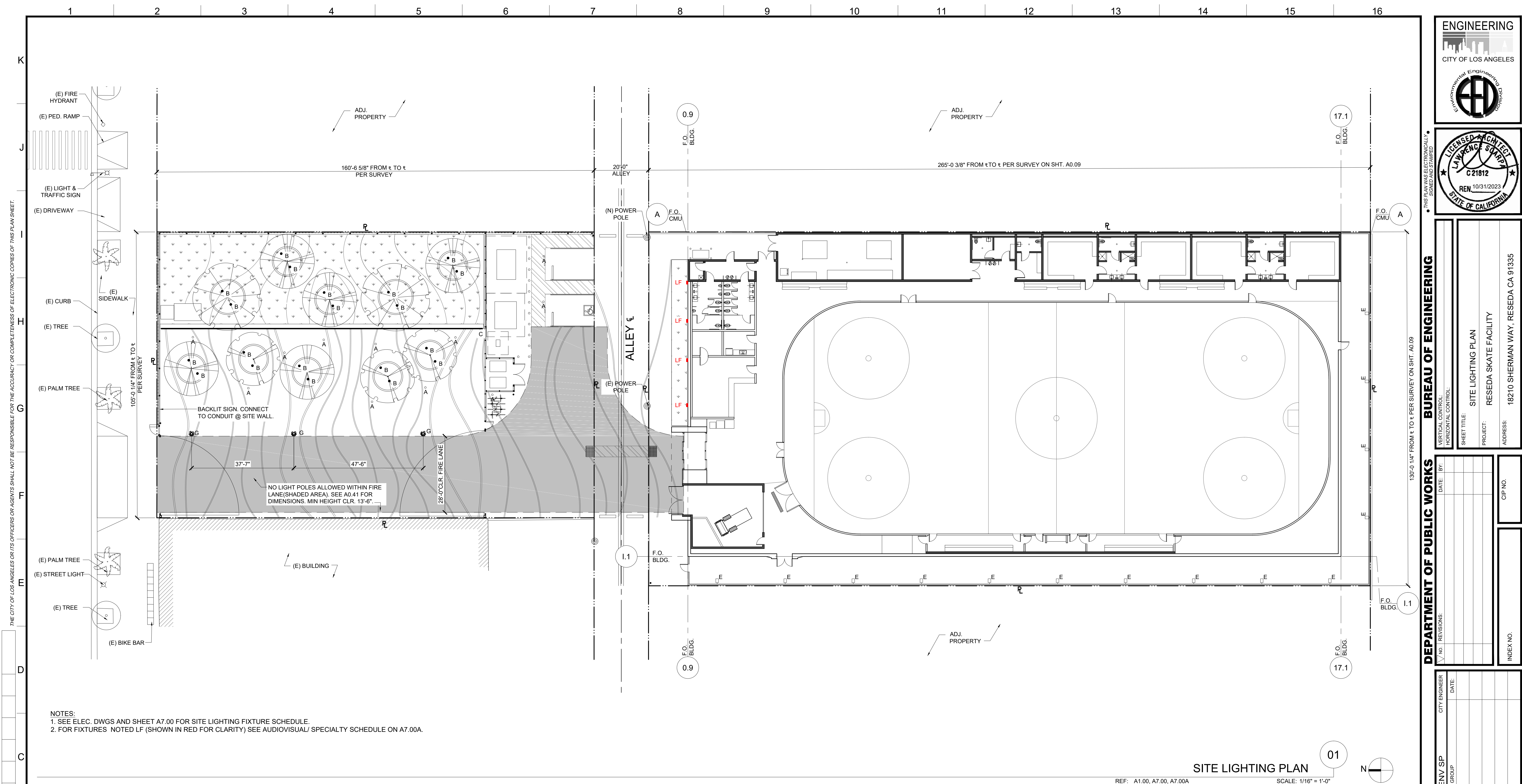
SITE PLAN
 RESEDA SKATE FACILITY
 18210 SHERMAN WAY, RESEDA CA 91335

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B
 SHEET NAME: A1.00
 SHEET X OF X SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.



NOTES:
 1. SEE ELEC. DWGS AND SHEET A7.00 FOR SITE LIGHTING FIXTURE SCHEDULE.
 2. FOR FIXTURES NOTED LF (SHOWN IN RED FOR CLARITY) SEE AUDIOVISUAL/ SPECIALTY SCHEDULE ON A7.00A.

SITE LIGHTING PLAN

REF: A1.00, A7.00, A7.00A SCALE: 1/16" = 1'-0"

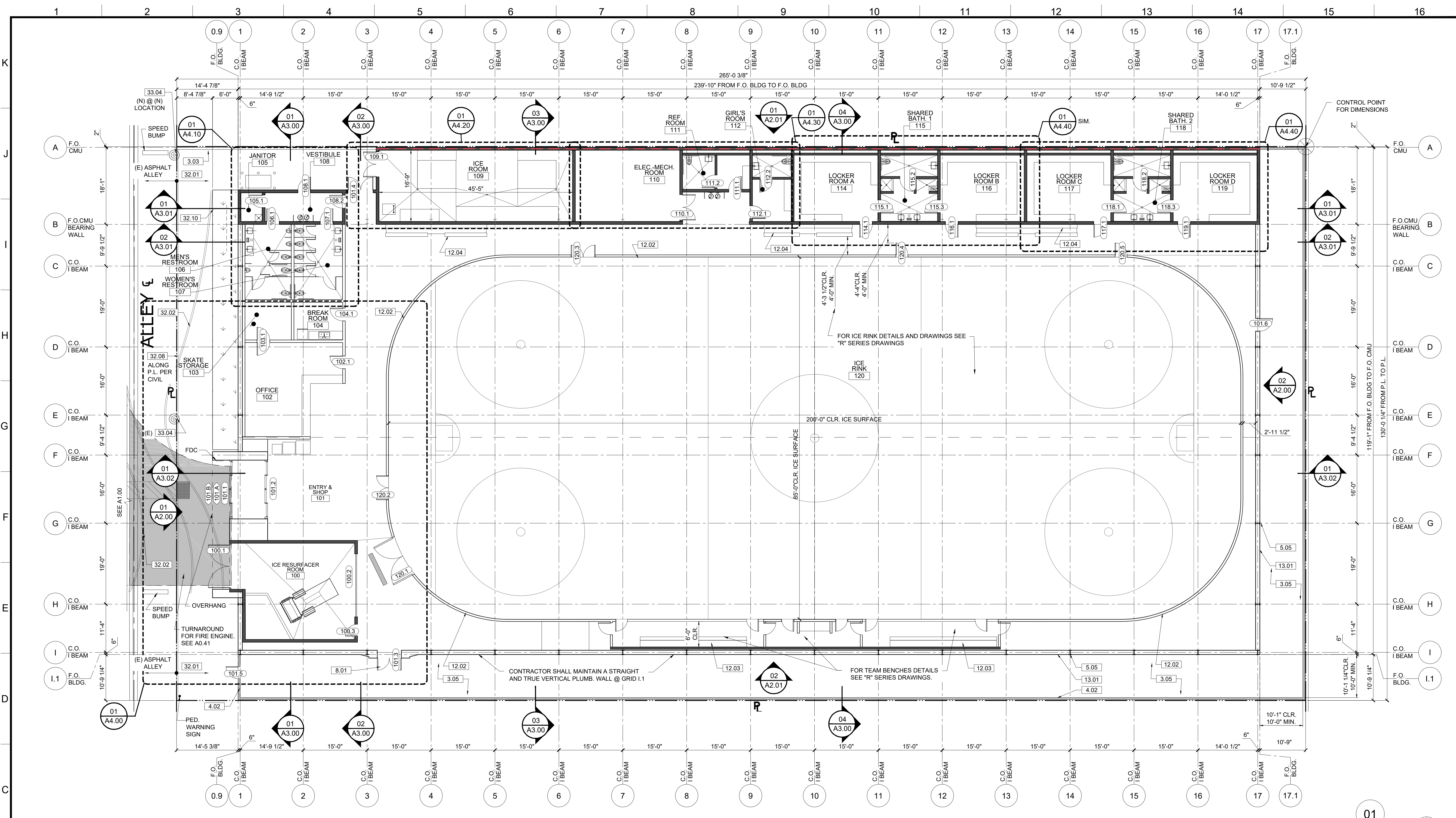
<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION 7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES). 7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES. 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS. PAINT. 9.02 CONC. FLR. SEAL PER FIN. SCHED. 9.03 RUBBER FLR. PER SPECS. 9.04 PAINT PER SPECS. 9.05 REVEAL PER DETAILS. 9.06 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.07 GLAZED FINISH ON CMU. 9.08 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD, NIC. 12.03 BENCH, NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division
 LICENSED ARCHITECT
 LAWRENCE SOMPA
 C 21812
 REN. 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 VERTICAL CONTROL:
 HORIZONTAL CONTROL:
 SHEET TITLE:
 PROJECT:
 ADDRESS:
 RESEDA SKATE FACILITY
 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
 CITY ENGINEER
 DESIGNER:
 DATE:
 REVISIONS:
 INDEX NO.
 CIP NO.

CITY OF LOS ANGELES
 ENGINEER:
 DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:
 WORK ORDER NO.
 E170121B
 SHEET NAME
A1.01
 SHEET X OF X SHEETS



ICE RINK FLOOR PLAN

REF: A0.30, A0.50, A1.00, A1.10A, A1.11, A1.12 SCALE: 3/32" = 1'-0"

- KEYNOTES**
 NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- 01 - GENERAL REQUIREMENTS**
 02 - NOT USED
 - 03 - CONCRETE**
 3.01 CONC. SLAB ON GRADE PER STRUCT'L.
 3.02 CONC. O/MTL. DECK PER STRUCT'L.
 3.03 CONC. CURB
 3.04 CONC. FOOTING PER STRUCT'L.
 3.05 CONC. PAVING PER CIVIL DWGS.
 3.06 CONC. SIDEWALK PER CIVIL DWGS.
 3.07 CONC. PAD
 - 04 - MASONRY**
 4.01 CMU BLDG. WALL
 4.02 CMU SITE WALL W/ 2" CMU CAP.
 - 05 - METALS**
 5.01 STL. COLUMN PER STRUCT'L. PTD.
 5.02 STL. BEAM PER STRUCT'L. PTD.
 5.03 HSS POST PER STRUCT'L. PTD.
 5.04 HSS BEAM PER STRUCT'L. PTD.
 5.05 MEMBRANE STRUCTURE I BEAM.
 5.06 MTL. DECK.
 5.07 MTL. GUARD RAILING.
 5.08 MTL. STUD WALL.
 - 06 - WOOD AND PLASTICS**
 6.01 W.P. MEMBRANE PER DETL. & SPECS.
 6.02 SINGLE PLY PVC ROOFING PER SPECS.
 6.03 R-21 RIGID INSULATION @ WALLS.
 6.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 6.05 ROOF DRAIN AND OVERFLOW.
 - 07 - THERMAL & MOISTURE PROTECTION**
 7.01 W.P. MEMBRANE PER DETL. & SPECS.
 7.02 SINGLE PLY PVC ROOFING PER SPECS.
 7.03 R-21 RIGID INSULATION @ WALLS.
 7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 7.05 ROOF DRAIN AND OVERFLOW.
 - 08 - OPENINGS (SEE DOOR/WINDOW SCHED)**
 8.01 STL. DOOR & FRAME, PAINTED.
 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
 8.04 DOOR HARDWARE SET PER SCHED.
 8.05 EXTERIOR WALL LOUVER.
 8.06 EXTERIOR WALL VENT WITH CAP.
 8.07 OVERHEAD GLASS DOOR.
 8.08 ICE RINK GATES.
 8.09 OVERHEAD GLASS DOOR.
 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
 8.11 ROOF ACCESS HATCH.
 - 09 - FINISHES (SEE FIN. SCHED)**
 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT, CONC. FLR. SEAL PER FIN. SCHED.
 9.02 RUBBER FLR. PER SPECS.
 9.03 PAINT PER SPECS.
 9.04 REVEAL PER DETAILS.
 9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
 9.06 GLAZED FINISH ON CMU.
 9.07 CERAMIC TILE.
 - 10 - SPECIALTIES**
 10.01 MIRROR PER SPECS.
 10.02 SIGNAGE.
 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
 10.04 GRAB BAR.
 10.05 COAT HOOK.
 - 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)**
 11.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
 11.02 DASHBOARD, NIC.
 11.03 BENCH, NIC.
 - 12 - FURNISHINGS**
 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
 12.02 DASHBOARD, NIC.
 12.03 BENCH, NIC.
 - 13 - SPECIAL CONSTRUCTION**
 13.01 MEMBRANE STRUCTURE.
 - 14 - CONVEYING EQUIPMENT (NOT USED)**
 - 21 - FIRE SUPPRESSION**
 21.01 FIRE EXTINGUISHER.
 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
 21.03 FIRE SPRINKLER VALVE ASSEMBLY
 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
 21.05 FIRE SPRINKLER HEAD.
 - 22 - PLUMBING**
 22.01 WATER CLOSET PER PLUMBING LEGEND
 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND
 22.03 JANITOR MOP SINK.
 22.04 PLUMBING VENT PIPE.
 22.05 DRINKING FOUNTAIN.
 22.06 ULTRA LOW-FLOW TOILET.
 22.07 SHOWER HEAD/CONTROLS.
 22.08 SHOWER DRAIN.
 22.09 AREA DRAIN.
 22.10 HOSE BIB.
 - 23 - HEATING, VENTILATING, AND AIR-CONDITIONING**
 23.01 HVAC UNIT PER MECH.
 23.02 AIR REGISTER WALL MOUNTED.
 23.03 CEILING AIR REGISTER.
 23.04 MAKE UP AIR LOUVER PER MECH. DWGS
 - 25 - BATHRM EXHAUST FAN PER SPECS.**
 25.06 BATHRM EXHAUST DUCT.
 25.07 MECH. DUCT.
 25.08 MECH. EQUIPMENT.
 - 26 - ELECTRICAL**
 26.01 ELEC. PANEL PER PLANS & SCHED.
 26.02 EXTERIOR LIGHT PER SCHED.
 26.03 INTERIOR LIGHT PER SCHED.
 - 27 - COMMUNICATION**
 27.01 ELECTRONIC SAFETY AND SECURITY
 28.01 SMOKE ALARM.
 28.02 SECURITY CAMERA.
 28.03 FIRE ALARM MAIN PANEL.
 - 31 - EARTHWORK**
 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.
 - 32 - EXTERIOR IMPROVEMENTS**
 32.01 ASPHALT PAVING PER CIVIL DWGS.
 32.02 GRAPHICS/PAINT.SEE LAND DWGS.
 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS.
 32.04 STL. SECURITY GATE, PTD.
 32.05 STL. SECURITY FENCE, PTD.
 32.06 EXTERIOR AREA DRAINS.
 32.07 BENCH.
 32.08 TRENCH DRAIN.
 32.09 TREE, SEE LANDSCAPE DWGS.
 32.10 PLANTING, SEE LANDSCAPE DWGS.
 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS.
 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
 32.13 EQUIPMENT SCREEN.
 32.14 CONC. WALL @ SITE FENCE.
 - 33 - UTILITIES**
 33.01 WATER METER.
 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
 33.03 ELECTRICAL METER.
 33.04 POWER POLE.

ENGINEERING
 CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

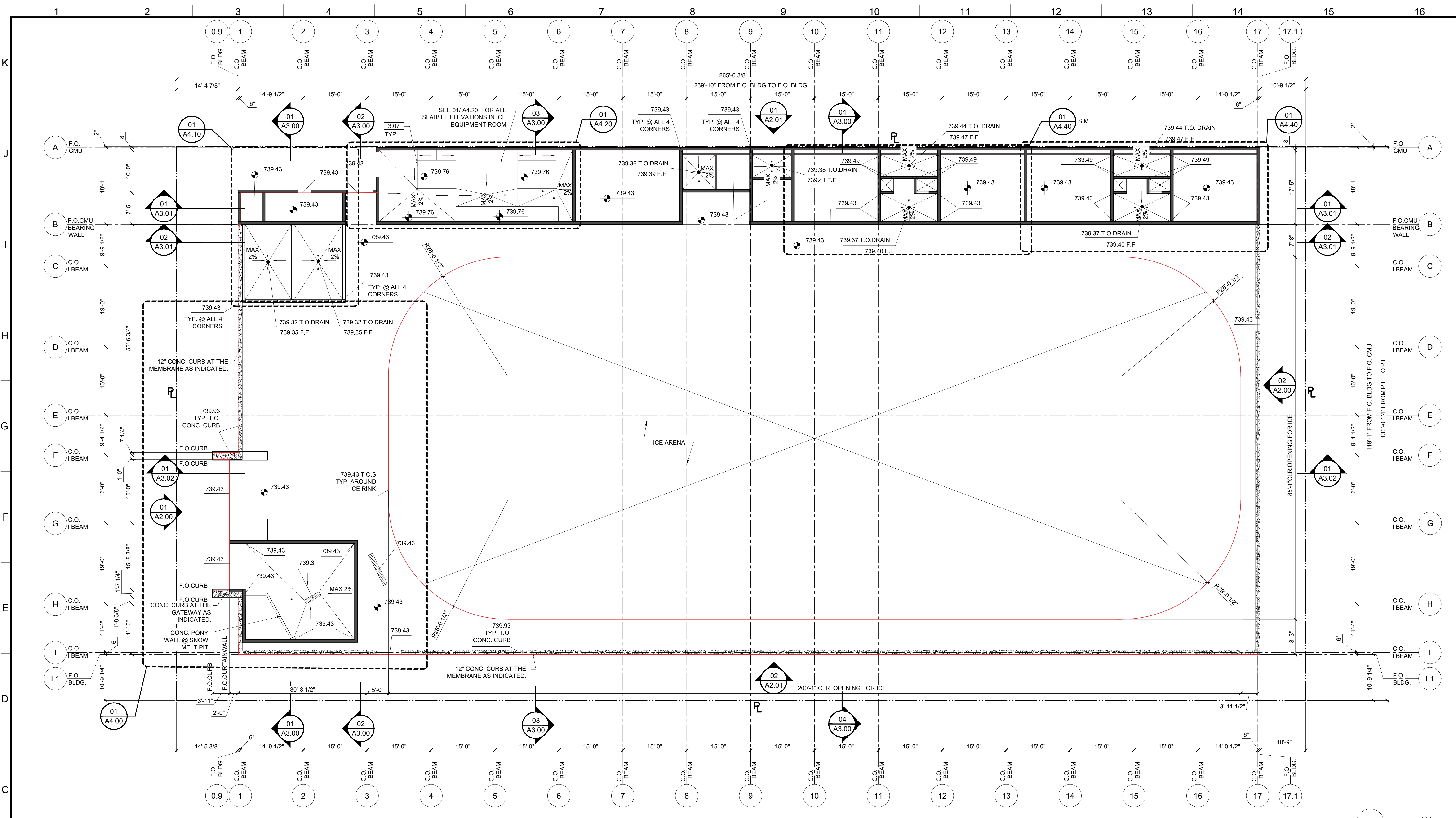
ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGNED BY: []
 DRAWN BY: []
 CHECKED BY: []
 APPROVED BY: []

PROJECT: RESEDA SKATE FACILITY
 SHEET TITLE: FLOOR PLAN
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

INDEX NO. []
 CIP NO. []

WORK ORDER NO. E170121B
 SHEET NAME: A1.10
 SHEET X OF X SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.



NOTE:
1. OUTLINE OF SLAB IS MARKED IN RED ON THIS PLAN FOR CLARITY

ICE RINK SLAB PLAN

REF: A1.10, A1.11, ENLARGED PLANS, SECTIONS SCALE: 3/32" = 1'-0"

- | | | | | | | | | | |
|---|--|---|---|--|--|---|--|---|--|
| <p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS
02 - NOT USED</p> <p>03 - CONCRETE
3.01 CONC. SLAB ON GRADE PER STRUCT'L.
3.02 CONC. O/MTL. DECK PER STRUCT'L.
3.03 CONC. CURB
3.04 CONC. FOOTING PER STRUCT'L.
3.05 CONC. PAVING PER CIVIL DWGS.
3.06 CONC. SIDEWALK PER CIVIL DWGS.
3.07 CONC. PAD</p> <p>04 - MASONRY
4.01 CMU BLDG. WALL
4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
5.01 STL. COLUMN PER STRUCT'L. PTD.
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5.06 MTL. DECK.
5.07 MTL. GUARD RAILING.
5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION
7.01 W.P. MEMBRANE PER DET'L. & SPECS.
7.02 SINGLE PLY PVC ROOFING PER SPECS.
7.03 R-21 RIGID INSULATION @ WALLS.
7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
7.05 ROOF DRAIN AND OVERFLOW.</p> | <p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED)
8.01 STL. DOOR & FRAME, PAINTED.
8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
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10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
10.04 GRAB BAR.
10.05 COAT HOOK.</p> | <p>10.06 WASTE RECEPTACLE.
10.07 FOLDING SHOWER SEAT.
10.08 SHOWER ROD.
10.09 SHELF.
10.10 NETTING, NIC
10.11 FIRE EXTINGUISHER, RECESSED CABINET
10.12 TOILET SEAT COVER DISPENSER.
10.13 PAPER TOWEL DISPENSER.
10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS
12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
12.02 DASHBOARD, NIC.
12.03 BENCH, NIC.</p> | <p>12.04 BLEACHERS, NIC.
12.05 SCOREBOARD, NIC.
12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION
13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION
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21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
21.03 FIRE SPRINKLER VALVE ASSEMBLY
21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p> | <p>22.01 WATER CLOSET PER PLUMBING LEGEND
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22.03 JANITOR MOP SINK.
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22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING
23.01 HVAC UNIT PER MECH.
23.02 AIR REGISTER WALL MOUNTED.
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23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p> | <p>23.05 BATHRM EXHAUST FAN PER SPECS.
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26.01 ELEC. PANEL PER PLANS & SCHED.
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28.01 SMOKE ALARM.
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32.01 ASPHALT PAVING PER CIVIL.
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32.04 STL. SECURITY GATE, PTD.
32.05 STL. SECURITY FENCE, PTD.
32.06 EXTERIOR AREA DRAINS.
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32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS.
32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
32.13 EQUIPMENT SCREEN.
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33.01 WATER METER.
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33.04 POWER POLE.</p> |
|---|--|---|---|--|--|---|--|---|--|

ENGINEERING
CITY OF LOS ANGELES

Environmental Engineering Division

LICENSED ARCHITECT
LAWRENCE SOMPA
C21812
REN. 10/31/2023
STATE OF CALIFORNIA

DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: SLAB PLAN
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP: _____

DATE: _____

NO. REVISIONS: _____

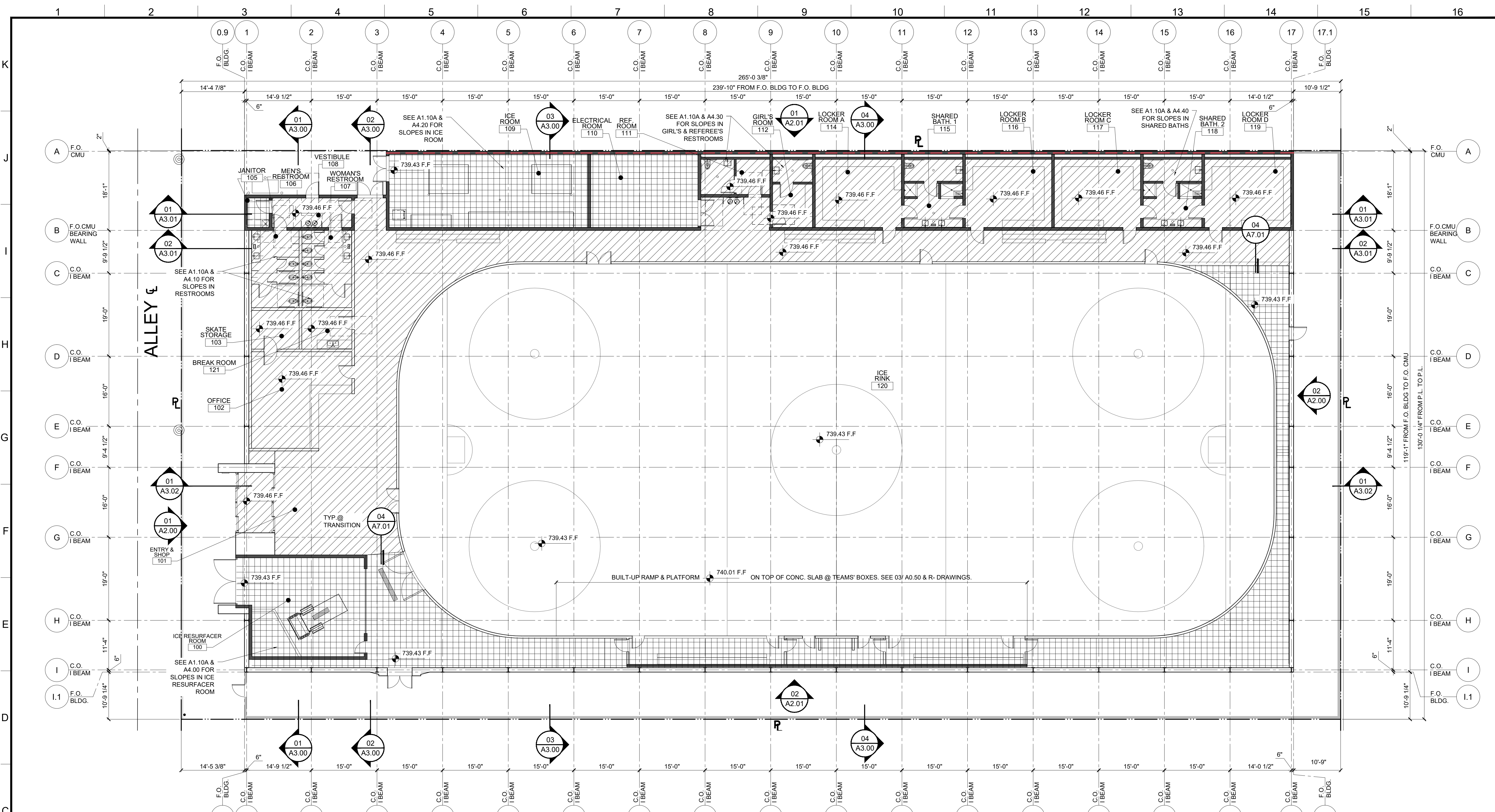
DATE: _____ BY: _____

CIP NO. _____

INDEX NO. _____

WORK ORDER NO. E170121B

SHEET NAME: **A1.10A**
SHEET X OF X SHEETS



FINISH LEGEND (SEE FIN. SCHEDULE ON SHT. A7.00)

- RUBBER FLOORING 9.03
- SEALED CONCRETE 3.01

- KEYNOTES**
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- | | | | | | | | | |
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4.01 CMU BLDNG. WALL
4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
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07 - THERMAL & MOISTURE PROTECTION
7.01 W.P. MEMBRANE PER DETL. & SPECS.
7.02 SINGLE PLY PVC ROOFING PER SPECS.
7.03 R-21 RIGID INSULATION @ WALLS.
7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
7.05 ROOF DRAIN AND OVERFLOW.</p> | <p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).
7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED)
8.01 STL. DOOR & FRAME, PAINTED.
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|---|--|--|---|--|--|---|--|---|

FLOOR FINISH PLAN

REF: A1.10, A1.10A, A7.00 SCALE: 3/32" = 1'-0"

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES (DESIGN STAGE ONLY)

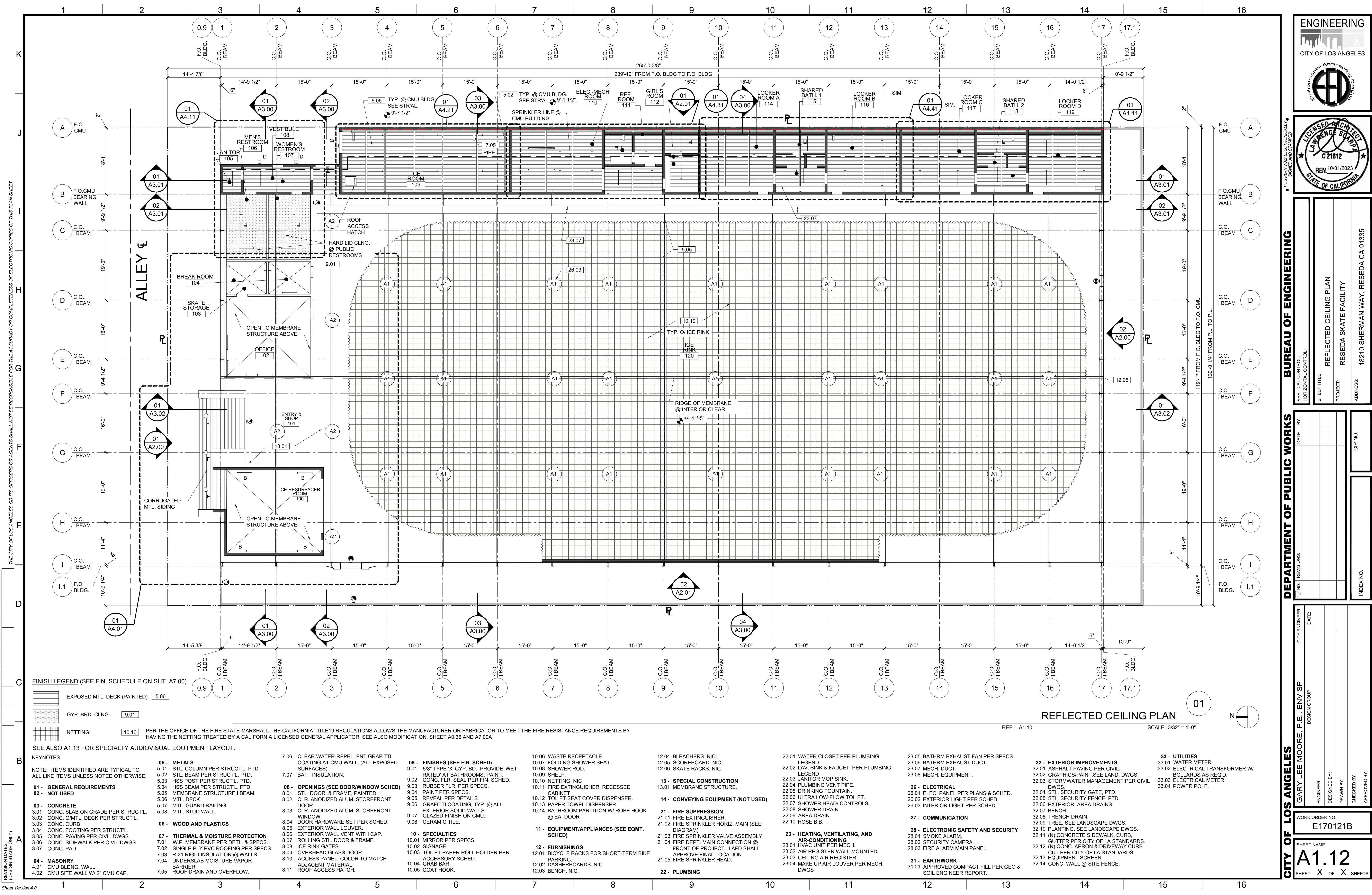
Sheet Version 4.0

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

SHEET TITLE: FINISH FLOOR PLAN
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

VERTICAL CONTROL: HORIZONTAL CONTROL:	DATE: _____ BY: _____ NO. REVISIONS: _____
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP	WORK ORDER NO. E170121B SHEET NAME A1.11 SHEET X OF X SHEETS



FINISH LEGEND (SEE FIN. SCHEDULE ON SHT. A7.00)

	EXPOSED MTL. DECK (PAINTED)	5.06
	GYP. BRD. CLNG.	9.01
	NETTING	10.10

KEYNOTES

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 7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 7.05 ROOF DRAIN AND OVERFLOW.

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REFLECTED CEILING PLAN
 REF: A1.10
 SCALE: 3/32" = 1'-0"

ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE S. MOORE
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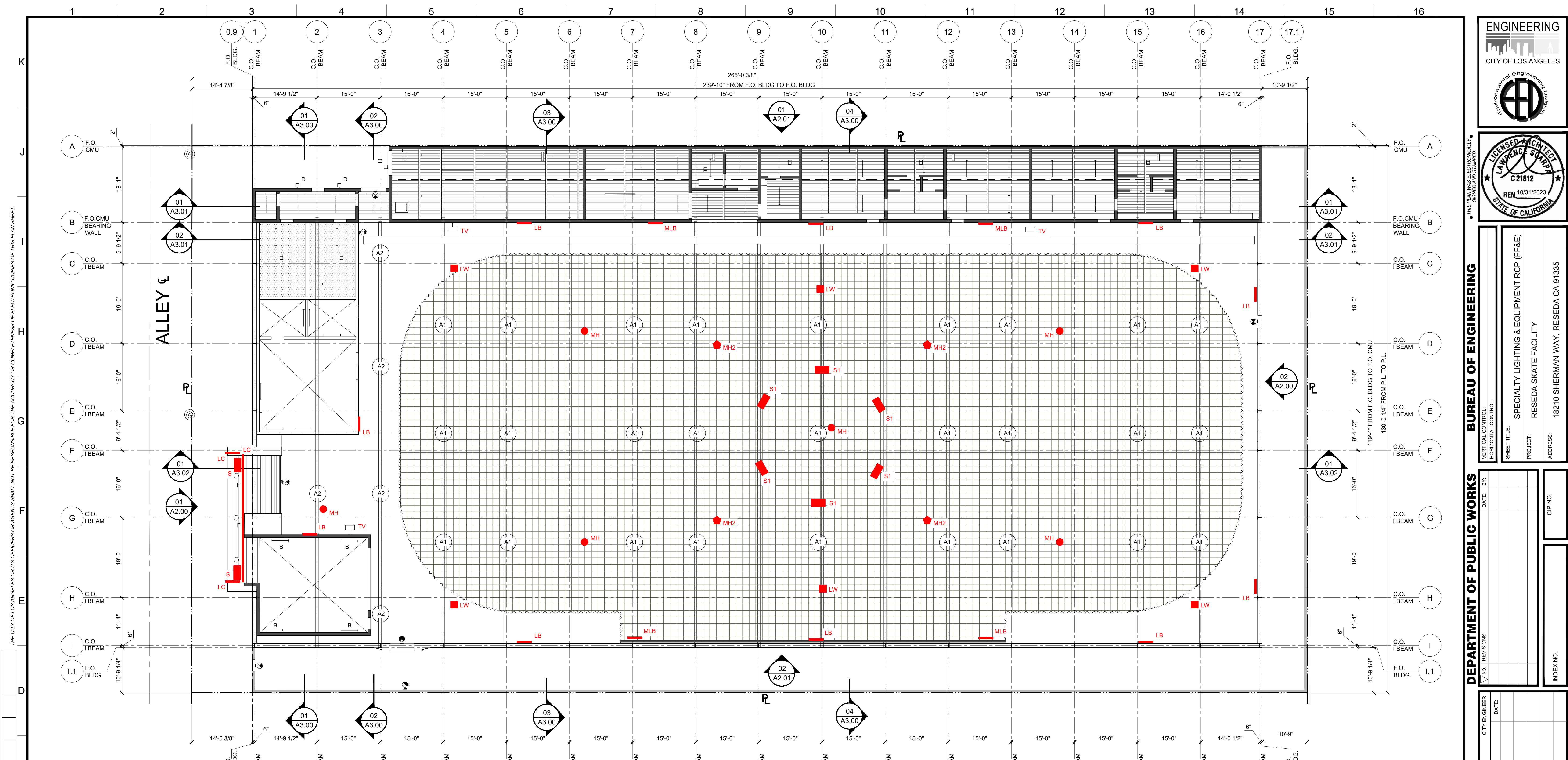
DEPARTMENT OF PUBLIC WORKS
 DATE: BY: REVISIONS: INDEX NO. CIP NO.

CITY ENGINEER
 GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

WORK ORDER NO.
 E170121B

SHEET NAME
A1.12
 SHEET X OF X SHEETS

PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335



NOTES:
 1) SEE A7.00A FOR AUDIOVISUAL/SPECIALTY LEGEND. S&C FIXTURES ARE SHOWN HERE FOR REFERENCE/PURPOSE OF COORDINATION.
 2) ALL ITEMS SHOWN IN REFLECTED CEILING PLAN ARE WALL MOUNTED OR SUSPENDED UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY QUANTITY, FINAL LOCATION & HEIGHT WITH OWNER & ARCHITECT.
 3) AV SPECIALTY EQUIPMENT IS SHOWN IN RED FOR CLARITY.

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 22.10 HOSE BIB.

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 23.01 HVAC UNIT PER MECH.
 23.02 AIR REGISTER WALL MOUNTED.
 23.03 CEILING AIR REGISTER.
 23.04 MAKE UP AIR LOUVER PER MECH. DWGS

24 - BLEACHERS. NIC.
 24.05 SCOREBOARD. NIC.
 24.06 SKATE RACKS. NIC.

25 - BATHRM EXHAUST FAN PER SPECS.
 25.06 BATHRM EXHAUST DUCT.
 25.07 MECH. DUCT.
 25.08 MECH. EQUIPMENT.

26 - ELECTRICAL
 26.01 ELEC. PANEL PER PLANS & SCHED.
 26.02 EXTERIOR LIGHT PER SCHED.
 26.03 INTERIOR LIGHT PER SCHED.

27 - COMMUNICATION
 27.01 ELECTRONIC SAFETY AND SECURITY
 28.01 SMOKE ALARM.
 28.02 SECURITY CAMERA.
 28.03 FIRE ALARM MAIN PANEL.

28 - ELECTRONIC SAFETY AND SECURITY
 28.01 SMOKE ALARM.
 28.02 SECURITY CAMERA.
 28.03 FIRE ALARM MAIN PANEL.

29 - EARTHWORK
 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.

32 - EXTERIOR IMPROVEMENTS
 32.01 ASPHALT PAVING PER CIVIL.
 32.02 GRAPHICS/PAINT.SEE LAND. DWGS.
 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS.
 32.04 STL. SECURITY GATE. PTD.
 32.05 STL. SECURITY FENCE. PTD.
 32.06 EXTERIOR AREA DRAINS.
 32.07 BENCH.
 32.08 TRENCH DRAIN.
 32.09 TREE. SEE LANDSCAPE DWGS.
 32.10 PLANTING. SEE LANDSCAPE DWGS.
 32.11 (N) CONCRETE SIDEWALK, CURB.
 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
 32.13 EQUIPMENT SCREEN.
 32.14 CONC. WALL @ SITE FENCE.

33 - UTILITIES
 33.01 WATER METER.
 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
 33.03 ELECTRICAL METER.
 33.04 POWER POLE.

REVISION DATES (DESIGN STAGE ONLY)	NO.	DESCRIPTION
	1	
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ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

BUREAU OF ENGINEERING
 DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:

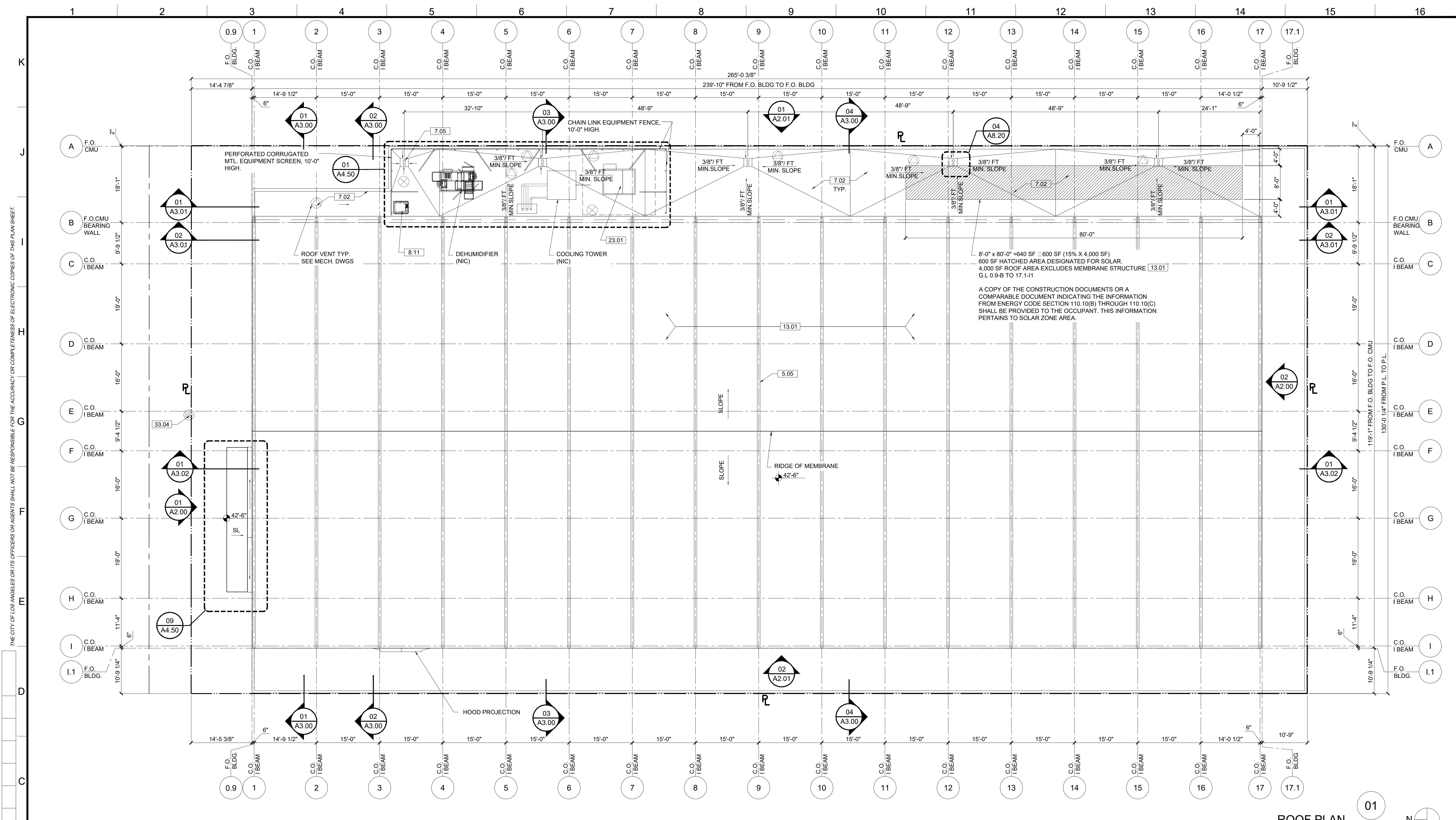
WORK ORDER NO. E170121B

SHEET NAME: **A1.13**
 SHEET X OF X SHEETS

SHEET TITLE: SPECIALTY LIGHTING & EQUIPMENT RCP (FF&E)
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

INDEX NO. CIP NO.

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED
 LICENSED ARCHITECT
 LAWRENCE SORRA
 C21812
 REN 10/31/2023
 STATE OF CALIFORNIA



ROOF PLAN 01
 REF: A0.30, A1.10
 SCALE: 3/32" = 1'-0"

- KEYNOTES**
 NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | |
|---|--|--|--|---|--|--|--|--|
| <p>01 - GENERAL REQUIREMENTS
 02 - NOT USED</p> <p>03 - CONCRETE
 3.01 CONC. SLAB ON GRADE PER STRUCT'L.
 3.02 CONC. O/MTL. DECK PER STRUCT'L.
 3.03 CONC. CURB
 3.04 CONC. FOOTING PER STRUCT'L.
 3.05 CONC. PAVING PER CIVIL DWGS.
 3.06 CONC. SIDEWALK PER CIVIL DWGS.
 3.07 CONC. PAD</p> <p>04 - MASONRY
 4.01 CMU BLDG. WALL
 4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
 5.01 STL. COLUMN PER STRUCT'L. PTD.
 5.02 STL. BEAM PER STRUCT'L. PTD.
 5.03 HSS POST PER STRUCT'L. PTD.
 5.04 HSS BEAM PER STRUCT'L. PTD.
 5.05 MEMBRANE STRUCTURE I BEAM.
 5.06 MTL. DECK.
 5.07 MTL. GUARD RAILING.
 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS
 07 - THERMAL & MOISTURE PROTECTION
 7.01 W.P. MEMBRANE PER DETL. & SPECS.
 7.02 SINGLE PLY PVC ROOFING PER SPECS.
 7.03 R-21 RIGID INSULATION @ WALLS.
 7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 7.05 ROOF DRAIN AND OVERFLOW.</p> | <p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).
 7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED)
 8.01 STL. DOOR & FRAME, PAINTED.
 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
 8.04 DOOR HARDWARE SET PER SCHED.
 8.05 EXTERIOR WALL LOUVER.
 8.06 EXTERIOR WALL VENT WITH CAP.
 8.07 ROLLING STL. DOOR & FRAME.
 8.08 ICE RINK GATES
 8.09 OVERHEAD GLASS DOOR.
 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
 8.11 ROOF ACCESS HATCH.</p> | <p>09 - FINISHES (SEE FIN. SCHED)
 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT.
 9.02 CONC. FLR. SEAL PER FIN. SCHED.
 9.03 RUBBER FLR. PER SPECS.
 9.04 PAINT PER SPECS.
 9.05 REVEAL PER DETAILS.
 9.06 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
 9.07 GLAZED FINISH ON CMU.
 9.08 CERAMIC TILE.</p> <p>10 - SPECIALTIES
 10.01 MIRROR PER SPECS.
 10.02 SIGNAGE.
 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
 10.04 GRAB BAR.
 10.05 COAT HOOK.</p> | <p>10.06 WASTE RECEPTACLE.
 10.07 FOLDING SHOWER SEAT.
 10.08 SHOWER ROD.
 10.09 SHELF.
 10.10 NETTING, NIC
 10.11 FIRE EXTINGUISHER, RECESSED CABINET
 10.12 TOILET SEAT COVER DISPENSER.
 10.13 PAPER TOWEL DISPENSER.
 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS
 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
 12.02 DASHBOARD. NIC.
 12.03 BENCH. NIC.</p> | <p>12.04 BLEACHERS, NIC.
 12.05 SCOREBOARD, NIC.
 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION
 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION
 21.01 FIRE EXTINGUISHER.
 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
 21.03 FIRE SPRINKLER VALVE ASSEMBLY
 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p> | <p>22.01 WATER CLOSET PER PLUMBING LEGEND
 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND
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|---|--|--|--|---|--|--|--|--|

REVISION DATES (DESIGN STAGE ONLY)

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ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE S. MOORE
 C 21812
 REN 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 DEPARTMENT OF PUBLIC WORKS

VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

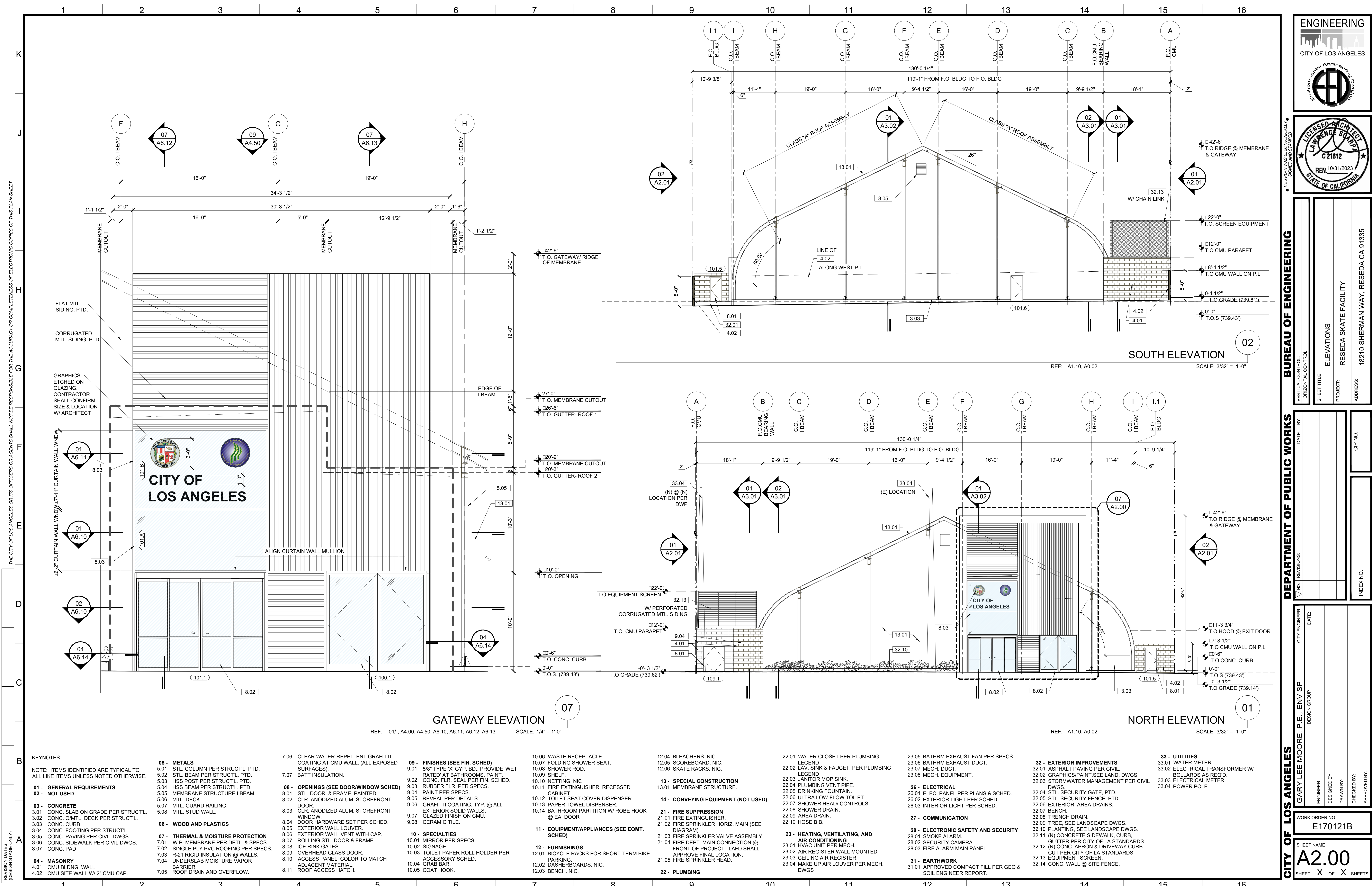
SHEET TITLE: ROOF PLAN
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP: _____

ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A1.20
 SHEET X OF X SHEETS



THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

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NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- 01 - GENERAL REQUIREMENTS**
 - 02 - NOT USED**
 - 03 - CONCRETE**
 - 04 - MASONRY**
 - 05 - METALS**
 - 06 - WOOD AND PLASTICS**
 - 07 - THERMAL & MOISTURE PROTECTION**
 - 08 - OPENINGS (SEE DOOR/WINDOW SCHED)**
 - 09 - FINISHES (SEE FIN. SCHED)**
 - 10 - SPECIALTIES**
 - 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)**
 - 12 - FURNISHINGS**
 - 13 - SPECIAL CONSTRUCTION**
 - 14 - CONVEYING (NOT USED)**
 - 21 - FIRE SUPPRESSION**
 - 22 - PLUMBING**
 - 23 - HEATING, VENTILATING, AND AIR-CONDITIONING**
 - 26 - ELECTRICAL**
 - 27 - COMMUNICATION**
 - 28 - ELECTRONIC SAFETY AND SECURITY**
 - 31 - EARTHWORK**
 - 32 - EXTERIOR IMPROVEMENTS**
 - 33 - UTILITIES**

REVISION DATES (DESIGN STAGE ONLY)
Sheet Version 4.0

- 2.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).
- 2.07 BATT INSULATION.
- 2.08 WASTE RECEPTACLE.
- 2.09 FOLDING SHOWER SEAT.
- 2.10 SHOWER ROD.
- 2.11 TOILET SEAT COVER DISPENSER.
- 2.12 PAPER TOWEL DISPENSER.
- 2.13 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR.
- 2.14 BLEACHERS, NIC.
- 2.15 SCOREBOARD, NIC.
- 2.16 SKATE RACKS, NIC.
- 2.17 WATER CLOSET PER PLUMBING LEGEND.
- 2.18 LAV. SINK & FAUCET. PER PLUMBING LEGEND.
- 2.19 JANITOR MOP SINK.
- 2.20 PLUMBING VENT PIPE.
- 2.21 DRINKING FOUNTAIN.
- 2.22 ULTRA LOW-FLOW TOILET.
- 2.23 SHOWER HEAD/ CONTROLS.
- 2.24 SHOWER DRAIN.
- 2.25 AREA DRAIN.
- 2.26 HOSE BIB.
- 2.27 BATHRM EXHAUST FAN PER SPECS.
- 2.28 BATHRM EXHAUST DUCT.
- 2.29 MECH. DUCT.
- 2.30 MECH. EQUIPMENT.
- 2.31 ELEC. PANEL PER PLANS & SCHED.
- 2.32 EXTERIOR LIGHT PER SCHED.
- 2.33 INTERIOR LIGHT PER SCHED.
- 2.34 TRENCH DRAIN.
- 2.35 TREE. SEE LANDSCAPE DWGS.
- 2.36 PLANTING. SEE LANDSCAPE DWGS.
- 2.37 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS.
- 2.38 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
- 2.39 EQUIPMENT SCREEN.
- 2.40 CONC. WALL @ SITE FENCE.
- 2.41 WATER METER.
- 2.42 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
- 2.43 ELECTRICAL METER.
- 2.44 POWER POLE.

REVISION DATES (DESIGN STAGE ONLY)
Sheet Version 4.0

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

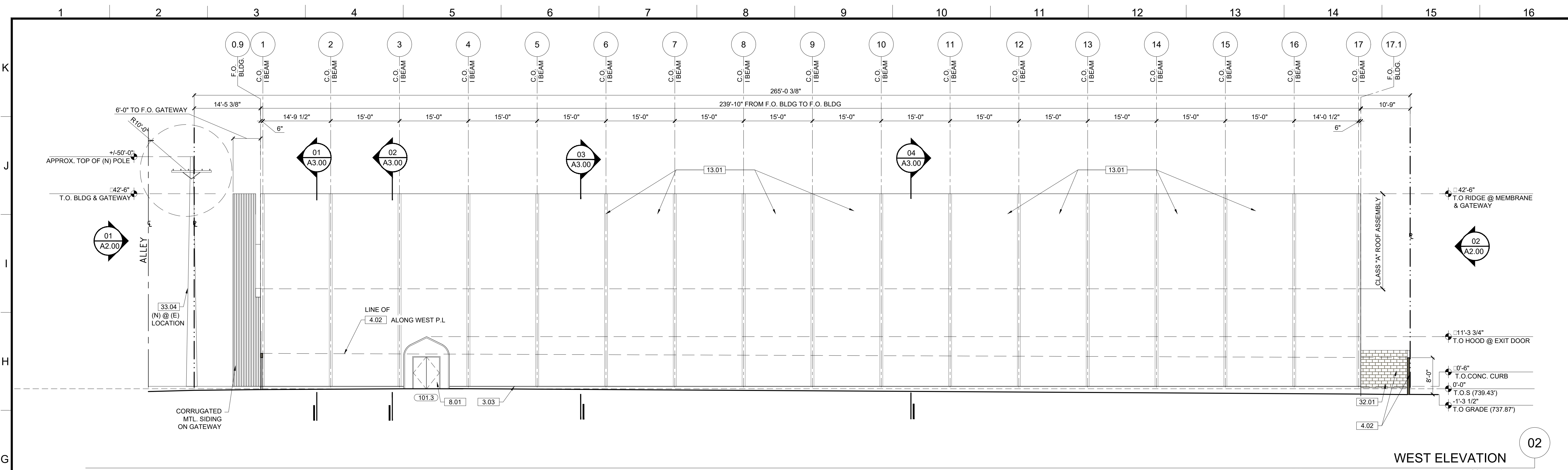
ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

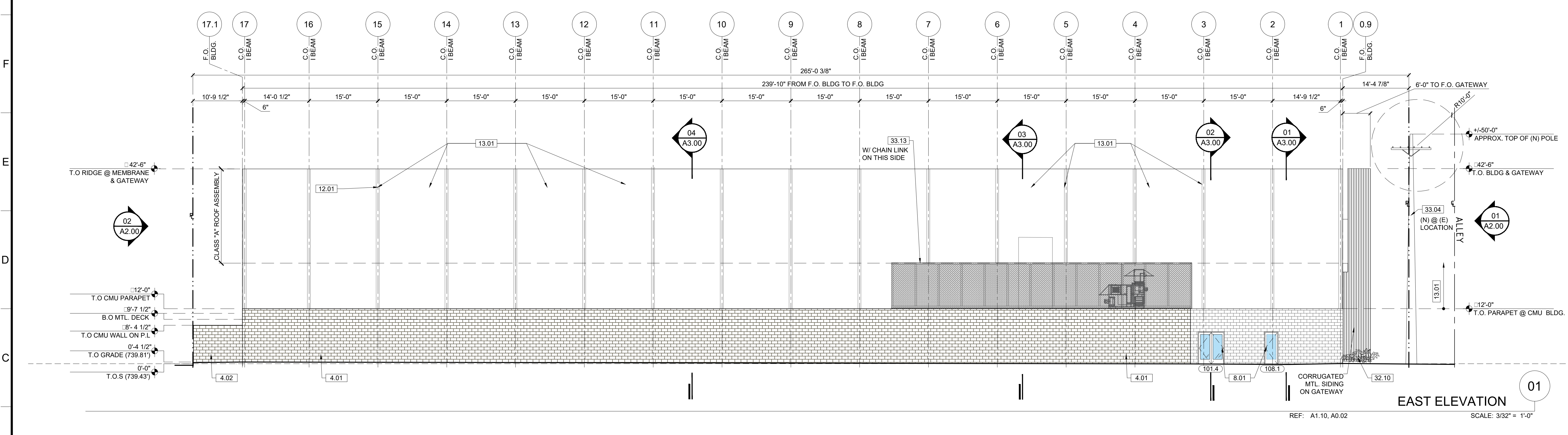
SHEET NAME: **A2.00**
SHEET X OF X SHEETS

SHEET TITLE: ELEVATIONS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DATE: _____
BY: _____
NO. REVISIONS: _____
CIP NO. _____
INDEX NO. _____



WEST ELEVATION
REF: A1.10, A0.02
SCALE: 3/32" = 1'-0"



EAST ELEVATION
REF: A1.10, A0.02
SCALE: 3/32" = 1'-0"

KEYNOTES
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ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING
VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE: ELEVATIONS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
DATE: BY:
NO. REVISIONS:

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

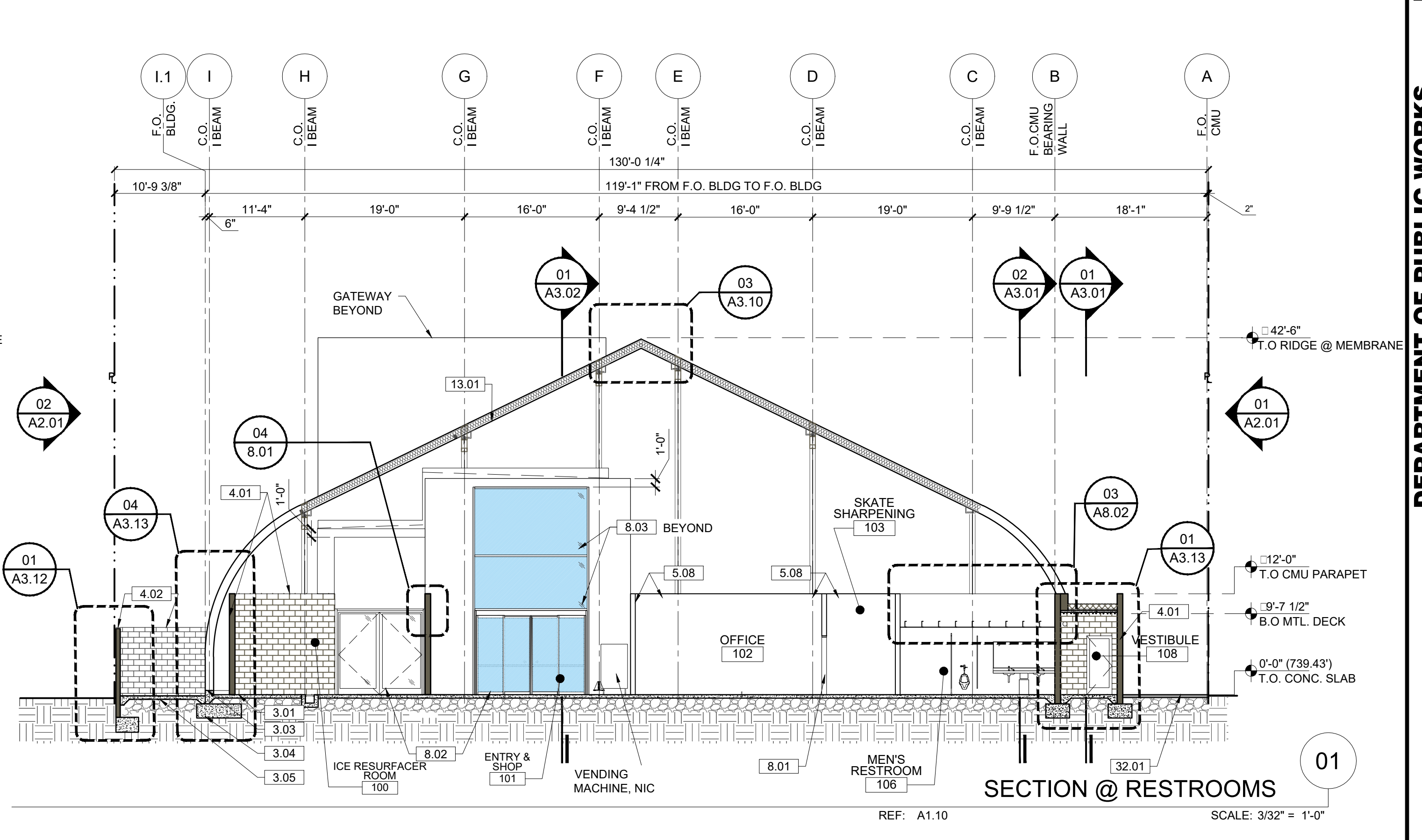
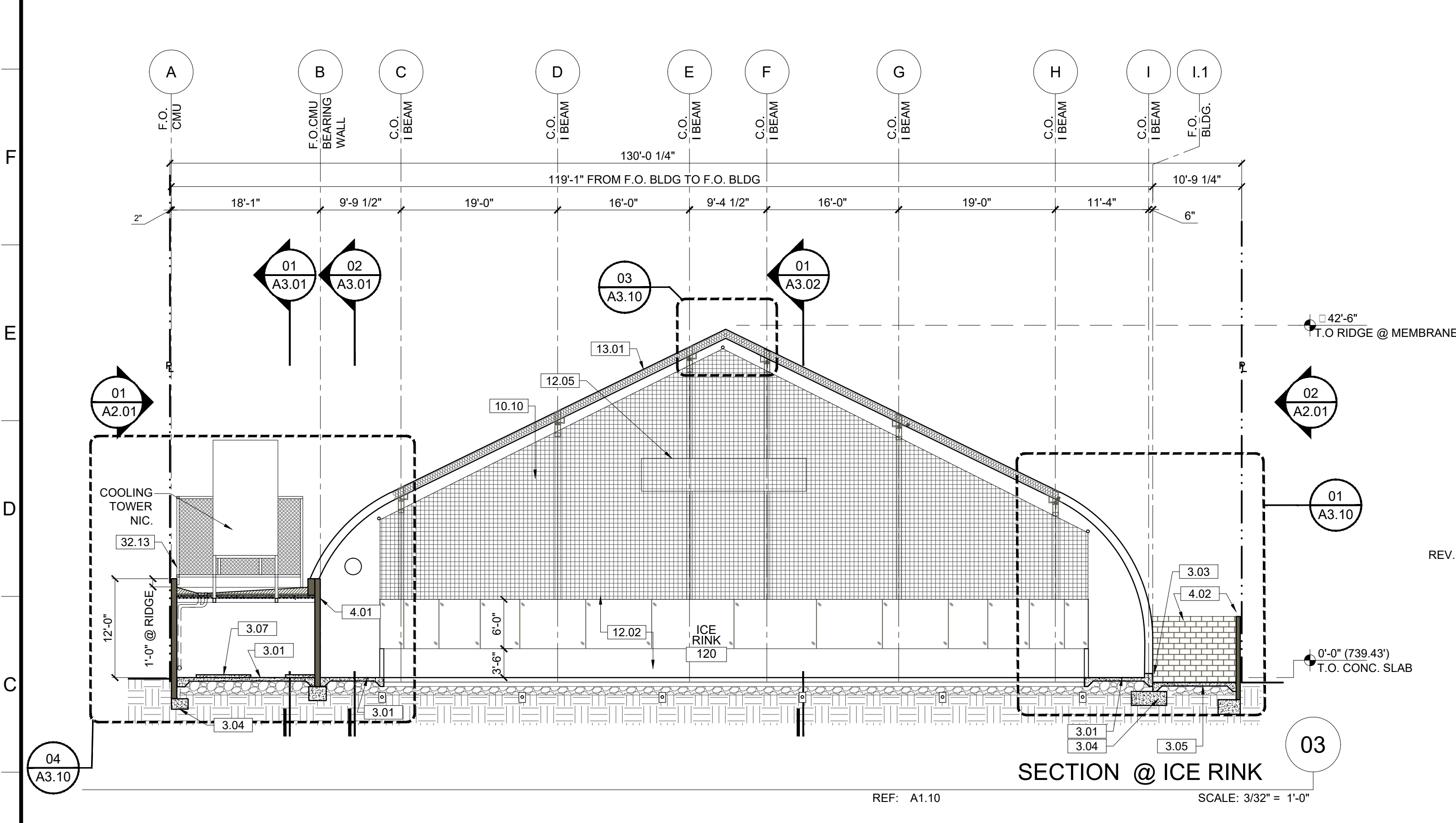
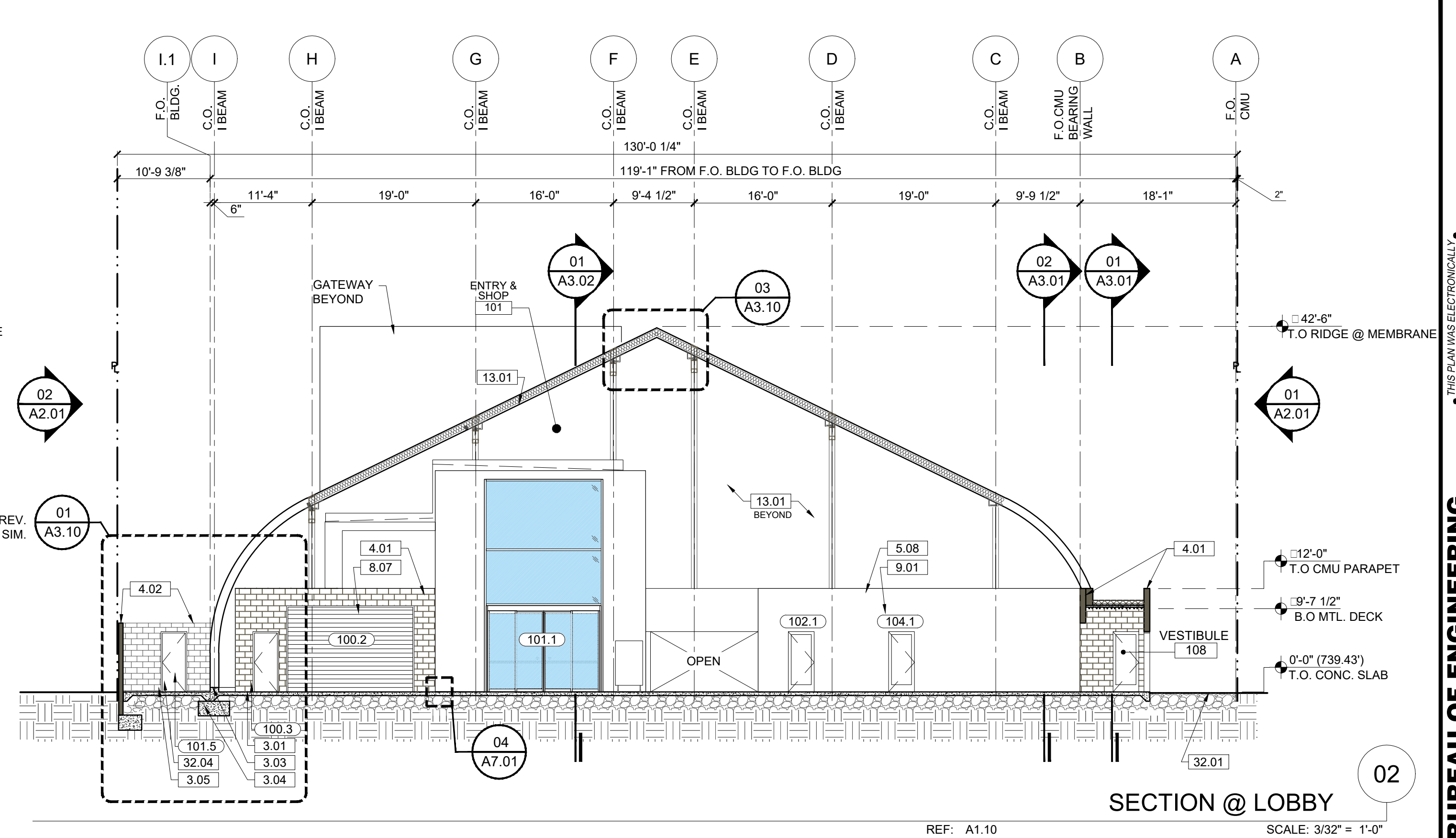
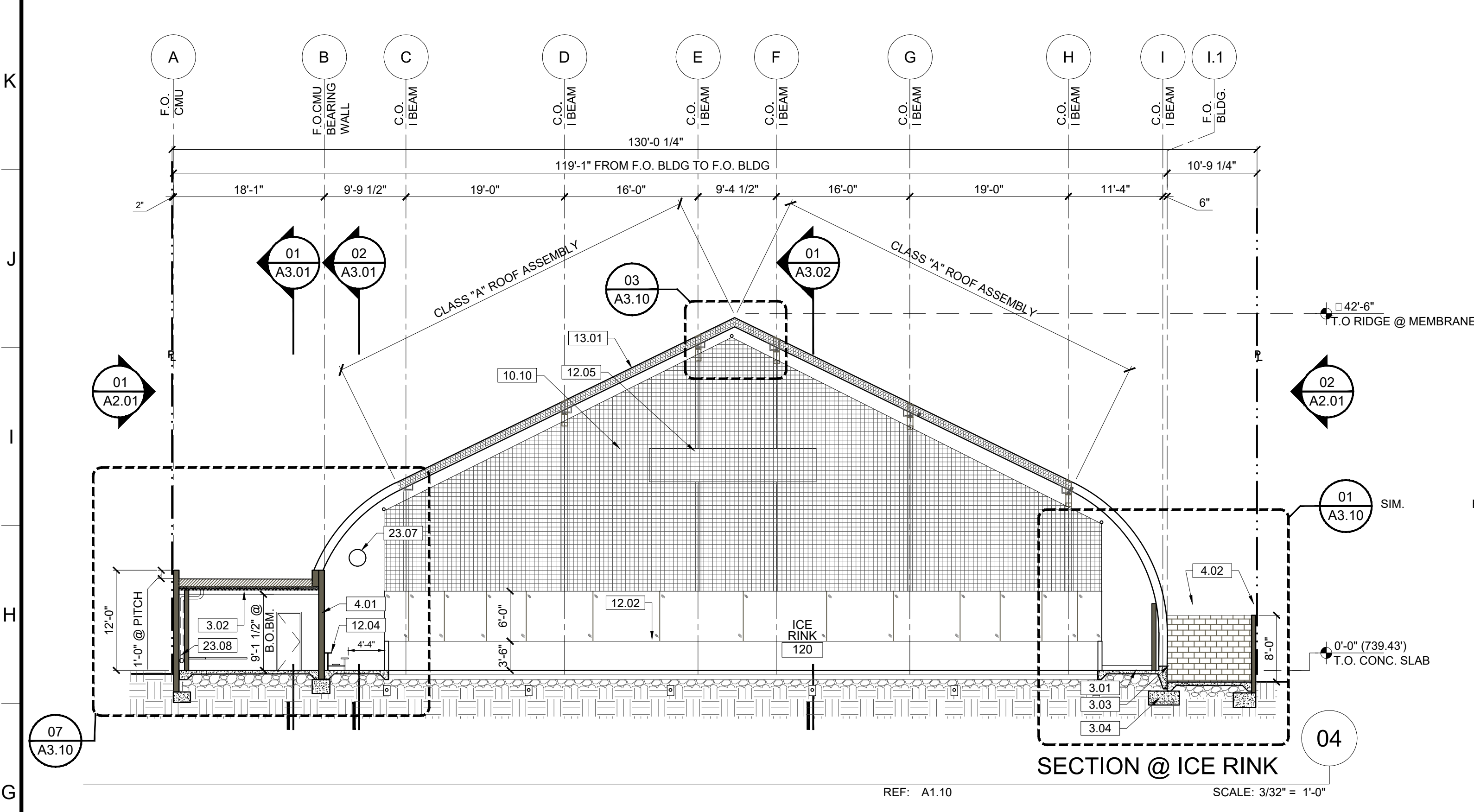
WORK ORDER NO. E170121B

SHEET NAME: A2.01
SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)

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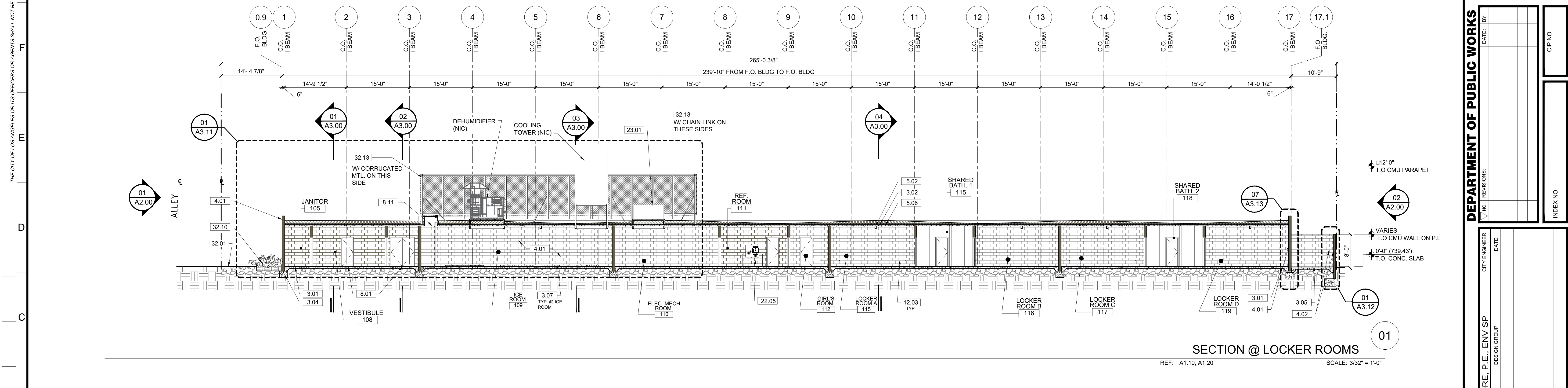
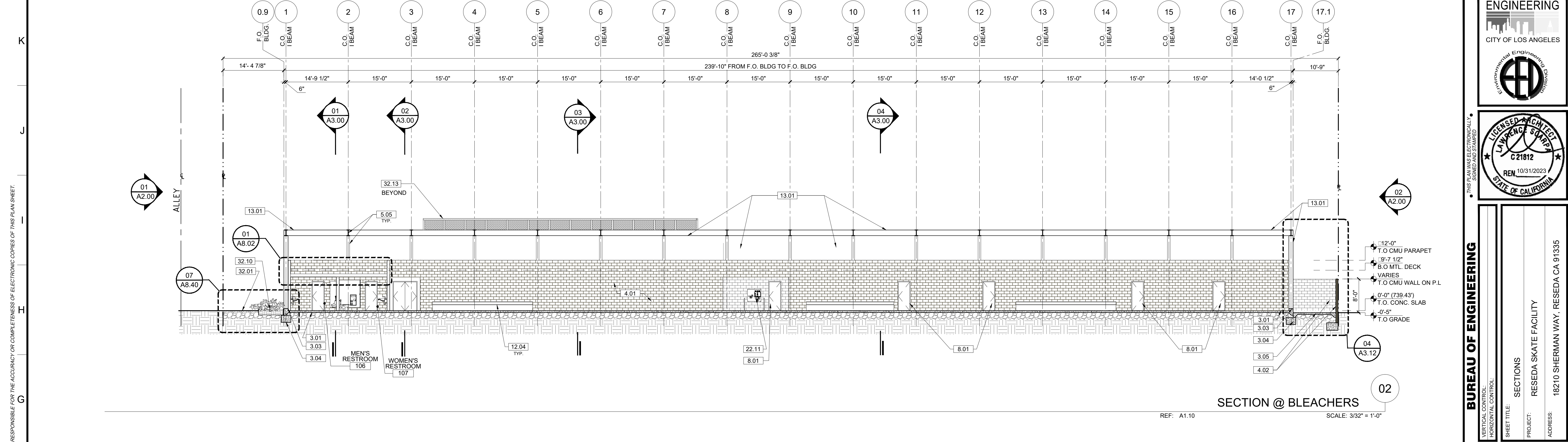
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ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division
 LICENSED ARCHITECT
 LAWRENCE S. MOORE
 C 21812
 REN 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 VERTICAL CONTROL: HORIZONTAL CONTROL: SHEET TITLE: SECTIONS PROJECT: RESEDA SKATE FACILITY ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
 DATE: BY: INDEX NO. CIP NO.

CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
 ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:
 WORK ORDER NO. E170121B
 SHEET NAME: A3.00 SHEET X OF X SHEETS



<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS 6.01 W.P. MEMBRANE PER DETL. & SPECS. 6.02 SINGLE PLY PVC ROOFING PER SPECS. 6.03 OVERHEAD GLASS DOOR. 6.04 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 6.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 CLR. HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES. 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT. CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.05 GLAZED FINISH ON CMU. 9.06 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED) 11.01 MIRROR PER SPECS. 11.02 DASHBOARD, NIC. 11.03 BENCH, NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT. SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

RESEDA SKATE FACILITY

18210 SHERMAN WAY, RESEDA CA 91335

SECTION: RESEDA SKATE FACILITY

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

CIP NO.

INDEX NO.

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP

DESIGN GROUP

WORK ORDER NO. E170121B

SHEET NAME: A3.01

SHEET X OF X SHEETS

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ENGINEERING
CITY OF LOS ANGELES

LICENSED ARCHITECT
LAWRENCE SOMPA
C21812
REN. 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: SECTIONS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE: _____ BY: _____

NO. REVISIONS: _____

CIP NO. _____

INDEX NO. _____

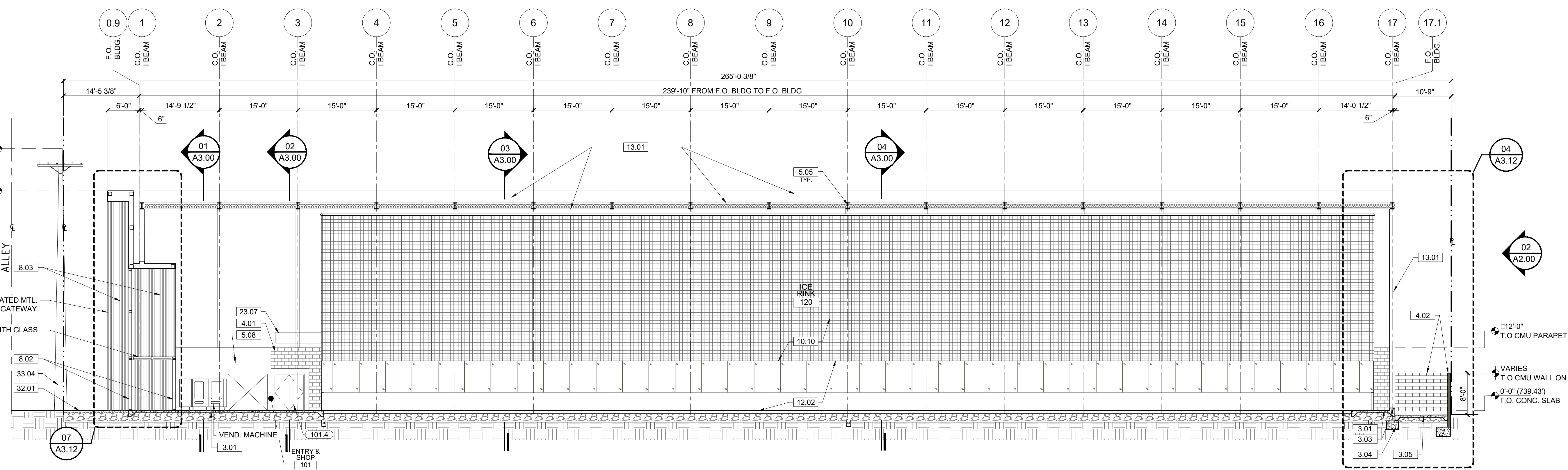
CITY OF LOS ANGELES

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: **A3.02**
SHEET X OF X SHEETS



SECTION @ RIDGE
REF: A1.10, A1.20
SCALE: 3/32" = 1'-0"

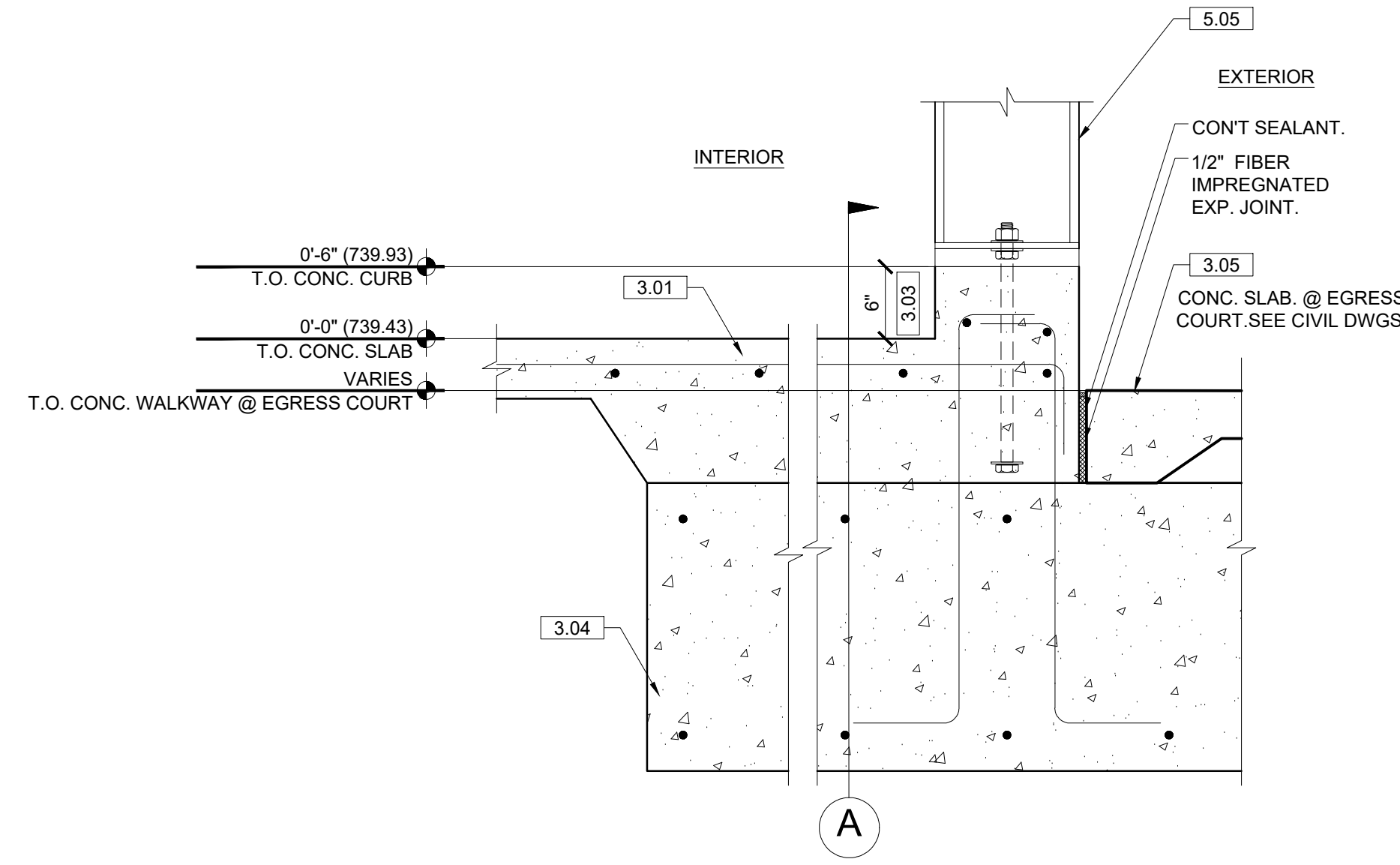
KEYNOTES
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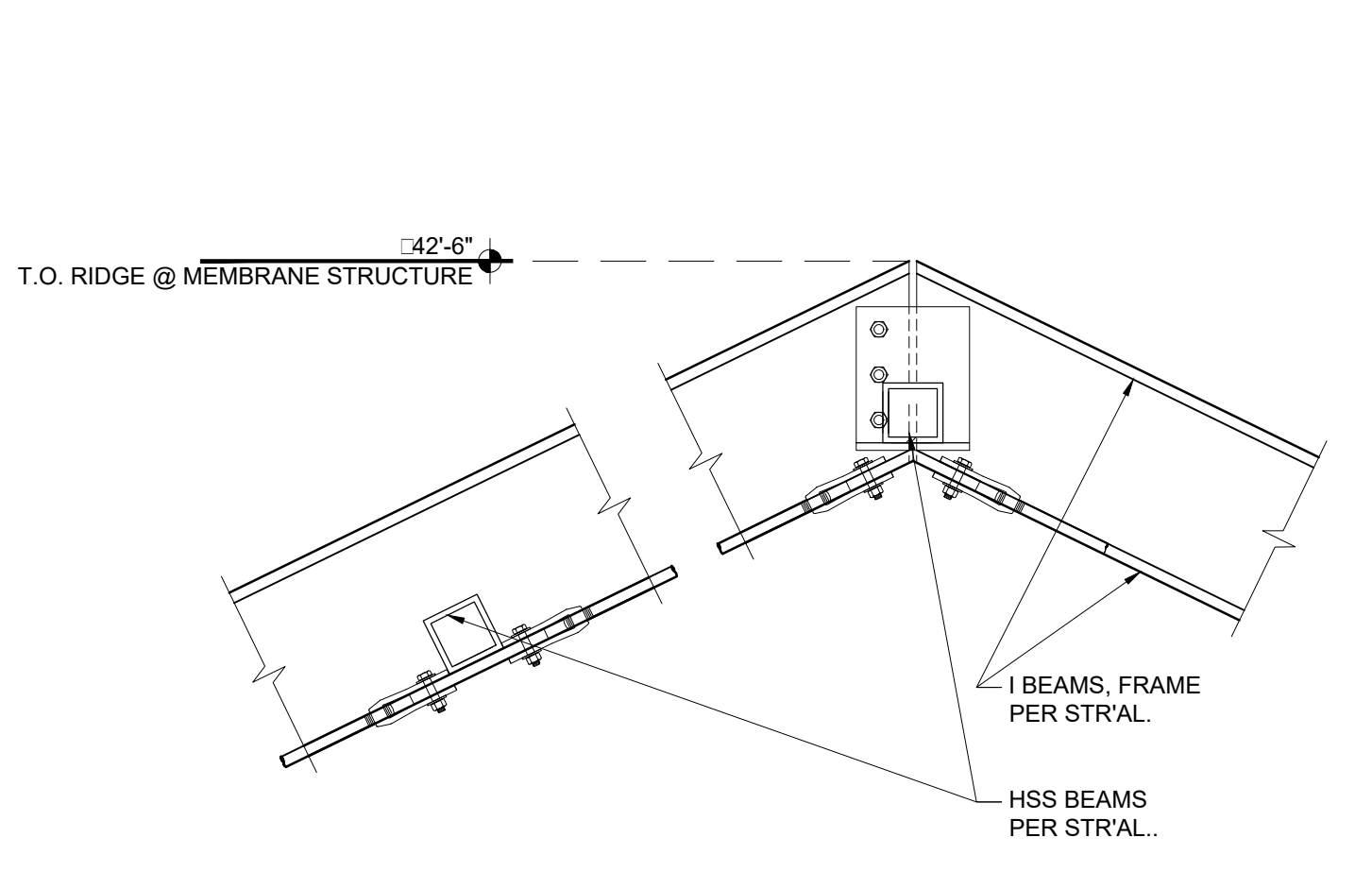
REVISION DATES (DESIGN STAGE ONLY)

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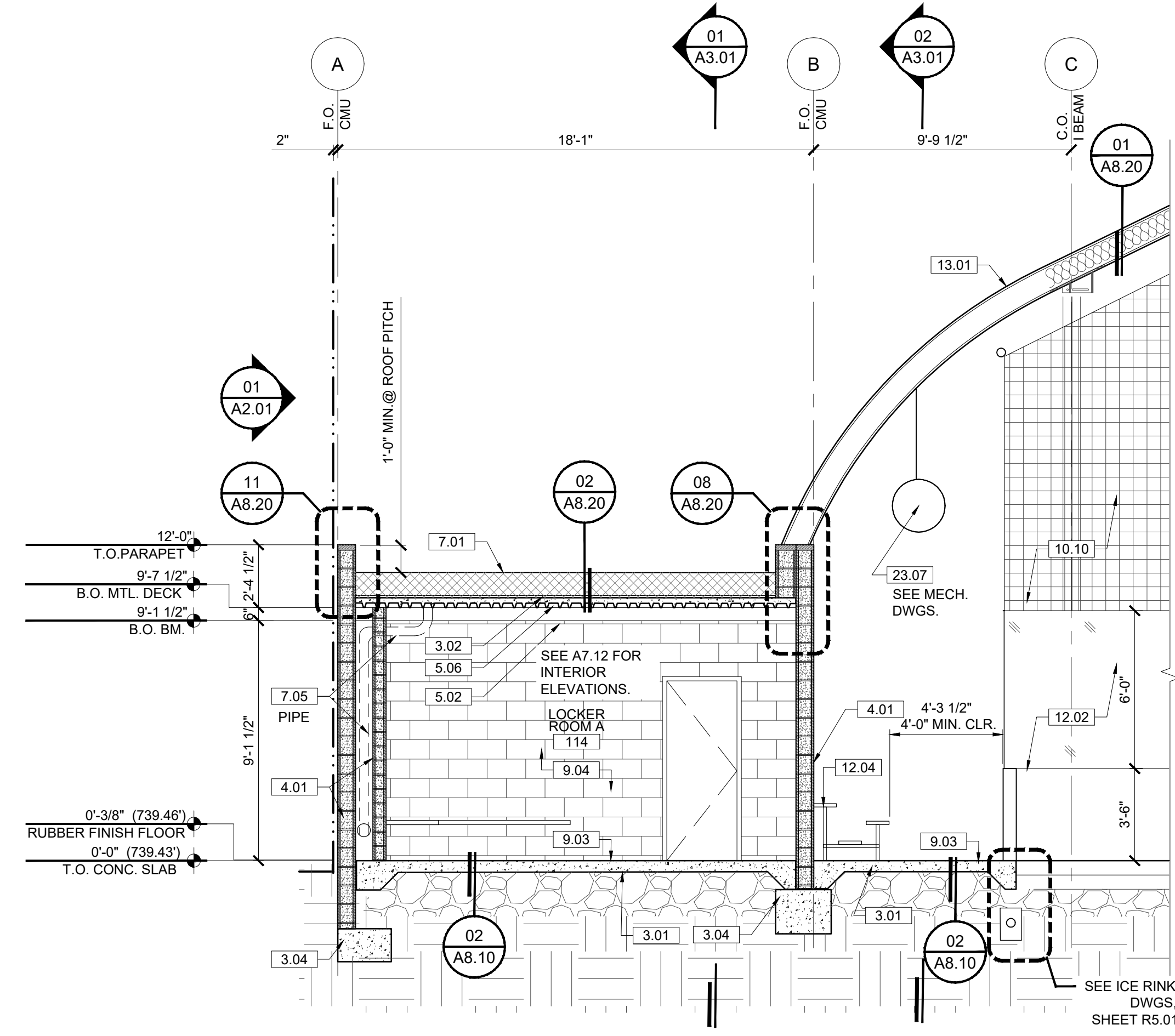
CITY OF LOS ANGELES



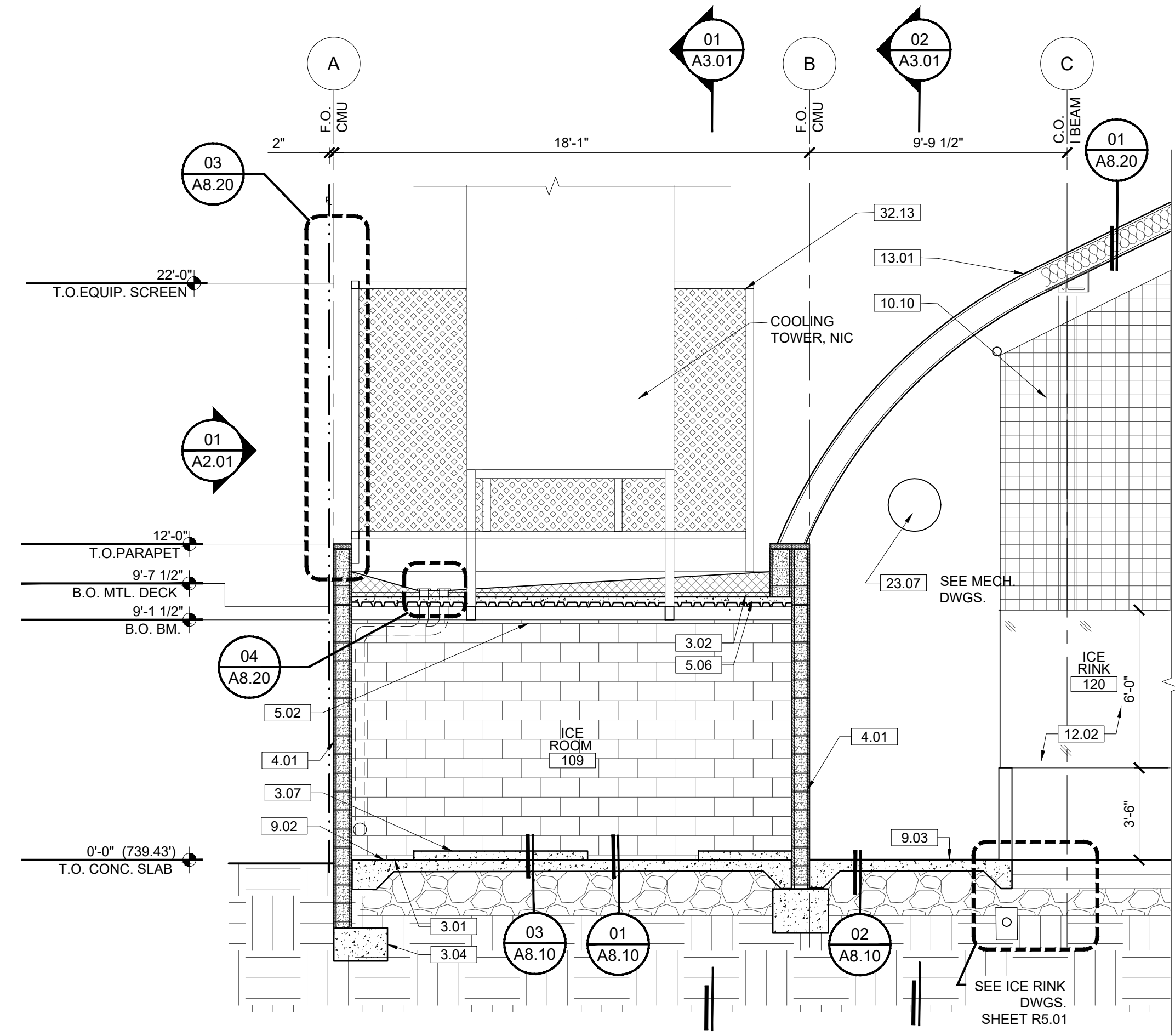
I BEAM CONNECTION TO CONC. CURB
 REF: 01/ A3.10, STRUCTURAL DWGS SCALE: 1" = 1'-0"



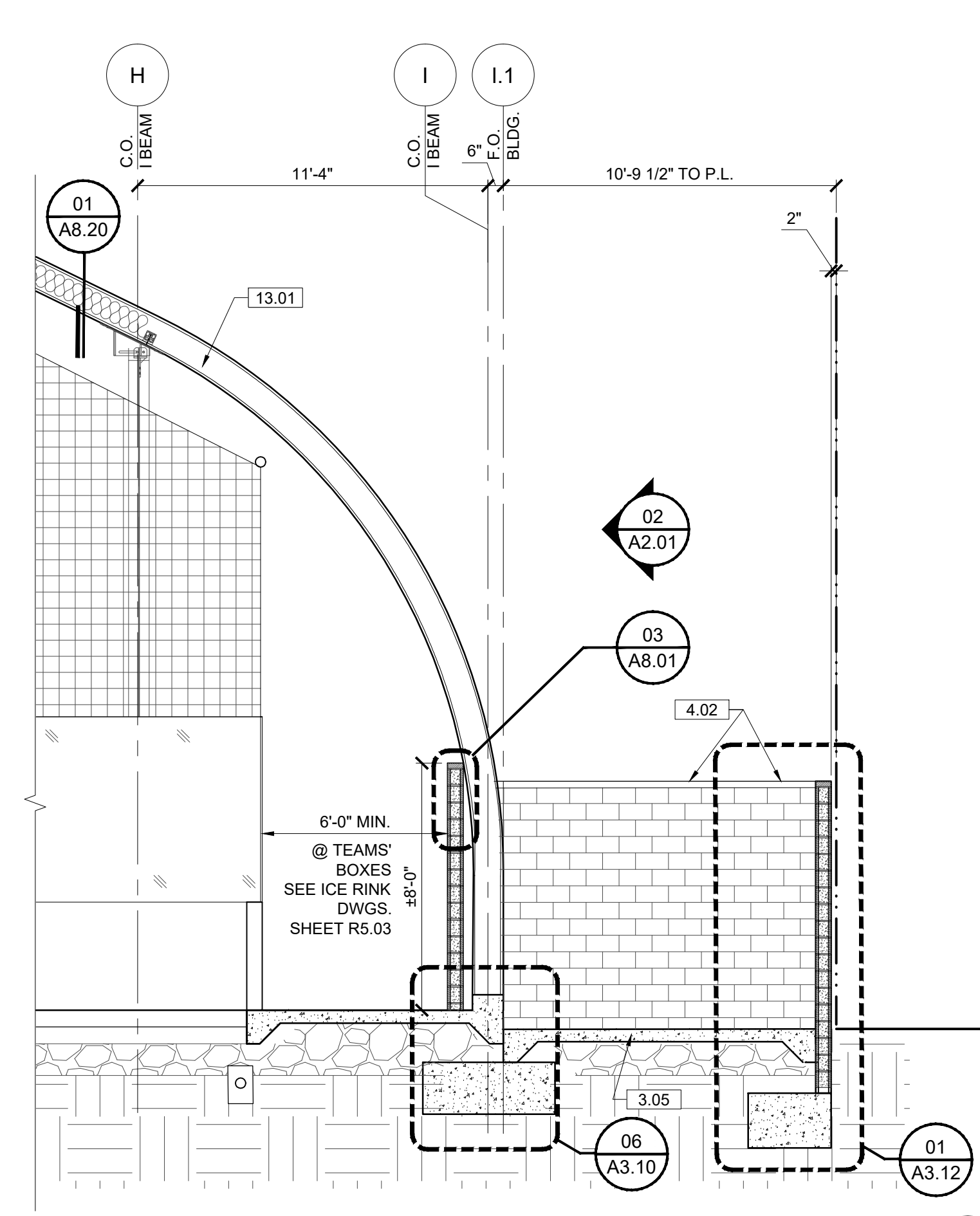
DETAIL @ MEMBRANE RIDGE
 REF: A3.10, STRUCTURAL DWGS SCALE: 1" = 1'-0"



ENLARGED SECTION @ LOCKER ROOM
 REF: A3.10 SCALE: 1/4" = 1'-0"



ENLARGED SECTION @ REF. ROOM
 REF: A3.10 SCALE: 1/4" = 1'-0"



ENLARGED SECTION @ EGRESS COURT
 REF: A3.10 SCALE: 1/4" = 1'-0"

<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS 07 - THERMAL & MOISTURE PROTECTION 7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR, & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT. 9.02 CONC. FLR. SEAL PER FIN. SCHED. 9.03 RUBBER FLR. PER SPECS. 9.04 PAINT PER SPECS. 9.05 REVEAL PER DETAILS. 9.06 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.07 GLAZED FINISH ON CMU. 9.08 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD, NIC. 12.03 BENCH, NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV, SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
 CITY OF LOS ANGELES

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED

BUREAU OF ENGINEERING

VERTICAL CONTROL: HORIZONTAL CONTROL:

SHEET TITLE: ENLARGED SECTIONS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

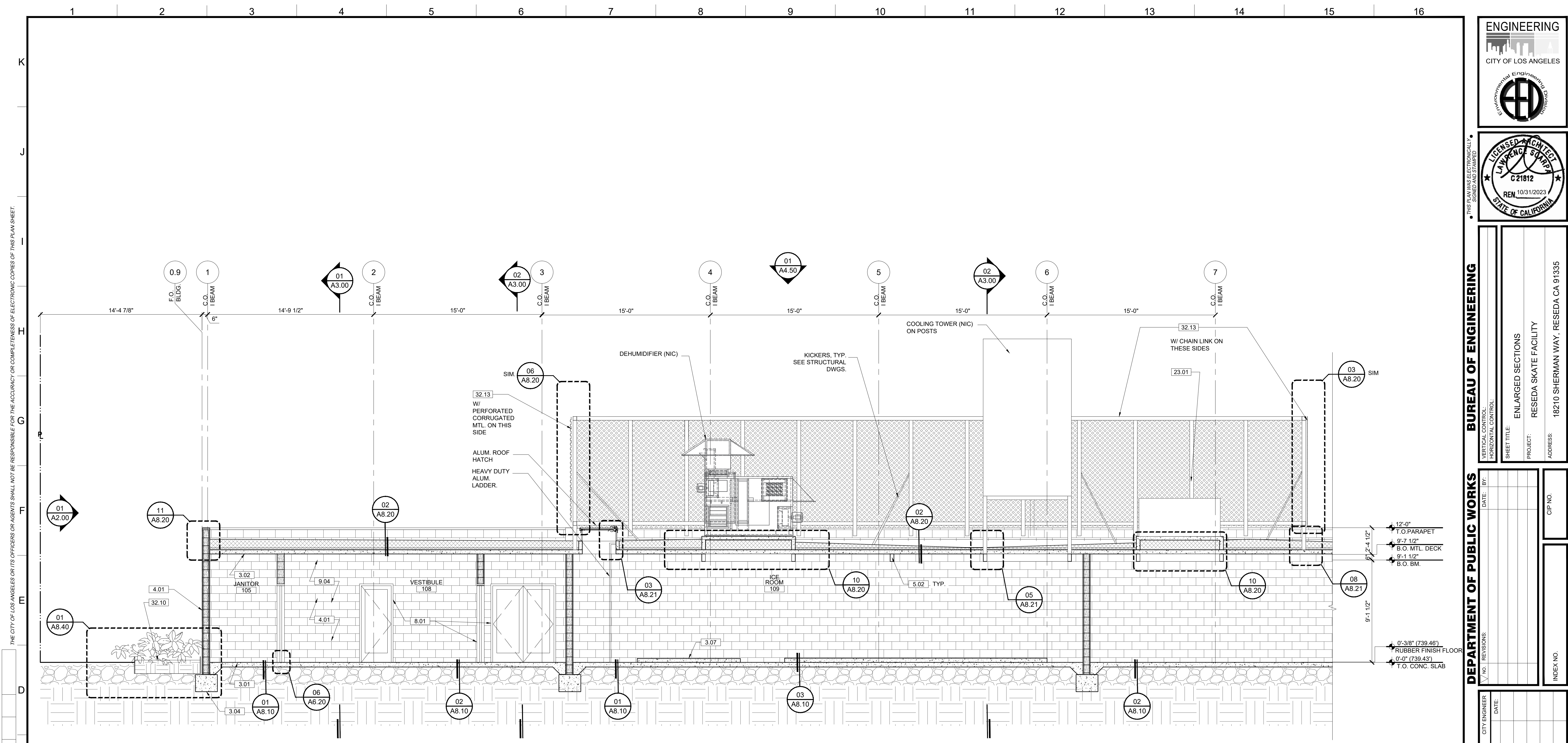
DEPARTMENT OF PUBLIC WORKS

DATE: _____ BY: _____
 NO. REVISIONS: _____

CITY ENGINEER: _____ DATE: _____
 DESIGN GROUP: _____

ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B
 SHEET NAME: **A3.10**
 SHEET X OF X SHEETS



ENLARGED SECTION @ MECHANICAL ROOF
 REF: A3.01, A4.50
 SCALE: 1/4" = 1'-0"

- KEYNOTES**
 NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | | |
|--|--|--|--|---|--|--|--|---|--|
| <p>01 - GENERAL REQUIREMENTS
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 3.01 CONC. SLAB ON GRADE PER STRUCT'L.
 3.02 CONC. O/MTL. DECK PER STRUCT'L.
 3.03 CONC. CURB
 3.04 CONC. FOOTING PER STRUCT'L.
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 4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
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 5.06 MTL. DECK.
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 8.06 EXTERIOR WALL VENT WITH CAP.
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 33.04 POWER POLE.</p> |
|--|--|--|--|---|--|--|--|---|--|

REVISION DATES (DESIGN STAGE ONLY)

ENGINEERING
 CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

CITY ENGINEER
 DATE: _____

ENGINEER
 DESIGNED BY: _____

DRAWN BY: _____

CHECKED BY: _____

APPROVED BY: _____

WORK ORDER NO.
E170121B

SHEET NAME
A3.11

SHEET X OF X SHEETS

VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

SHEET TITLE:
 ENLARGED SECTIONS

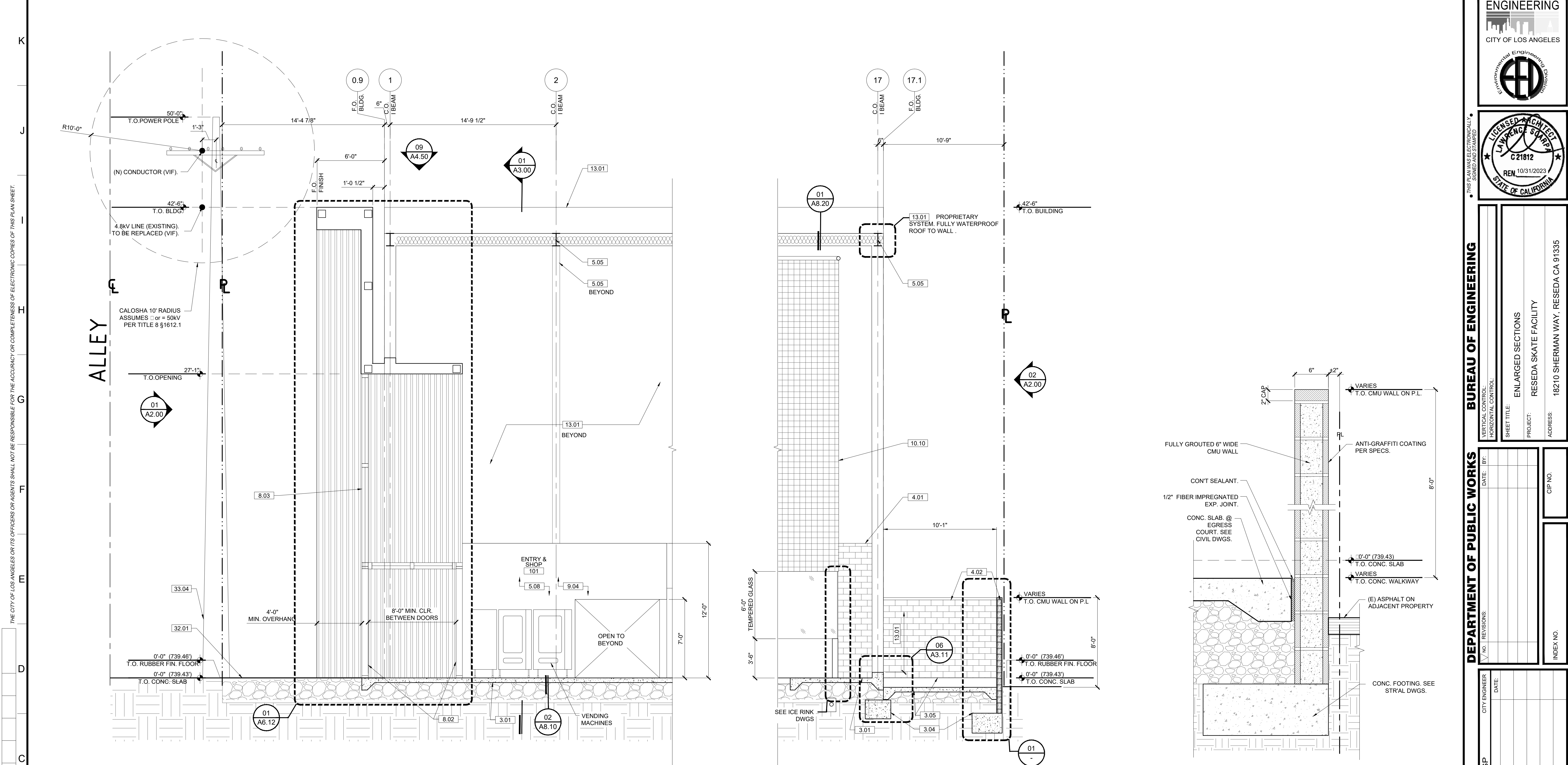
PROJECT:
 RESEDA SKATE FACILITY

ADDRESS:
 18210 SHERMAN WAY, RESEDA CA 91335

CIP NO. _____
 INDEX NO. _____

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED

RENEWAL DATE: 10/31/2023
 LICENSE NO. C21812
 STATE OF CALIFORNIA



ENLARGED SECTION @ GATEWAY
 REF: A3.02 SCALE: 1/4" = 1'-0"

ENLARGED SECTION @ EGRESS COURT
 REF: A3.02 SCALE: 1/4" = 1'-0"

TYP. CMU WALL ON P.L.
 REF: 04/ SCALE: 1 1/2" = 1'-0"

<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION 7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT, CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 REVEAL PER DETAILS. 9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.07 GLAZED FINISH ON CMU. 9.08 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD, NIC. 12.03 BENCH, NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET, PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p> <p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
 CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
 DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:

DATE: _____

NO. REVISIONS: _____

DATE: _____

BY: _____

INDEX NO. _____

CIP NO. _____

WORK ORDER NO. E170121B

SHEET NAME: **A3.12**
 SHEET X OF X SHEETS

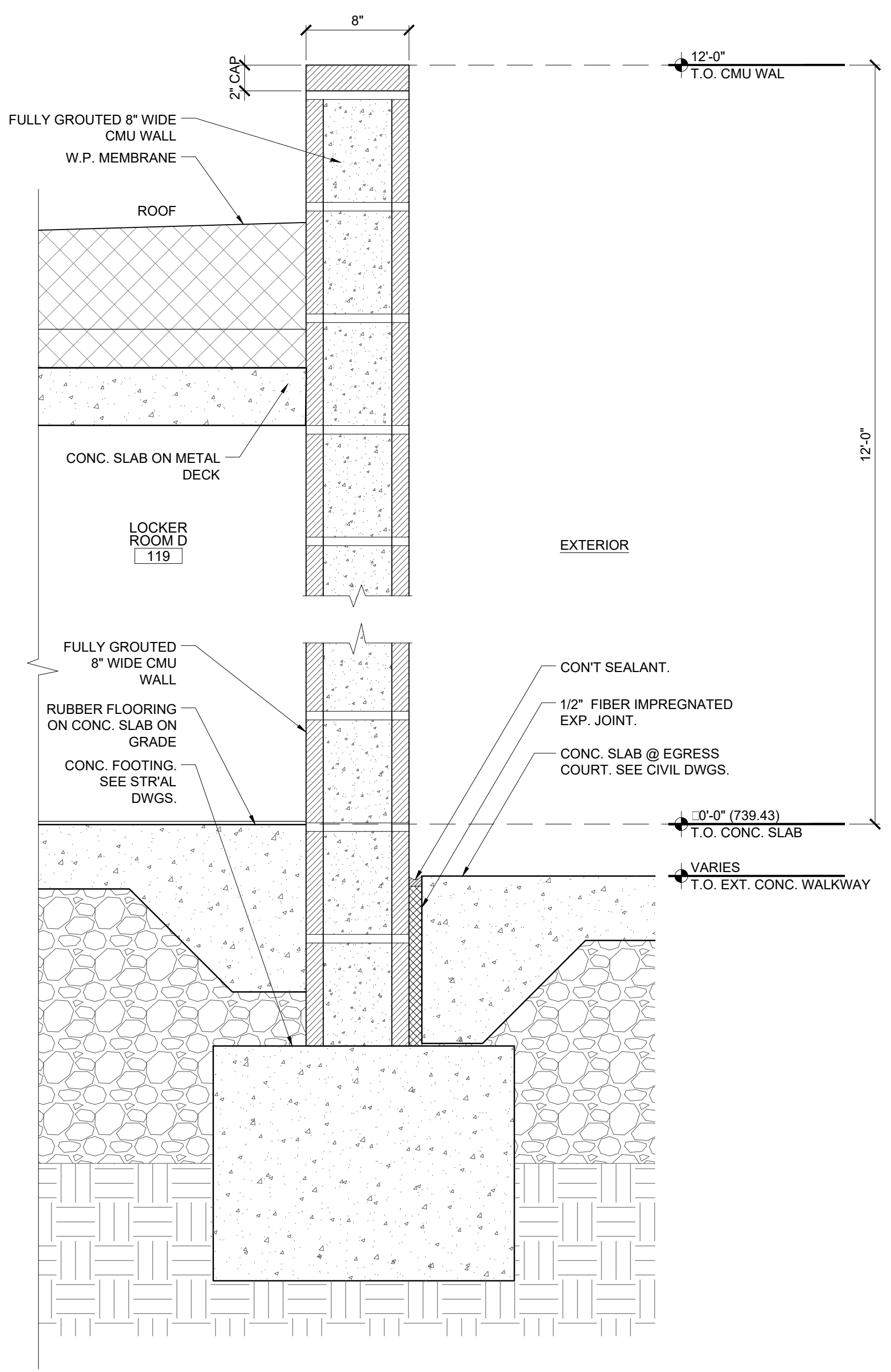
PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

STATE OF CALIFORNIA
 LICENSED ARCHITECT
 LAWRENCE S. MOORE
 C 21812
 REN. 10/31/2023

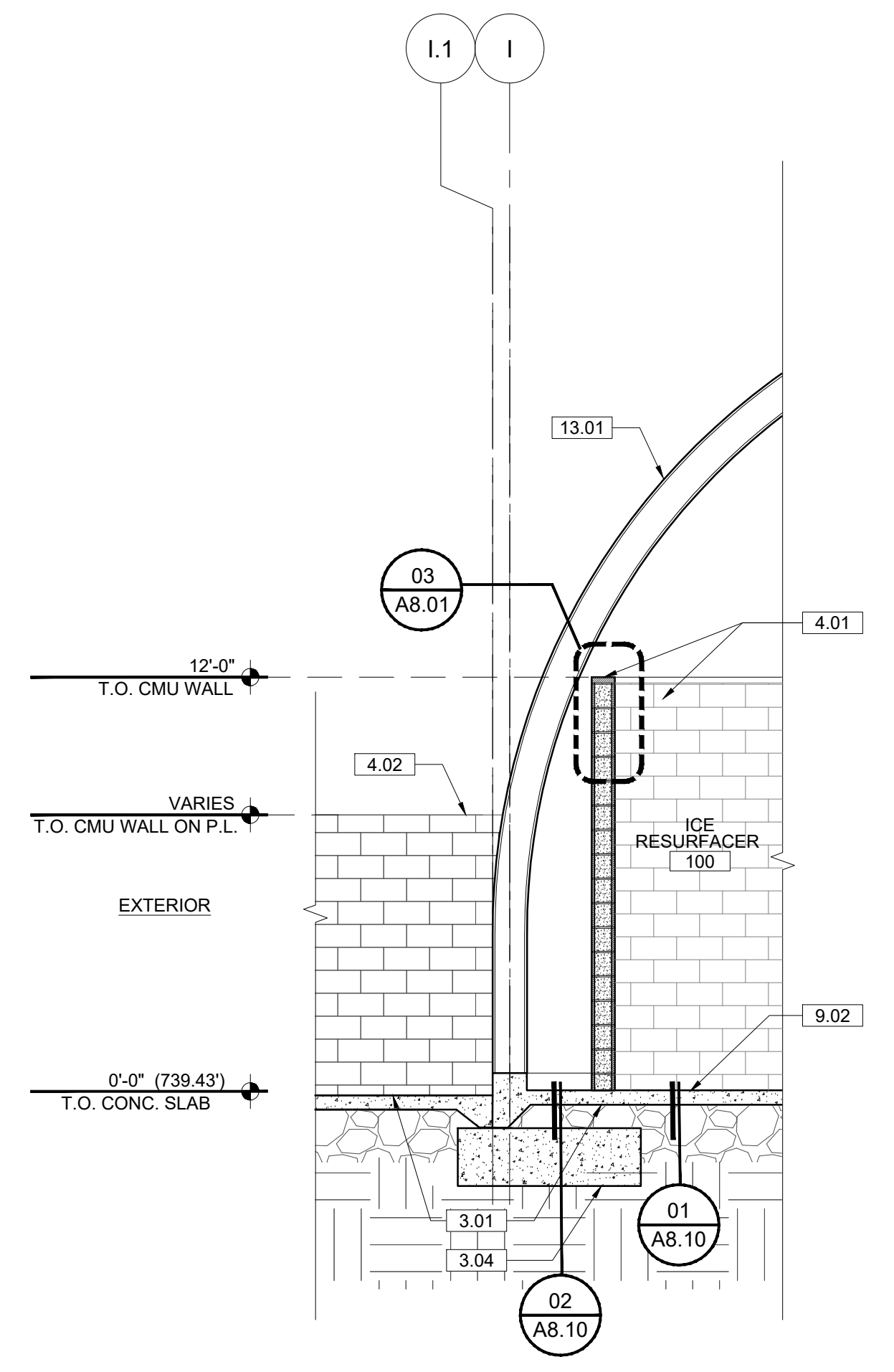
THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

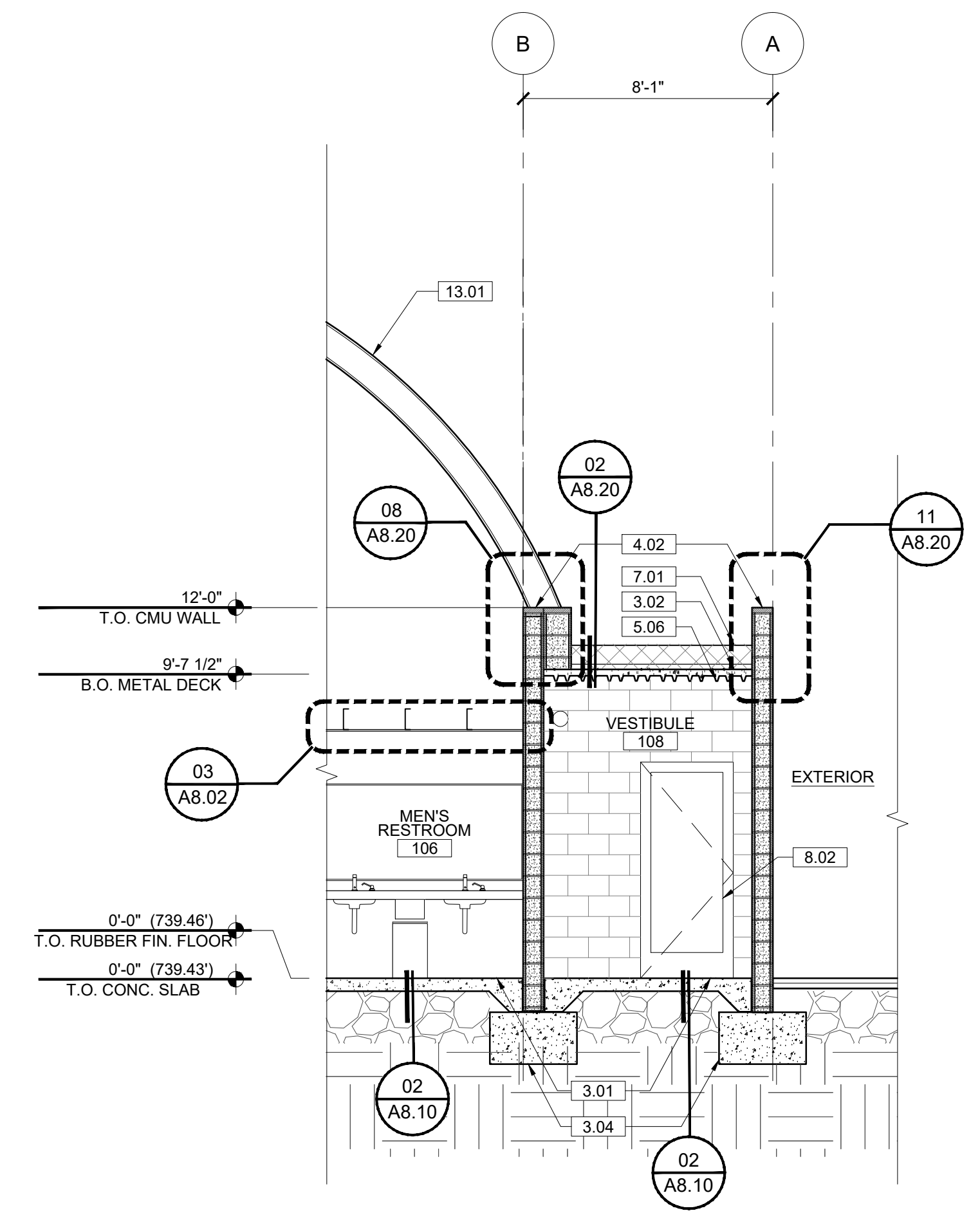
K
J
I
H
G
F
E
D
C
B
A



ENLARGED SECTION @ EXTERIOR CMU WALL
REF: 01/A3.01 SCALE: 1-1/2"=1'-0"



ENLARGED SECTION @ ICE RESURFACER ROOM
REF: 01/A3.00 SCALE: 1/4"=1'-0"



ENLARGED SECTION @ VESTIBULE
REF: 01/A3.00 SCALE: 1/4"=1'-0"

- KEYNOTES**
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5.08 MTL. STUD WALL.
- 06 - WOOD AND PLASTICS**
- 07 - THERMAL & MOISTURE PROTECTION**
7.01 W.P. MEMBRANE PER DETL. & SPECS.
7.02 SINGLE PLY PVC ROOFING PER SPECS.
7.03 R-21 RIGID INSULATION @ WALLS.
7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
7.05 ROOF DRAIN AND OVERFLOW.

- 7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).
7.07 BATT INSULATION.
- 08 - OPENINGS (SEE DOOR/WINDOW SCHED)**
8.01 STL. DOOR & FRAME, PAINTED.
8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
8.04 CLR. HARDWARE SET PER SCHED.
8.05 EXTERIOR WALL LOUVER.
8.06 EXTERIOR WALL VENT WITH CAP.
8.07 ROLLING STL. DOOR & FRAME.
8.08 ICE RINK GATES.
8.09 OVERHEAD GLASS DOOR.
8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
8.11 ROOF ACCESS HATCH.

- 09 - FINISHES (SEE FIN. SCHED)**
9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT.
9.02 CONC. FLR. SEAL PER FIN. SCHED.
9.03 RUBBER FLR. PER SPECS.
9.04 PAINT PER SPECS.
9.05 REVEAL PER DETAILS.
9.06 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
9.07 GLAZED FINISH ON CMU.
9.08 CERAMIC TILE.
- 10 - SPECIALTIES**
10.01 MIRROR PER SPECS.
10.02 SIGNAGE.
10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
10.04 GRAB BAR.
10.05 COAT HOOK.

- 10.06 WASTE RECEPTACLE.
10.07 FOLDING SHOWER SEAT.
10.08 SHOWER ROD.
10.09 SHELF.
10.10 NETTING, NIC
10.11 FIRE EXTINGUISHER, RECESSED CABINET
10.12 TOILET SEAT COVER DISPENSER.
10.13 PAPER TOWEL DISPENSER.
10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR
- 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)**
- 12 - FURNISHINGS**
12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
12.02 DASHBOARD, NIC.
12.03 BENCH, NIC.

- 12.04 BLEACHERS, NIC.
12.05 SCOREBOARD, NIC.
12.06 SKATE RACKS, NIC.
- 13 - SPECIAL CONSTRUCTION**
13.01 MEMBRANE STRUCTURE.
- 14 - CONVEYING EQUIPMENT (NOT USED)**
- 21 - FIRE SUPPRESSION**
21.01 FIRE EXTINGUISHER.
21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
21.03 FIRE SPRINKLER VALVE ASSEMBLY
21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
21.05 FIRE SPRINKLER HEAD.
- 22 - PLUMBING**

- 22.01 WATER CLOSET PER PLUMBING LEGEND
22.02 LAV. SINK & FAUCET, PER PLUMBING LEGEND
22.03 JANITOR MOP SINK.
22.04 PLUMBING VENT PIPE.
22.05 DRINKING FOUNTAIN.
22.06 ULTRA LOW-FLOW TOILET.
22.07 SHOWER HEAD/ CONTROLS.
22.08 SHOWER DRAIN.
22.09 AREA DRAIN.
22.10 HOSE BIB.
- 23 - HEATING, VENTILATING, AND AIR-CONDITIONING**
23.01 HVAC UNIT PER MECH.
23.02 AIR REGISTER WALL MOUNTED.
23.03 CEILING AIR REGISTER.
23.04 MAKE UP AIR LOUVER PER MECH. DWGS

- 23.05 BATHRM EXHAUST FAN PER SPECS.
23.06 BATHRM EXHAUST DUCT.
23.07 MECH. DUCT.
23.08 MECH. EQUIPMENT.
- 26 - ELECTRICAL**
26.01 ELEC. PANEL PER PLANS & SCHED.
26.02 EXTERIOR LIGHT PER SCHED.
26.03 INTERIOR LIGHT PER SCHED.
- 27 - COMMUNICATION**
- 28 - ELECTRONIC SAFETY AND SECURITY**
28.01 SMOKE ALARM.
28.02 SECURITY CAMERA.
28.03 FIRE ALARM MAIN PANEL.
- 31 - EARTHWORK**
31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.

- 32 - EXTERIOR IMPROVEMENTS**
32.01 ASPHALT PAVING PER CIVIL.
32.02 GRAPHICS/PAINT.SEE LAND. DWGS.
32.03 STORMWATER MANAGEMENT PER CIVIL DWGS.
32.04 STL. SECURITY GATE, PTD.
32.05 STL. SECURITY FENCE, PTD.
32.06 EXTERIOR AREA DRAINS.
32.07 BENCH.
32.08 TRENCH DRAIN.
32.09 TREE, SEE LANDSCAPE DWGS.
32.10 PLANTING, SEE LANDSCAPE DWGS.
32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS.
32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
32.13 EQUIPMENT SCREEN.
32.14 CONC. WALL @ SITE FENCE.

- 33 - UTILITIES**
33.01 WATER METER.
33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
33.03 ELECTRICAL METER.
33.04 POWER POLE.

ENGINEERING
CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN. 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: ENLARGED SECTIONS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

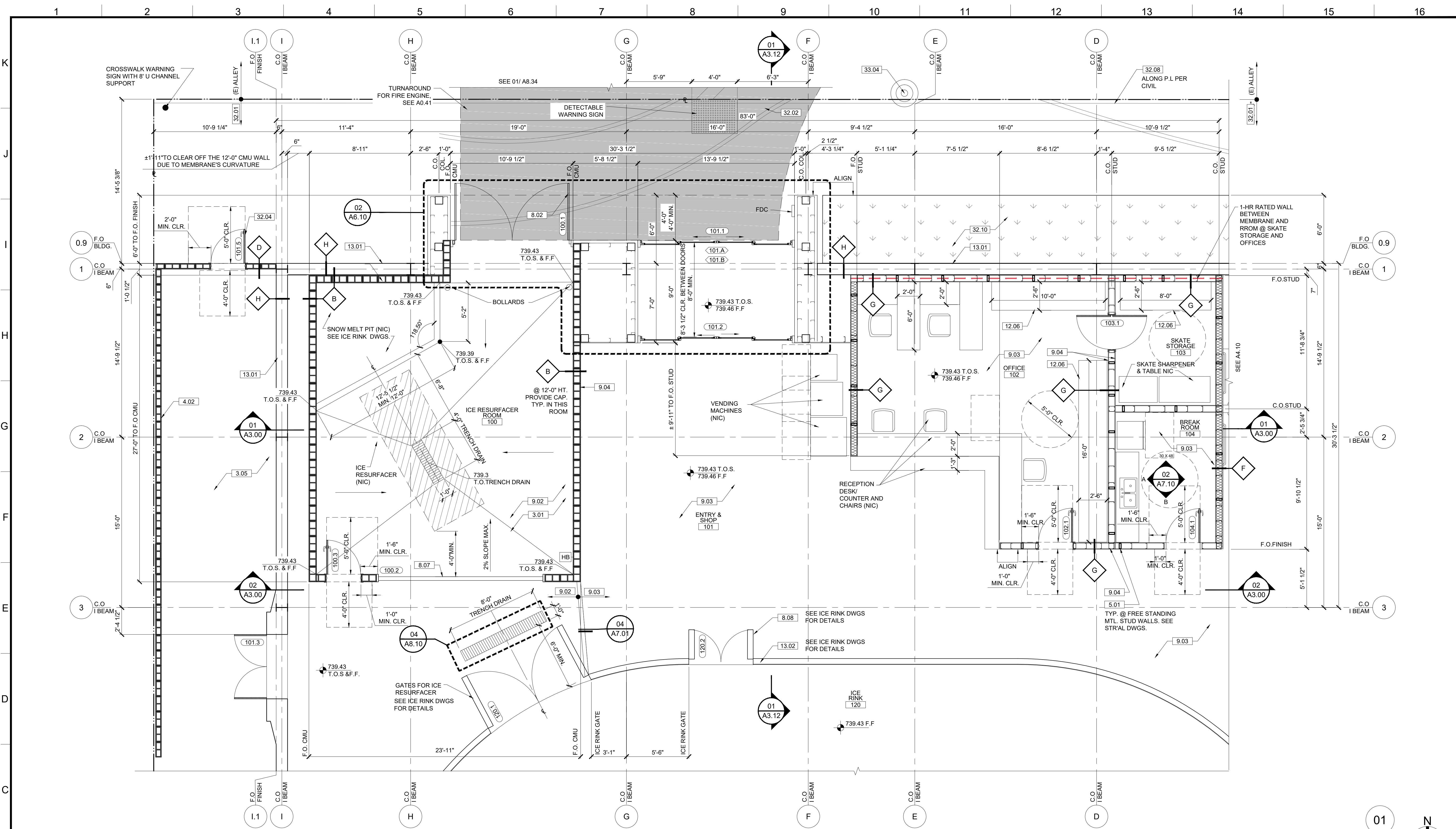
DATE: _____ BY: _____
NO. REVISIONS: _____

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: **A3.13**
SHEET X OF X SHEETS



ENLARGED PLAN
SCALE: 1/4" = 1'-0"

- KEYNOTES**
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | | |
|---|--|---|---|---|--|---|--|---|--|
| <p>01 - GENERAL REQUIREMENTS
02 - NOT USED</p> <p>03 - CONCRETE
3.01 CONC. SLAB ON GRADE PER STRUCT'L.
3.02 CONC. O/MTL. DECK PER STRUCT'L.
3.03 CONC. CURB
3.04 CONC. FOOTING PER STRUCT'L.
3.05 CONC. PAVING PER CIVIL DWGS.
3.06 CONC. SIDEWALK PER CIVIL DWGS.
3.07 CONC. PAD</p> <p>04 - MASONRY
4.01 CMU BLDNG. WALL
4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
5.01 STL. COLUMN PER STRUCT'L. PTD.
5.02 STL. BEAM PER STRUCT'L. PTD.
5.03 HSS POST PER STRUCT'L. PTD.
5.04 HSS BEAM PER STRUCT'L. PTD.
5.05 MEMBRANE STRUCTURE I BEAM.
5.06 MTL. DECK.
5.07 MTL. GUARD RAILING.
5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS
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|---|--|---|---|---|--|---|--|---|--|

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
APPROVED BY: []

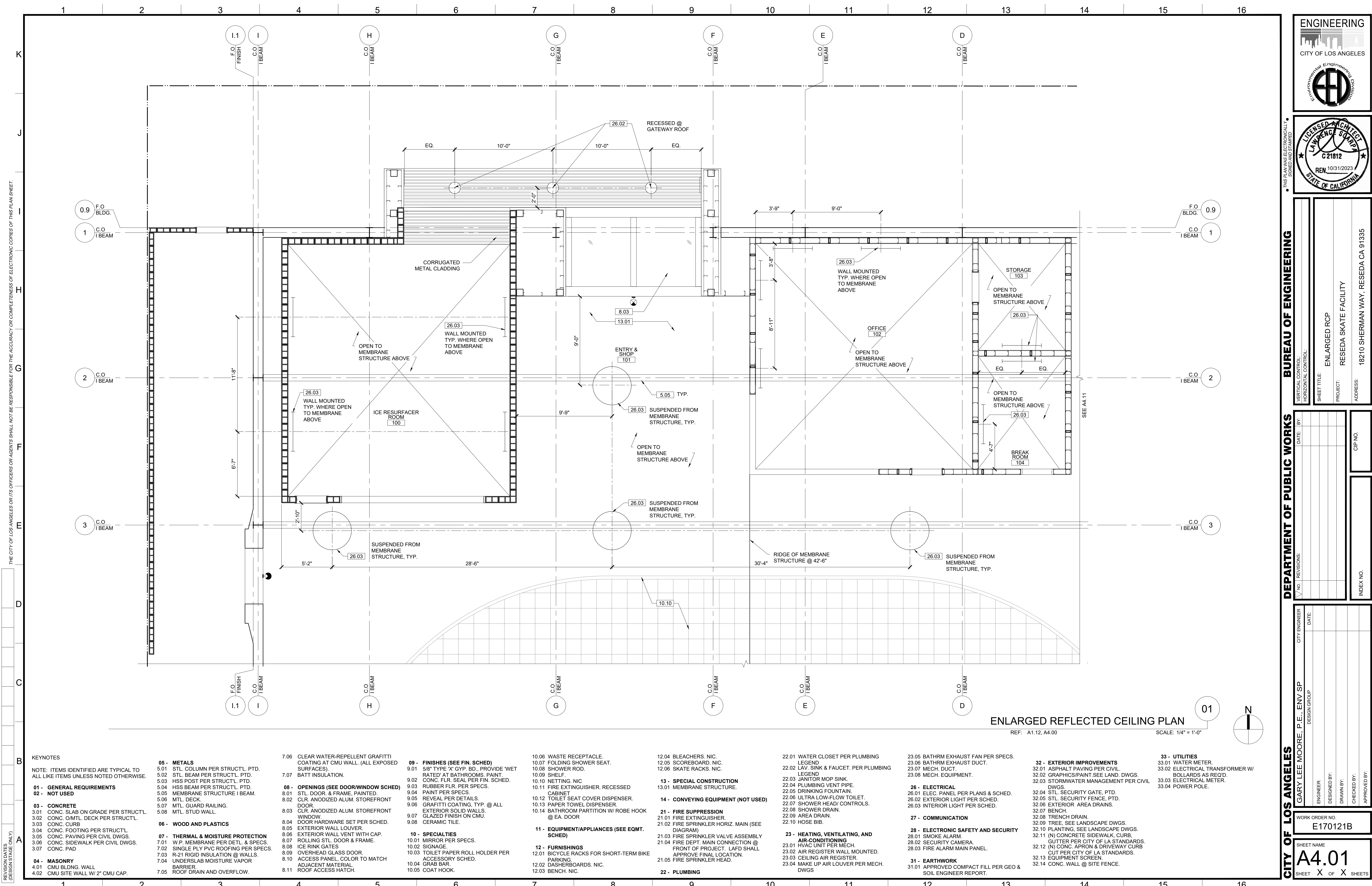
DATE: []
REVISIONS: []

VERTICAL CONTROL: []
HORIZONTAL CONTROL: []

SHEET TITLE: ENLARGED PLAN
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

WORK ORDER NO. E170121B
SHEET NAME: A4.00
SHEET X OF X SHEETS

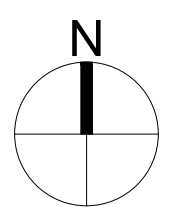
INDEX NO. []
CIP NO. []



THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

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 - 33.04 POWER POLE.

ENLARGED REFLECTED CEILING PLAN
REF: A1.12, A4.00 SCALE: 1/4" = 1'-0"

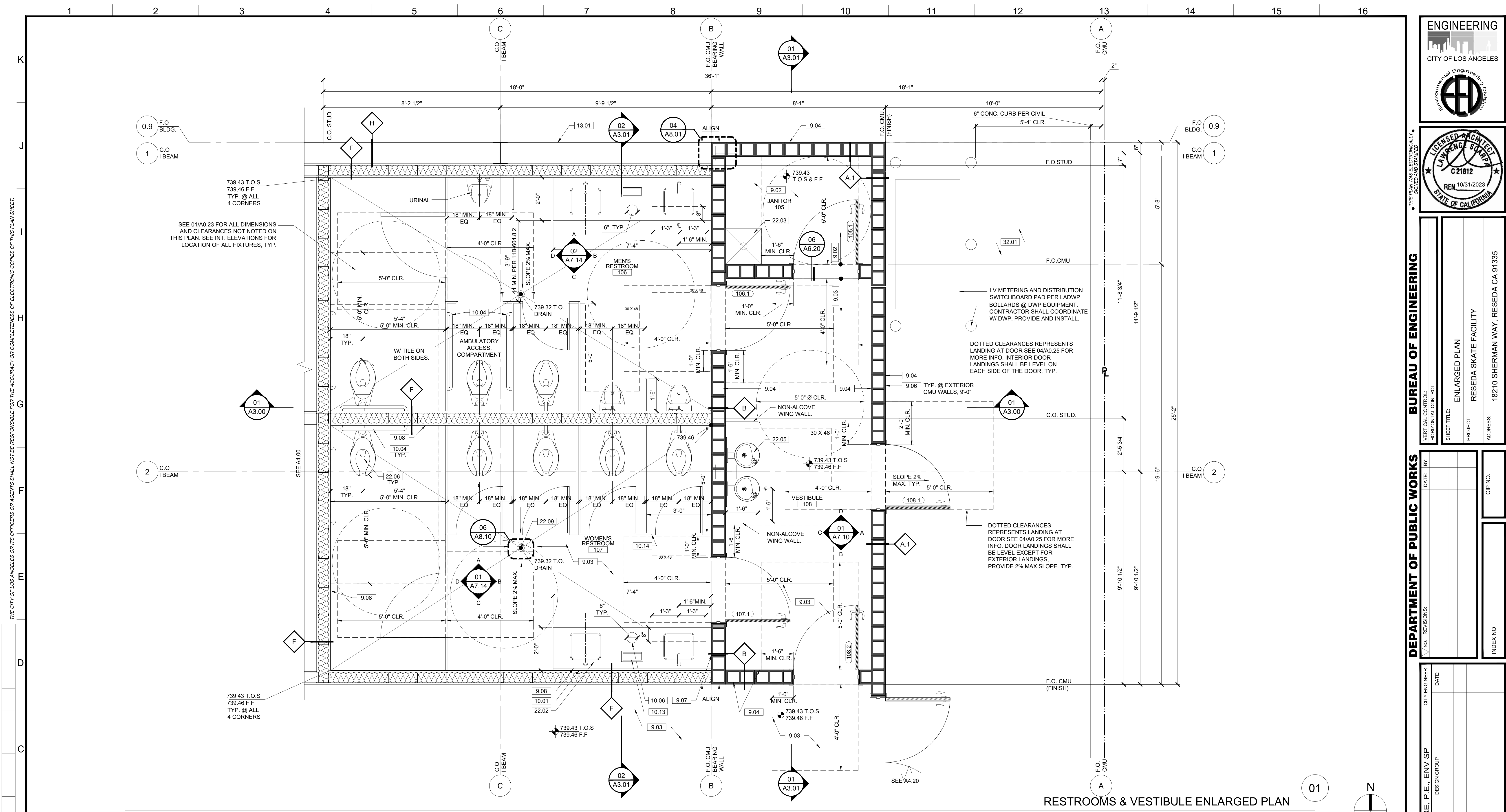


ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____
 SHEET TITLE: ENLARGED RCP
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DATE: _____ BY: _____
 REVISIONS: _____
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP: _____
 WORK ORDER NO. E170121B
 SHEET NAME: **A4.01**
 SHEET X OF X SHEETS



RESTROOMS & VESTIBULE ENLARGED PLAN

REF: A1.10, A1.10A, A1.11, A4.11, A7.10 SCALE: 1/2" = 1'-0"

<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION 7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES. 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS. PAINT. 9.02 CONC. FLR. SEAL PER FIN. SCHED. 9.03 RUBBER FLR. PER SPECS. 9.04 PAINT PER SPECS. 9.05 REVEAL PER DETAILS. 9.06 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.07 GLAZED FINISH ON CMU. 9.08 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER SHED. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET. 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD. NIC. 12.03 BENCH. NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p> <p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>
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CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

CITY ENGINEER: _____
DATE: _____

WORK ORDER NO. E170121B

SHEET NAME: A4.10
SHEET X OF X SHEETS

DEPARTMENT OF PUBLIC WORKS

DATE: _____ BY: _____

REVISIONS: _____

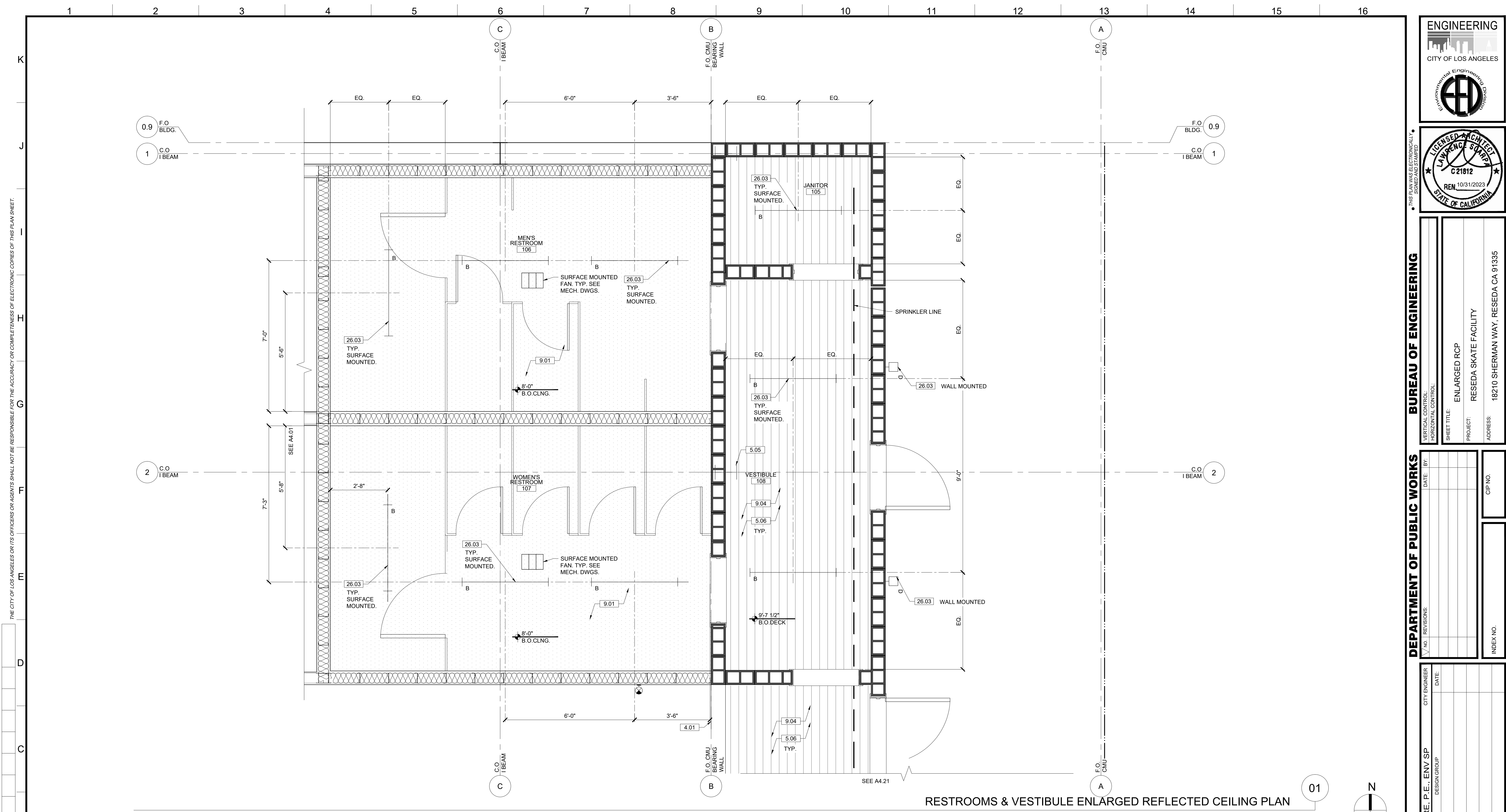
INDEX NO. _____

CIP NO. _____

BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: ENLARGED PLAN
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335



RESTROOMS & VESTIBULE ENLARGED REFLECTED CEILING PLAN

REF: A1.12, A4.10 SCALE: 1/2" = 1'-0"

<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION 7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 CLR. HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES. 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS. PAINT. CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 REVEAL PER DETAILS. 9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.06 GLAZED FINISH ON CMU. 9.07 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD, NIC. 12.03 BENCH, NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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CITY OF LOS ANGELES
ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO.
E170121B

SHEET NAME
A4.11

SHEET X OF X SHEETS

DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING

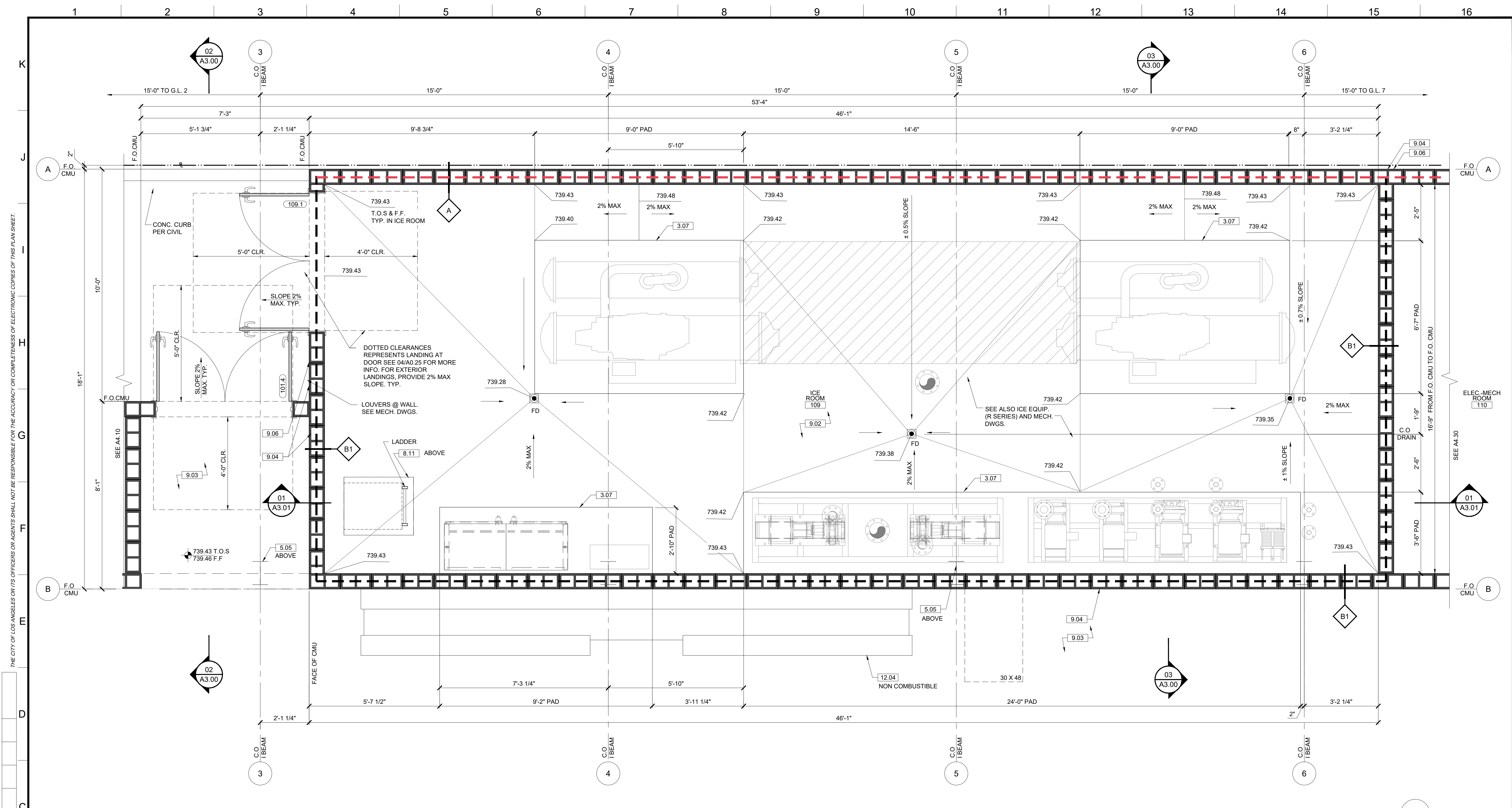
VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: ENLARGED RCP
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DATE: _____
BY: _____

NO. REVISIONS: _____
INDEX NO. _____

CIP NO. _____



ICE ROOM ENLARGED PLAN

REF: A1.10, A4.21 SCALE: 1/2" = 1'-0"

- KEYNOTES**
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | | |
|---|--|--|--|--|--|---|--|---|--|
| <p>01 - GENERAL REQUIREMENTS
02 - NOT USED</p> <p>03 - CONCRETE
3.01 CONC. SLAB ON GRADE PER STRUCT'L.
3.02 CONC. O/MTL. DECK PER STRUCT'L.
3.03 CONC. CURB
3.04 CONC. FOOTING PER STRUCT'L.
3.05 CONC. PAVING PER CIVIL DWGS.
3.06 CONC. SIDEWALK PER CIVIL DWGS.
3.07 CONC. PAD</p> <p>04 - MASONRY
4.01 CMU BLDNG. WALL
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5.01 STL. COLUMN PER STRUCT'L. PTD.
5.02 STL. BEAM PER STRUCT'L. PTD.
5.03 HSS POST PER STRUCT'L. PTD.
5.04 HSS BEAM PER STRUCT'L. PTD.
5.05 MEMBRANE STRUCTURE I BEAM.
5.06 MTL. DECK.
5.07 MTL. GUARD RAILING.
5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS
07 - THERMAL & MOISTURE PROTECTION
7.01 W.P. MEMBRANE PER DETL. & SPECS.
7.02 SINGLE PLY PVC ROOFING PER SPECS.
7.03 R-21 RIGID INSULATION @ WALLS.
7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
7.05 ROOF DRAIN AND OVERFLOW.</p> | <p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).
7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED)
8.01 STL. DOOR & FRAME, PAINTED.
8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
8.04 DOOR HARDWARE SET PER SCHED.
8.05 EXTERIOR WALL LOUVER.
8.06 EXTERIOR WALL VENT WITH CAP.
8.07 ROLLING STL. DOOR & FRAME.
8.08 ICE RINK GATES
8.09 OVERHEAD GLASS DOOR.
8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
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9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT. CONC. FLR. SEAL PER FIN. SCHED.
9.02 RUBBER FLR. PER SPECS.
9.03 PAINT PER SPECS.
9.04 REVEAL PER DETAILS.
9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
9.06 GLAZED FINISH ON CMU.
9.07 CERAMIC TILE.</p> <p>10 - SPECIALTIES
10.01 MIRROR PER SPECS.
10.02 SIGNAGE.
10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
10.04 GRAB BAR.
10.05 COAT HOOK.</p> | <p>10.06 WASTE RECEPTACLE.
10.07 FOLDING SHOWER SEAT.
10.08 SHOWER ROD.
10.09 SHELF.
10.10 NETTING, NIC
10.11 FIRE EXTINGUISHER, RECESSED CABINET
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22.02 LAV. SINK & FAUCET, PER PLUMBING LEGEND
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23.01 HVAC UNIT PER MECH.
23.02 AIR REGISTER WALL MOUNTED.
23.03 CEILING AIR REGISTER.
23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p> | <p>23.05 BATHRM EXHAUST FAN PER SPECS.
23.06 BATHRM EXHAUST DUCT.
23.07 MECH. DUCT.
23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL
26.01 ELEC. PANEL PER PLANS & SCHED.
26.02 EXTERIOR LIGHT PER SCHED.
26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY
28.01 SMOKE ALARM.
28.02 SECURITY CAMERA.
28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK
31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p> | <p>32 - EXTERIOR IMPROVEMENTS
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32.02 GRAPHICS/PAINT.SEE LAND. DWGS.
32.03 STORMWATER MANAGEMENT PER CIVIL DWGS.
32.04 STL. SECURITY GATE, PTD.
32.05 STL. SECURITY FENCE, PTD.
32.06 EXTERIOR AREA DRAINS.
32.07 BENCH.
32.08 TRENCH DRAIN.
32.09 TREE, SEE LANDSCAPE DWGS.
32.10 PLANTING, SEE LANDSCAPE DWGS.
32.11 (N) CONCRETE SIDEWALK, CURB.
32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
32.13 EQUIPMENT SCREEN.
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33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
33.03 ELECTRICAL METER.
33.04 POWER POLE.</p> |
|---|--|--|--|--|--|---|--|---|--|

REVISION DATES (DESIGN STAGE ONLY)

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
APPROVED BY: []

DATE: []
REVISIONS: []

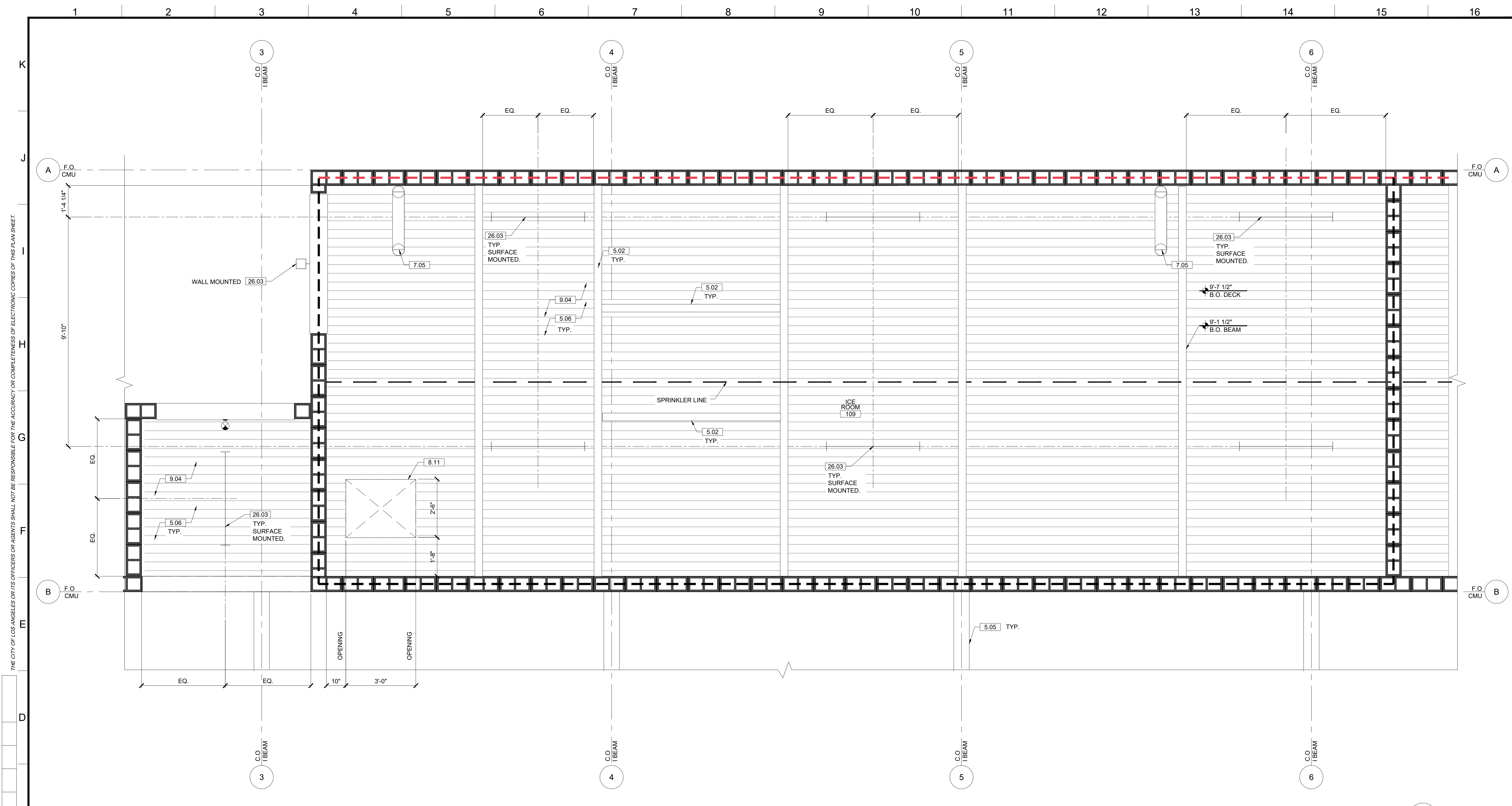
INDEX NO. []
CIP NO. []

WORK ORDER NO. E170121B

SHEET NAME: A4.20
SHEET X OF X SHEETS

ENLARGED PLAN
RESEDA SKATE FACILITY
18210 SHERMAN WAY, RESEDA CA 91335

ENVIRONMENTAL ENGINEERING DIVISION
LICENSED ARCHITECT
LAWRENCE SORRY
C21812
REN 10/31/2023
STATE OF CALIFORNIA



ICE ROOM ENLARGED REFLECTED CEILING PLAN
 REF: A1.12, A4.20
 SCALE: 1/2" = 1'-0"
 01

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CITY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

LAWRENCE S. MOORE
LICENSED ARCHITECT
C 21812
REN. 10/31/2023
STATE OF CALIFORNIA

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: ENLARGED RCP
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

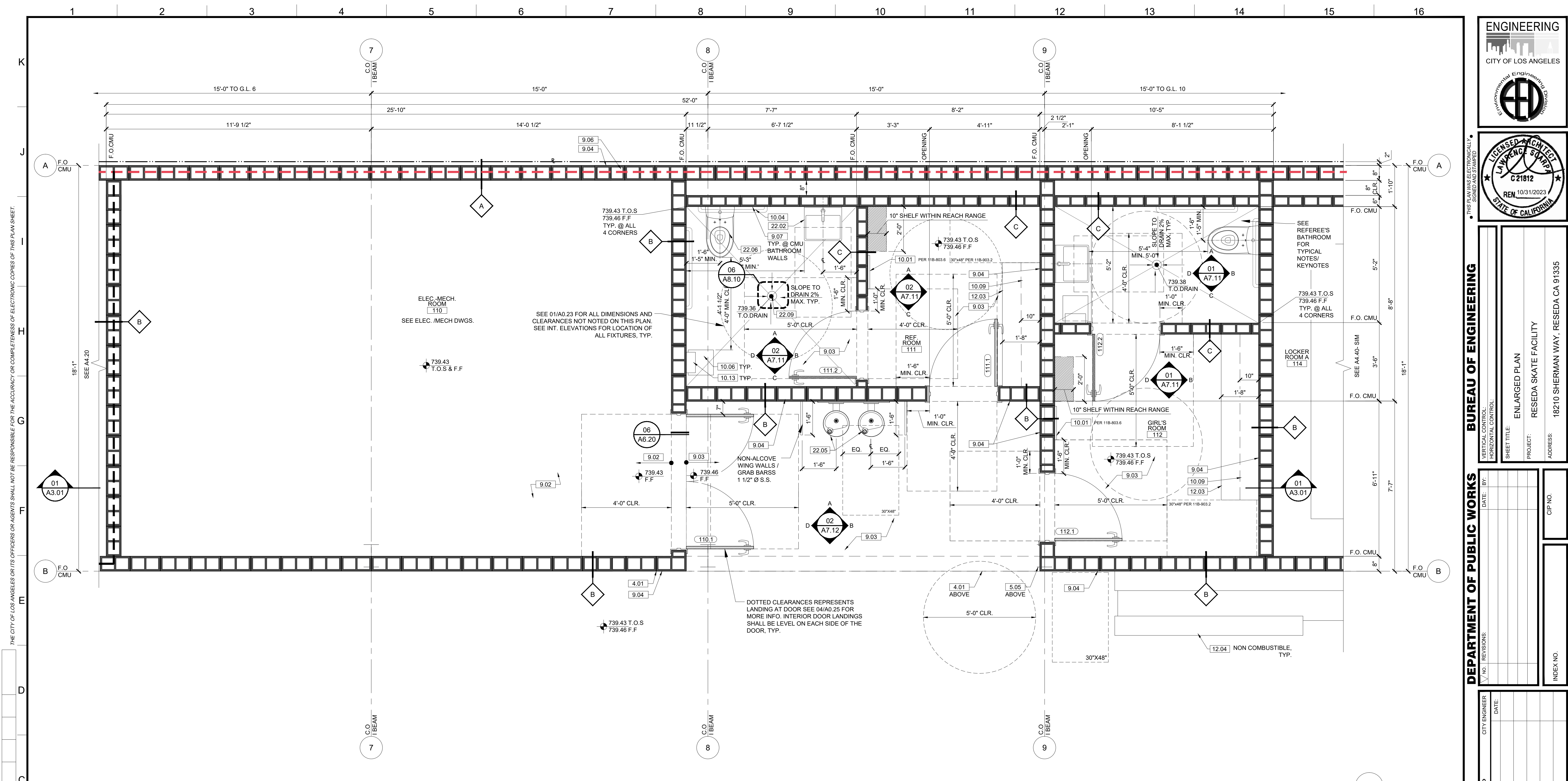
DATE: _____ BY: _____
NO. REVISIONS: _____

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A4.21
SHEET X OF X SHEETS



ELEC., REF & GIRL'S ROOM ENLARGED PLAN
 REF: A1.10, A1.10A, A4.31, A7.11, A7.12
 SCALE: 1/2" = 1'-0"

<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS 6.01 W.P. MEMBRANE PER DETL. & SPECS. 6.02 SINGLE PLY PVC ROOFING PER SPECS. 6.03 OVERHEAD GLASS DOOR. 6.04 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 6.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES). 7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR, & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT. CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.05 GLAZED FINISH ON CMU. 9.06 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED) 11.01 MIRROR PER SPECS. 11.02 SIGNAGE. 11.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 11.04 GRAB BAR. 11.05 COAT HOOK.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

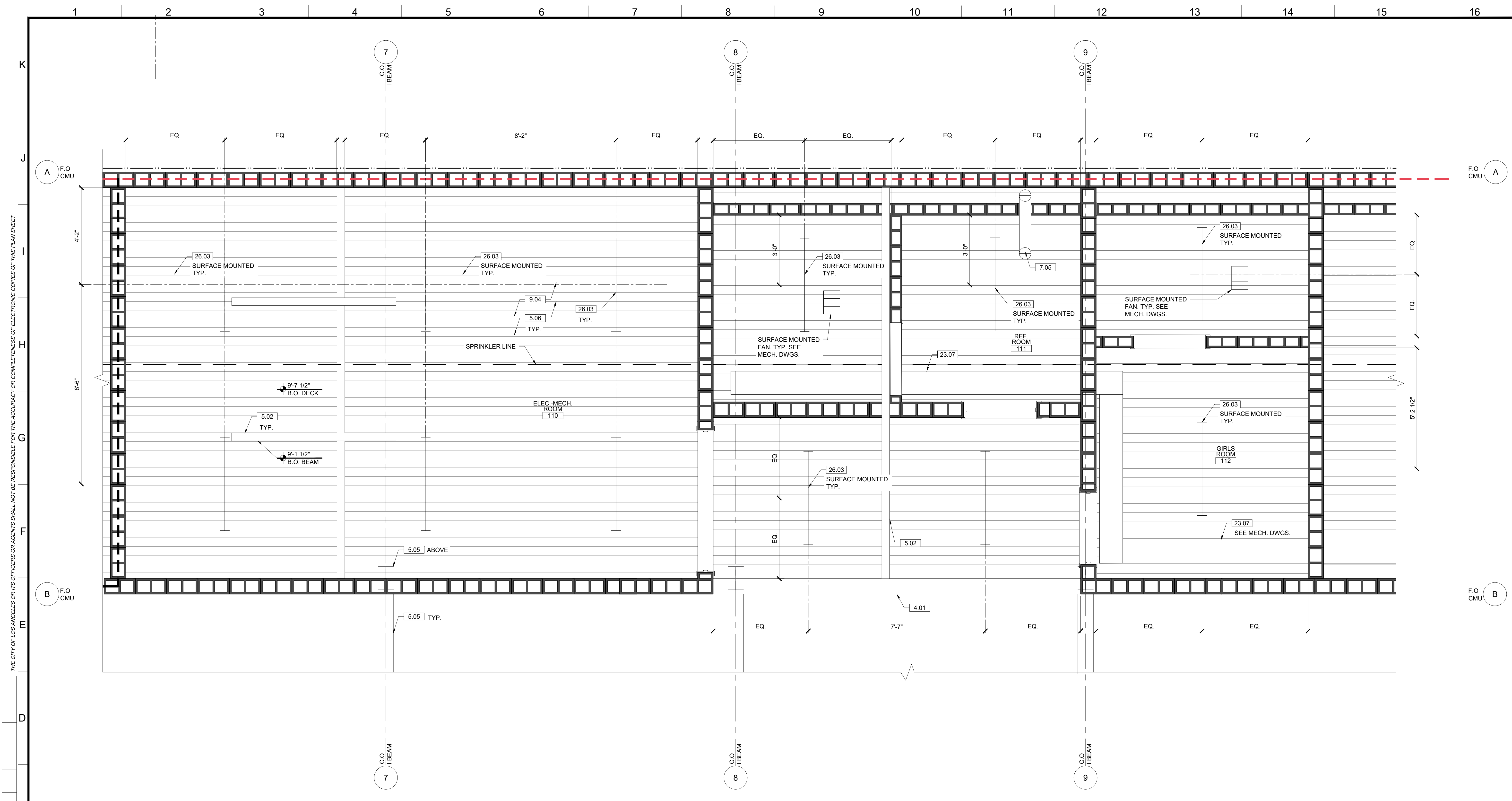
LICENSED ARCHITECT
LAWRENCE S. MOORE
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING
VERTICAL CONTROL:
HORIZONTAL CONTROL:
SHEET TITLE: ENLARGED PLAN
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
DATE: BY:
NO. REVISIONS:

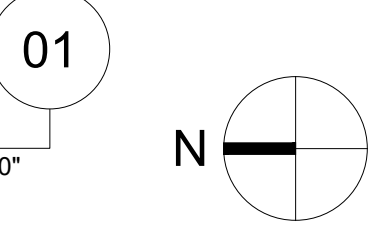
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
DATE:
ENGINEER:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:

WORK ORDER NO. E170121B
SHEET NAME: A4.30
SHEET X OF X SHEETS



ELEC, REF & GIRLS ROOM ENLARGED REFLECTED CEILING PLAN

REF: A1.12, A4.30 SCALE: 1/2" = 1'-0"



<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION 7.01 W.P. MEMBRANE PER DETL. & SPECS. 7.02 SINGLE PLY PVC ROOFING PER SPECS. 7.03 R-21 RIGID INSULATION @ WALLS. 7.04 UNDERSLAB MOISTURE VAPOR BARRIER. 7.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT. CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 REVEAL PER DETAILS. 9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.06 GLAZED FINISH ON CMU. 9.07 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE. 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD. NIC. 12.03 BENCH. NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY 28.01 SMOKE ALARM. 28.02 SECURITY CAMERA. 28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

LICENSED ARCHITECT
LAWEACE 50774
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING
VERTICAL CONTROL:
HORIZONTAL CONTROL:
SHEET TITLE: ENLARGED RCP
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

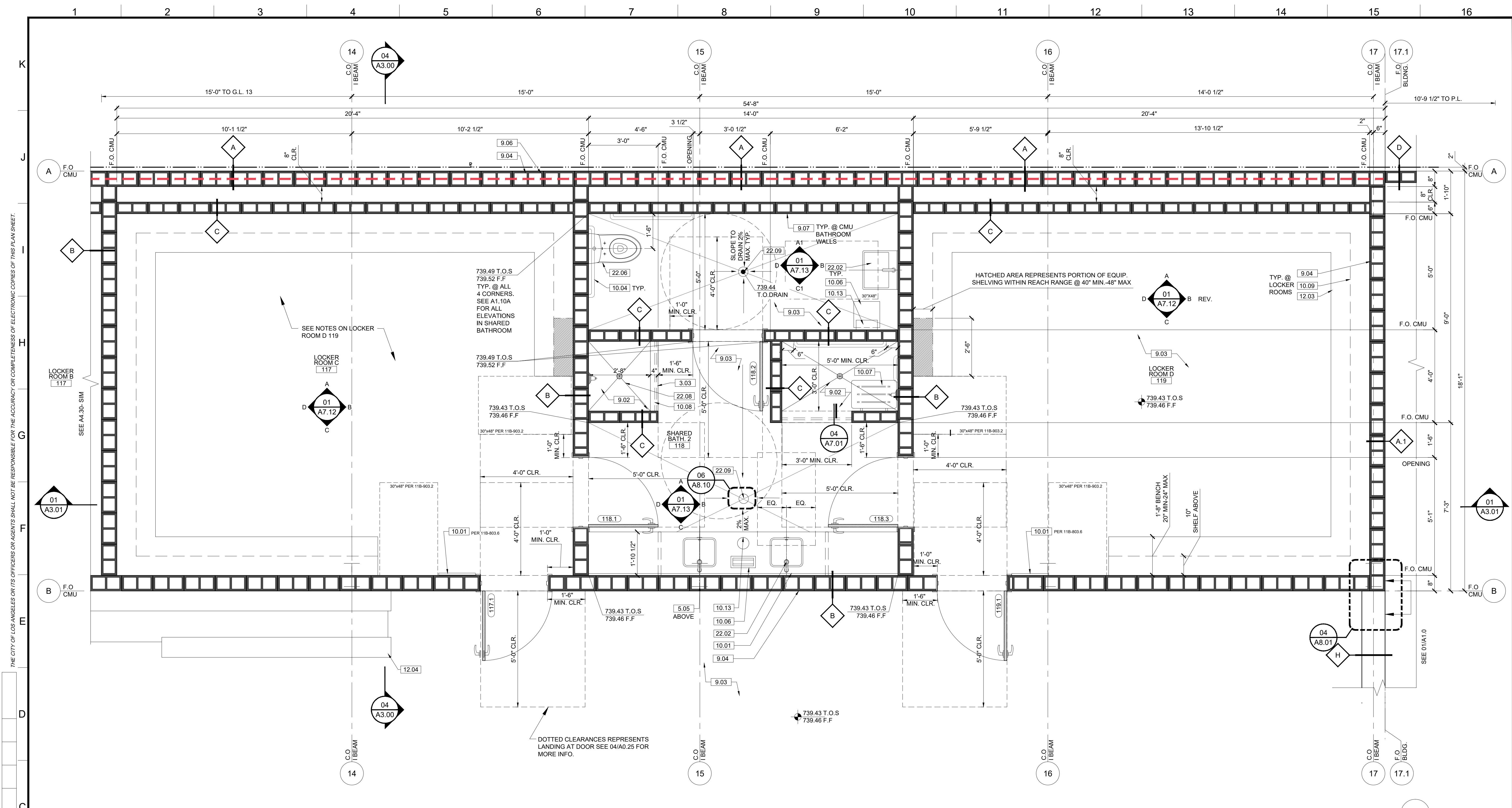
DEPARTMENT OF PUBLIC WORKS
DATE: BY:
NO. REVISIONS:

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

WORK ORDER NO. E170121B

SHEET NAME: **A4.31**
SHEET X OF X SHEETS



LOCKER ROOM & SHARED BATHROOM ENLARGED PLAN
 REF: A1.10, A1.10A, A4.41, A7.12, A7.13
 SCALE: 1/2" = 1'-0"

- KEYNOTES**
 NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | |
|--|--|--|---|--|--|--|--|---|
| <p>01 - GENERAL REQUIREMENTS
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 9.08 CERAMIC TILE.</p> <p>10 - SPECIALTIES
 10.01 MIRROR PER SPECS.
 10.02 SIGNAGE.
 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
 10.04 GRAB BAR.
 10.05 COAT HOOK.</p> | <p>10.06 WASTE RECEPTACLE.
 10.07 FOLDING SHOWER SEAT.
 10.08 SHOWER ROD.
 10.09 SHELF.
 10.10 NETTING, NIC
 10.11 FIRE EXTINGUISHER, RECESSED CABINET
 10.12 TOILET SEAT COVER DISPENSER.
 10.13 PAPER TOWEL DISPENSER.
 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)
 11.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
 11.02 DASHBOARD, NIC.
 11.03 BENCH, NIC.</p> | <p>12.04 BLEACHERS, NIC.
 12.05 SCOREBOARD, NIC.
 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION
 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION
 21.01 FIRE EXTINGUISHER.
 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
 21.03 FIRE SPRINKLER VALVE ASSEMBLY
 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p> | <p>22.01 WATER CLOSET PER PLUMBING LEGEND
 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND
 22.03 JANITOR MOP SINK.
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 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING
 23.01 HVAC UNIT PER MECH.
 23.02 AIR REGISTER WALL MOUNTED.
 23.03 CEILING AIR REGISTER.
 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p> | <p>23.05 BATHRM EXHAUST FAN PER SPECS.
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 23.07 MECH. DUCT.
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 26.01 ELEC. PANEL PER PLANS & SCHED.
 26.02 EXTERIOR LIGHT PER SCHED.
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 28.02 SECURITY CAMERA.
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 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p> | <p>32 - EXTERIOR IMPROVEMENTS
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 32.05 STL. SECURITY FENCE, PTD.
 32.06 EXTERIOR AREA DRAINS.
 32.07 BENCH.
 32.08 TRENCH DRAIN.
 32.09 TREE, SEE LANDSCAPE DWGS.
 32.10 PLANTING, SEE LANDSCAPE DWGS.
 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS.
 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
 32.13 EQUIPMENT SCREEN.
 32.14 CONC. WALL @ SITE FENCE.</p> <p>33 - UTILITIES
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 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
 33.03 ELECTRICAL METER.
 33.04 POWER POLE.</p> |
|--|--|--|---|--|--|--|--|---|

REVISION DATES (DESIGN STAGE ONLY)

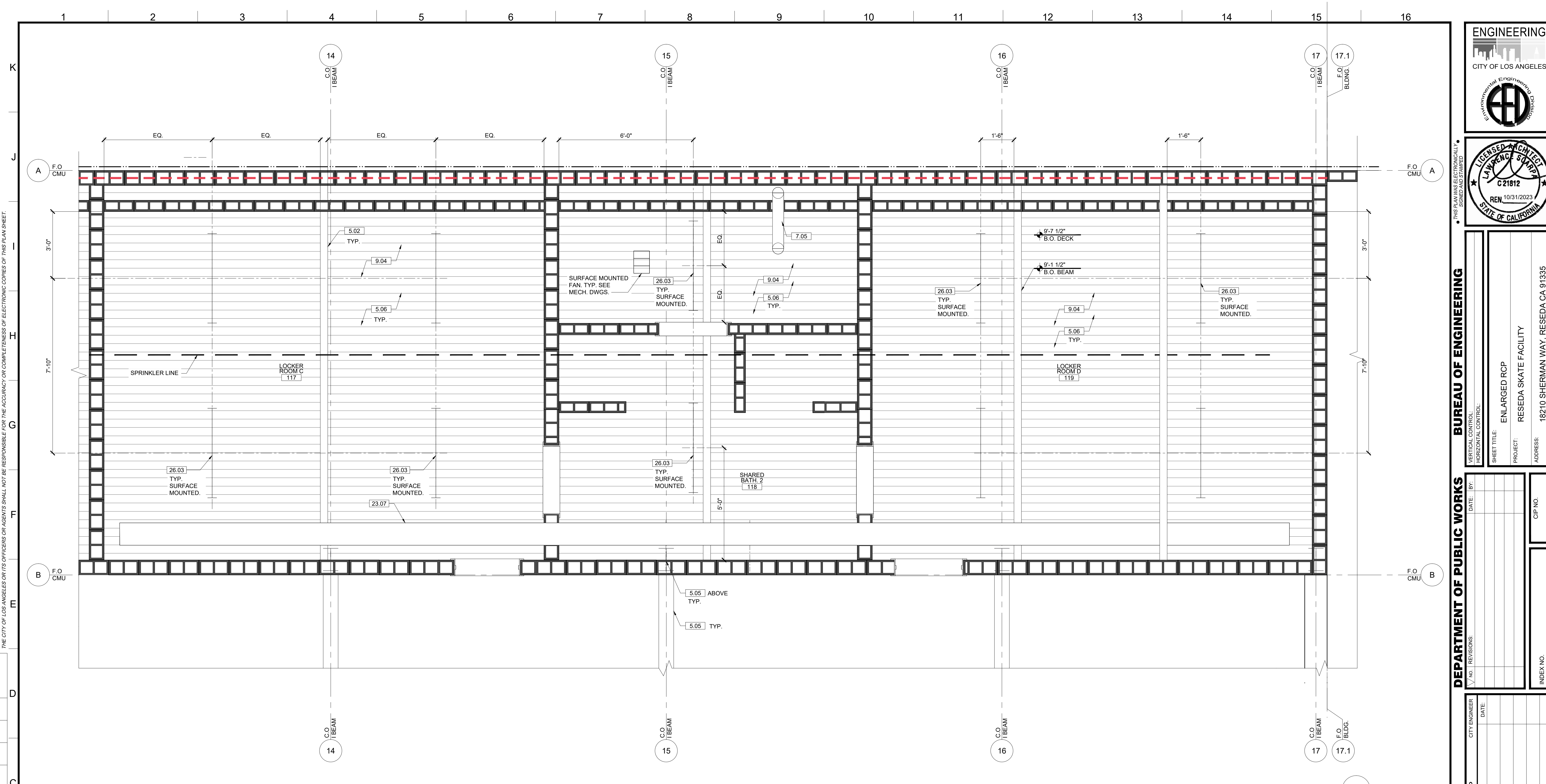
ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE SORRY
 C 21812
 REN. 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 VERTICAL CONTROL:
 HORIZONTAL CONTROL:
 SHEET TITLE: ENLARGED PLAN
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
 DATE: BY:
 NO. REVISIONS:

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
 DATE:
 WORK ORDER NO. E170121B
 SHEET NAME: A4.40
 SHEET X OF X SHEETS



LOCKER ROOM & SHARED BATHROOM ENLARGED REFLECTED CEILING PLAN
 REF: A1.12, A4.40
 SCALE: 1/2" = 1'-0"

- KEYNOTES**
 NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | | |
|--|--|--|--|---|--|--|--|---|--|
| <p>01 - GENERAL REQUIREMENTS
 02 - NOT USED</p> <p>03 - CONCRETE
 3.01 CONC. SLAB ON GRADE PER STRUCT'L.
 3.02 CONC. O/MTL. DECK PER STRUCT'L.
 3.03 CONC. CURB
 3.04 CONC. FOOTING PER STRUCT'L.
 3.05 CONC. PAVING PER CIVIL DWGS.
 3.06 CONC. SIDEWALK PER CIVIL DWGS.
 3.07 CONC. PAD</p> <p>04 - MASONRY
 4.01 CMU BLDNG. WALL
 4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
 5.01 STL. COLUMN PER STRUCT'L. PTD.
 5.02 STL. BEAM PER STRUCT'L. PTD.
 5.03 HSS POST PER STRUCT'L. PTD.
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 5.05 MEMBRANE STRUCTURE I BEAM.
 5.06 MTL. DECK.
 5.07 MTL. GUARD RAILING.
 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION
 7.01 W.P. MEMBRANE PER DETL. & SPECS.
 7.02 SINGLE PLY PVC ROOFING PER SPECS.
 7.03 R-21 RIGID INSULATION @ WALLS.
 7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 7.05 ROOF DRAIN AND OVERFLOW.</p> | <p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).</p> <p>7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED)
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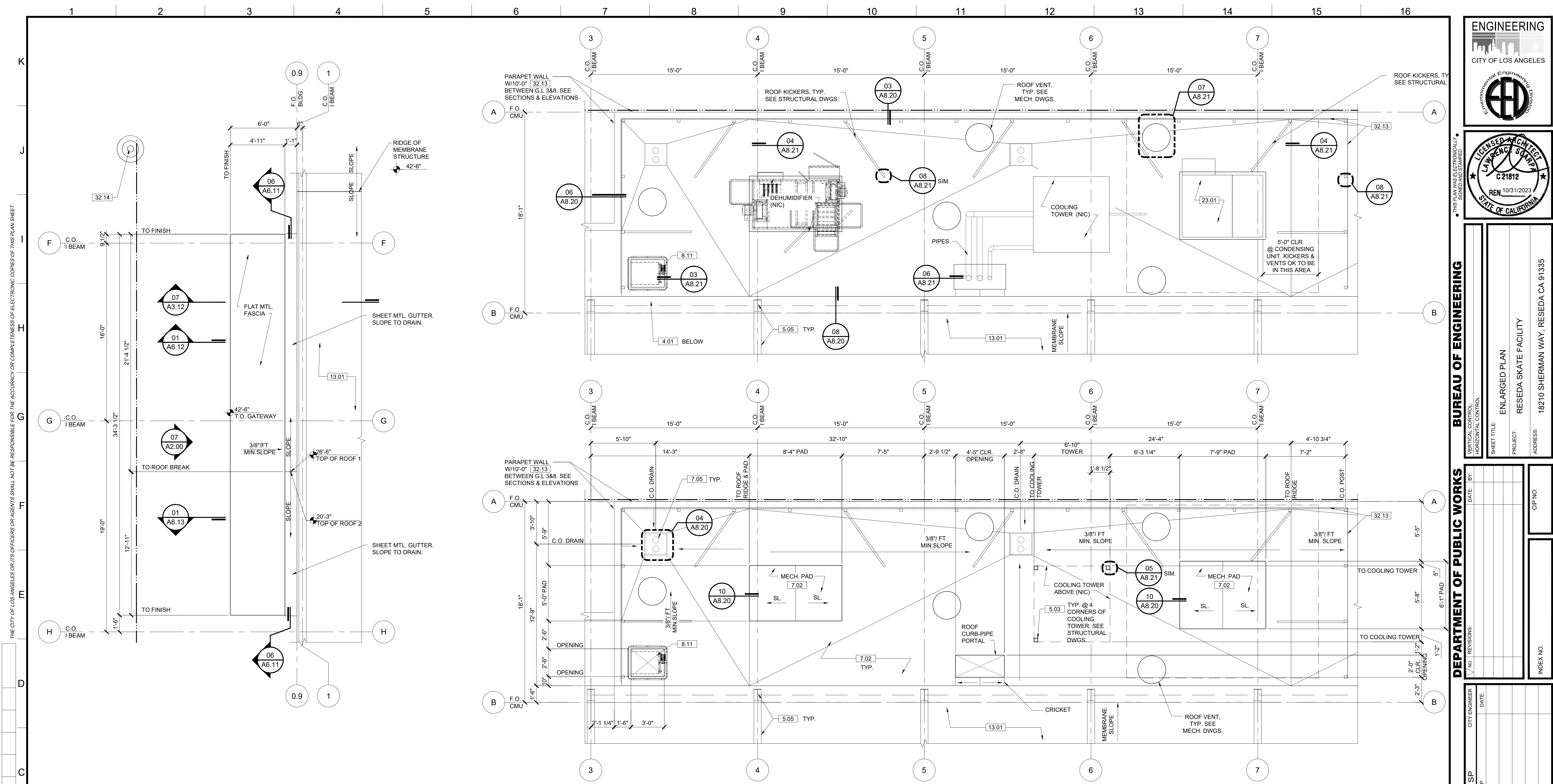
ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE SORRY
 C 21812
 REN. 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 HORIZONTAL CONTROL:
 SHEET TITLE: ENLARGED RCP
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
 DATE: BY:
 REVISIONS: INDEX NO. CIP NO.

CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
 DATE: WORK ORDER NO. E170121B
 SHEET NAME: A4.41
 SHEET X OF X SHEETS



GATEWAY ROOF ENLARGED PLAN
 REF: A1.20
 SCALE: 1/4" = 1'-0"

MECHANICAL ROOF DRAINAGE & EQUIPMENT ENLARGED PLAN
 REF: A1.20, 01/A3.01, 03/A3.00, 04/07/A3.10, A0.36
 SCALE: 1/4" = 1'-0"

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|--|---|--|---|---|--|--|--|--|--|

ENGINEERING
 CITY OF LOS ANGELES

BUREAU OF ENGINEERING
 DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES
 GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. **E170121B**

SHEET NAME **A4.50**
 SHEET X OF X SHEETS

PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

INDEX NO. _____
 CIP NO. _____

DATE: _____
 REVISIONS: _____

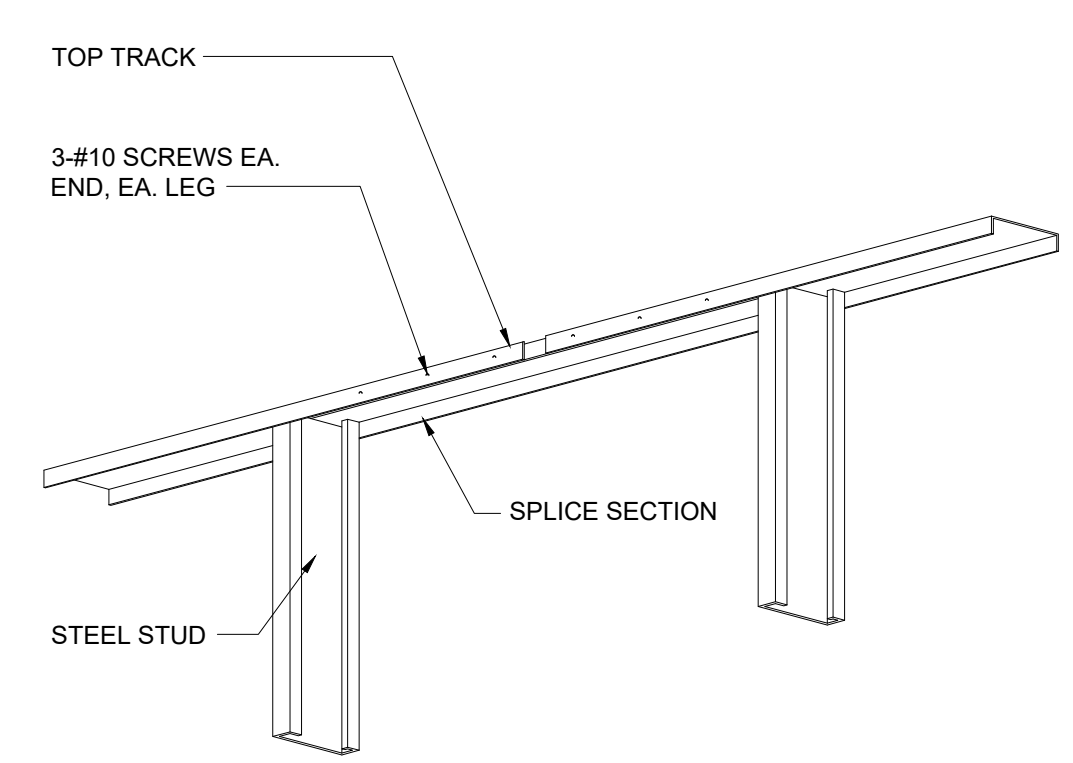
VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED

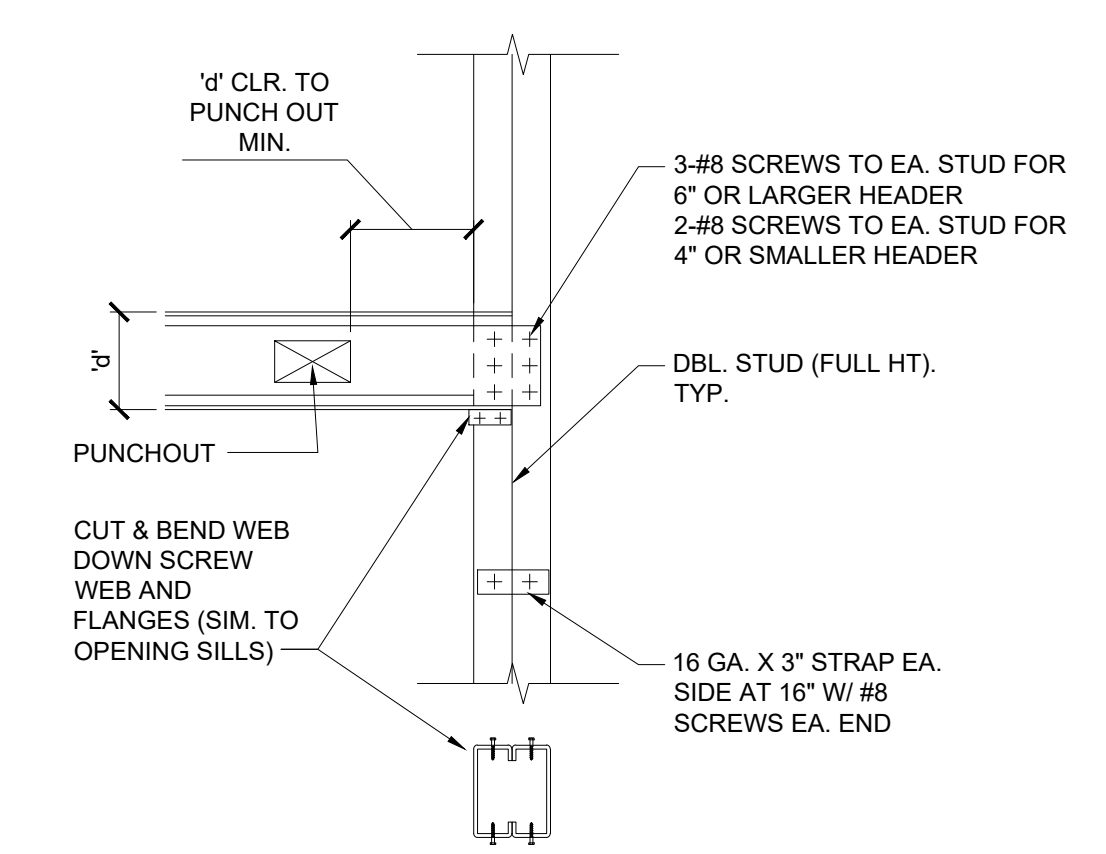
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REVISION DATES (DESIGN STAGE ONLY)

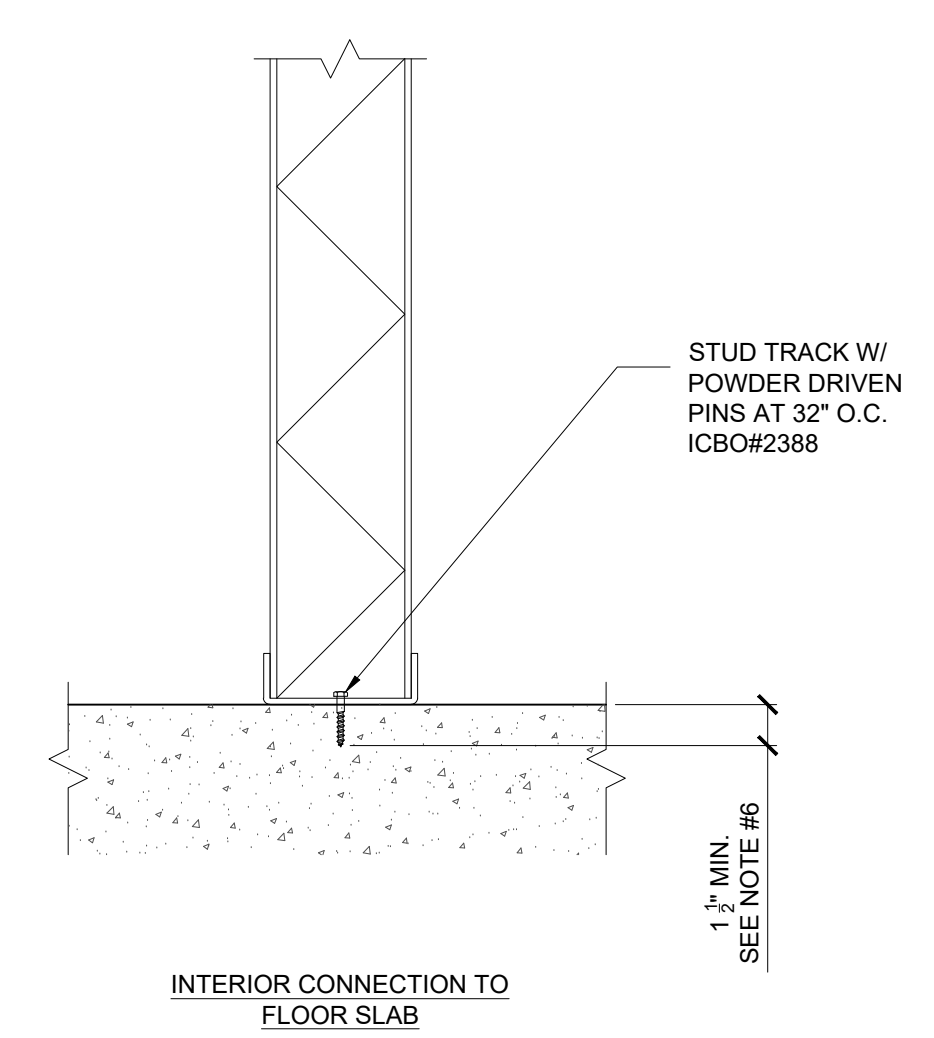
Sheet Version 4.0



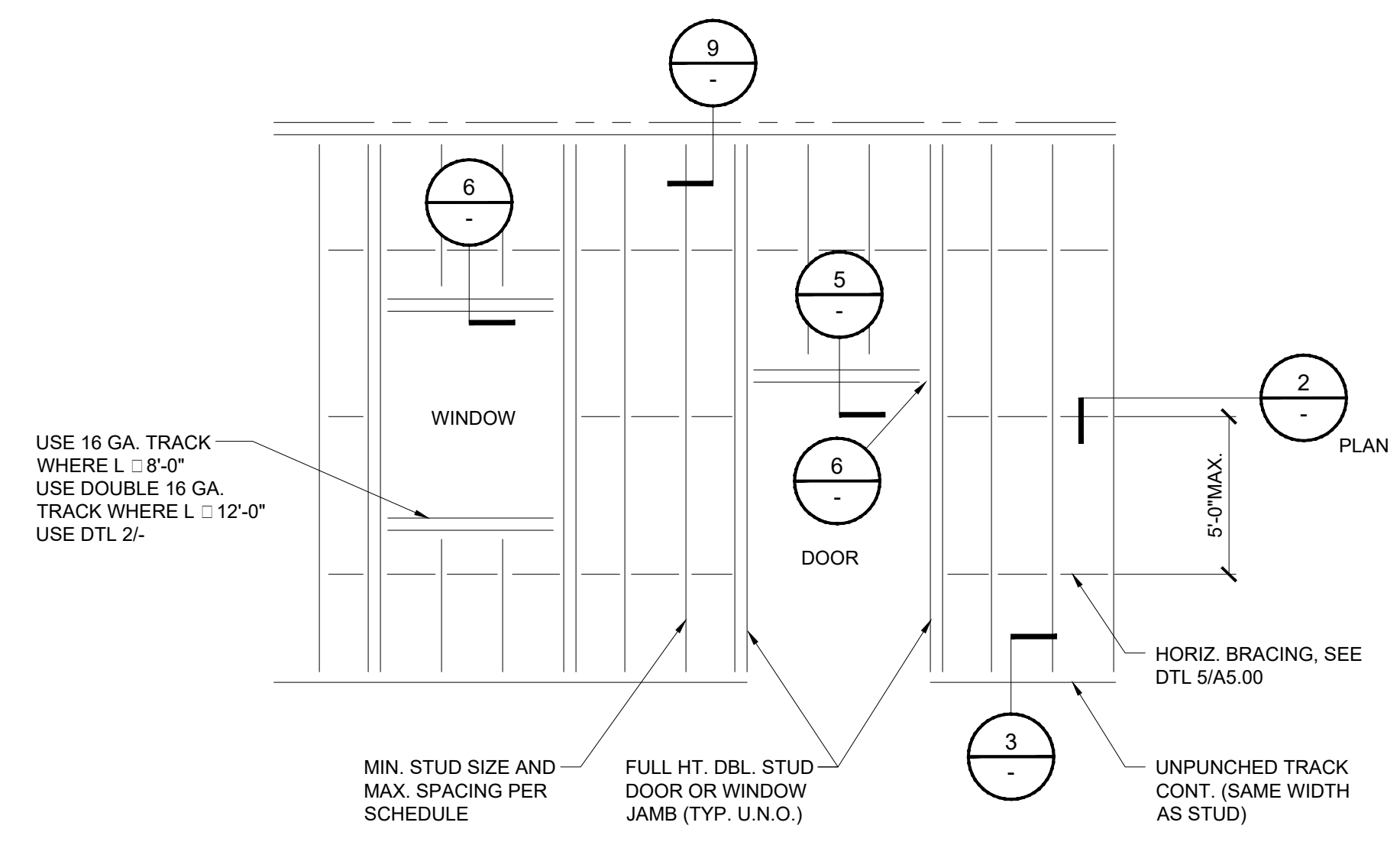
TYP. MTL. STUD TOP TRACK SPLICE & CONNECTION 09
REF: -- SCALE: 1" = 1'-0"



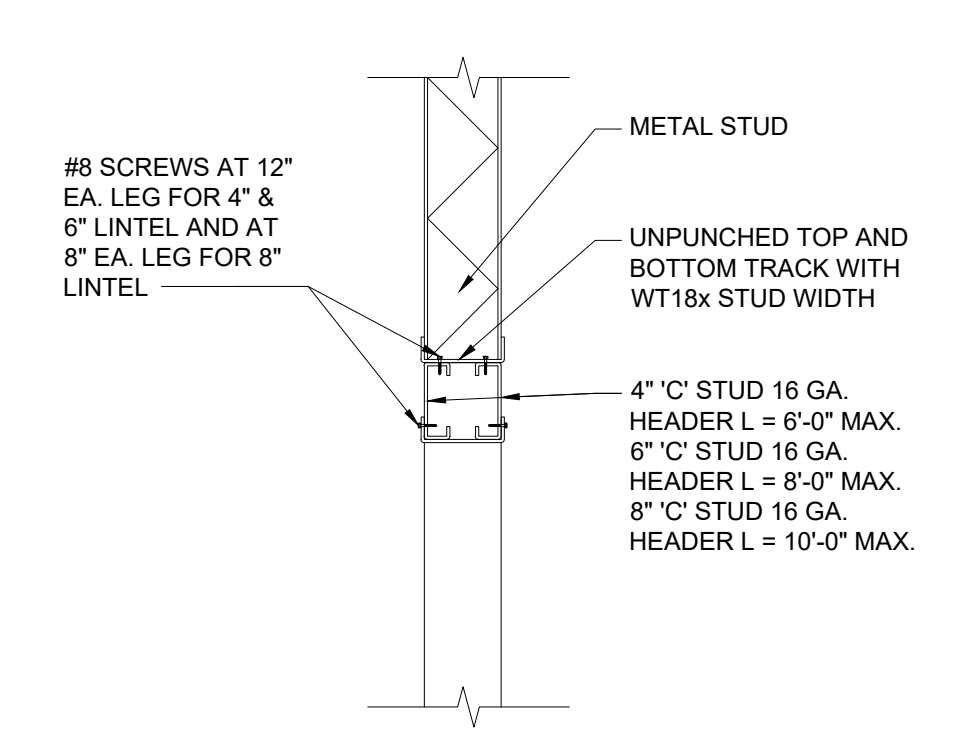
MTL. STUD ELEV. AT JAMB 06
REF: -- SCALE: 1" = 1'-0"



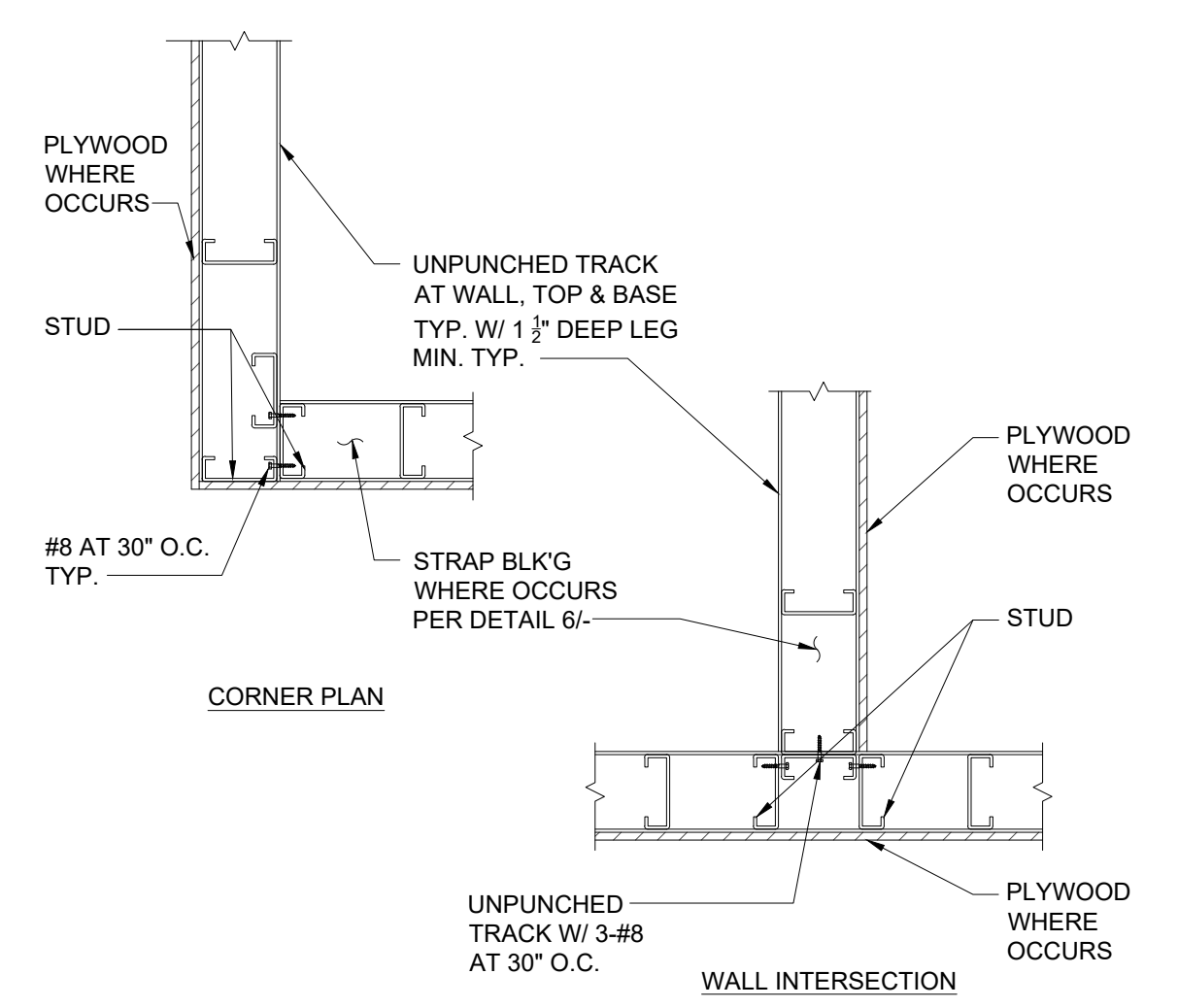
MTL. STUD FLOOR CONNECTIONS 03
REF: -- SCALE: 1" = 1'-0"



TYP. METAL STUD WALL ELEVATION 08
REF: -- SCALE: 1" = 1'-0"



MTL. STUD HEADER SECTION 05
REF: -- SCALE: 1" = 1'-0"



MTL. STUD WALL CONNECTIONS 02
REF: -- SCALE: 1" = 1'-0"

MAXIMUM SPAN FOR CEILING JOIST INTERIOR STEEL STUDS

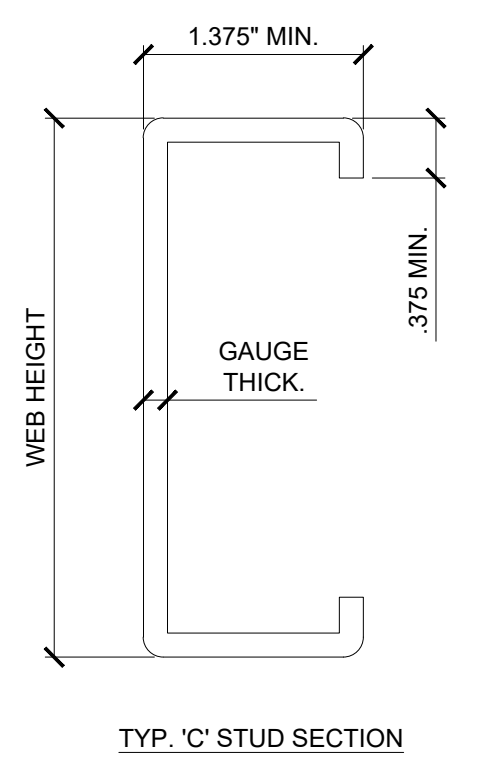
TYPE	GAUGE SPACING				
	20	18	16	14	12
STE 20 x4"	12"	13'-4"			
	16"	12'-0"			
STE 20 x6"	12"	17'-6"			
	16"	16'-0"			

DIETRICH, ICBO # 4782

MAXIMUM HEIGHT FOR NON-BEARING INTERIOR STEEL STUDS (CODE: CWN)

TYPE	GAUGE SPACING			
	20	18	16	14
2 1/2"	12"	13'-11"	15'-1"	16'-1"
	16"	12'-8"	13'-8"	14'-8"
3 1/2"	12"	18'-0"	19'-6"	20'-11"
	16"	16'-4"	17'-9"	19'-0"
3 5/8"	12"	18'-6"	20'-1"	21'-6"
	16"	16'-10"	18'-3"	19'-6"
6"	12"	27'-7"	29'-8"	32'-1"
	16"	25'-0"	27'-2"	29'-2"
8"	12"	21'-10"	23'-9"	25'-6"
	16"	34'-10"	37'-10"	40'-7"

DIETRICH, ICBO # 4784P



CEILING JOIST PARTITION SCHEDULE & MTL. "C" STUD SECTION PROPERTIES 04
REF: -- SCALE: 1" = 1'-0"

METAL STUD SECTION PROPERTIES (CODE: CWN)

SECTION	Sxx (in ²)		Ixx (in ⁴)	
	Sxx	Ixx	Sxx	Ixx
2 1/2" X20 GA.	.165	.206	.305	.609
	.209	.261	.388	.777
	.255	.318	.477	.954
	.309	.386	.582	1.165
3 1/2" X20 GA.	.255	.446	.471	1.269
	.325	.568	.602	1.656
	.398	.697	.742	2.040
	.485	.849	.910	2.503
3 5/8" X20 GA.	.267	.484	.532	1.597
	.340	.617	.681	2.043
	.417	.756	.840	2.519
	.509	.822	1.031	3.094

DIETRICH, ICBO # 4784P

- TYPICAL INTERIOR NON-BEARING METAL STUD DETAILS NOTES:**
- ALL STUD TO TRACK, STUD TO STUD OR TRACK TO TRACK CONNECTIONS MIN. SIZE TEKS SCREWS: NO. 8-18X³ TEKS 2 U.N.O. ON PLANS. FOR 16 GA. AND HEAVIER USE NO. 10-16X³ TWKS MIN. ALL STEEL STUDS, CHANNELS AND TRACKS TO BE SAME GAUGE U.N.O.
 - STEEL STUDS SHALL NOT BE ERECTED UNTIL AFTER FLOOR SLAB ABOVE HAS BEEN PLACED.
 - SEE SPECIFICATIONS FOR SIZE OF STUDS AND METHOD OF INSTALLATION.
 - STUDS SHALL NOT BE SPLICED EXCEPT AT THE POINT OF LATERAL SUPPORTS.
 - WHERE SPLICE IS REQ'D NEST STUDS WITHIN EACH OTHER (12" MIN.) AND SECURE WITH 2-#6 TEKS SCREWS EACH FLANGE AT 1" MAX. FROM END OF EACH PIECE.
 - TRACK FASTENERS (UNLESS NOTED OTHERWISE):
 - TYPE: HILTI LOW VELOCITY POWDER DRIVEN FASTENER (DRIVE PINS) (ICBO 1290) PHILLIPS REDHEAD WEDGE ANCHOR (ICBO 1372) (L.A. CITY RR2748)
 - POWDER DRIVEN PIN (PDP): 0.145 DIAMETER x 1-1/2" LONG WEDGE ANCHOR; 3/8" DIAMETER x 2-1/2" LONG LARR 25889 SPACING: 32" O.C. MAX. AND 6" MAX. FROM ENDS
 - FASTENERS SHALL NOT BE DRIVEN OR PLACED UNTIL CONCRETE HAS SET 14 DAYS MIN. AND SHALL NOT BE PLACED CLOSER THAN 3" TO THE EDGE OF CONCRETE.
 - WHERE APPROVED WALL FINISH IS PROVIDED FULL HEIGHT BOTH SIDES OF WALL PROVIDE BRIDGING AT MIDHEIGHT OF WALL.
 - WHERE WALL FINISH DOES NOT OCCUR FULL HEIGHT BOTH SIDES OF STUDS REFER TO DETAIL 1/X XX
 - DO NOT ATTACH TOP OF STUDS TO TOP CONTINUOUS TRACK EXCEPT AS SHOWN ON DETAILS. THE PURPOSE OF THESE DETAILS IS TO ALLOW FOR VERTICAL MOVEMENT DUE TO DEFLECTION. SEE CEILING CONNECTION DETAIL 4B/.

TYP. INT. NON-BEARING MTL. STUD NOTES 01
REF: -- SCALE: 1" = 1'-0"

ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN. 10/31/2023
STATE OF CALIFORNIA

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VERTICAL CONTROL: HORIZONTAL CONTROL

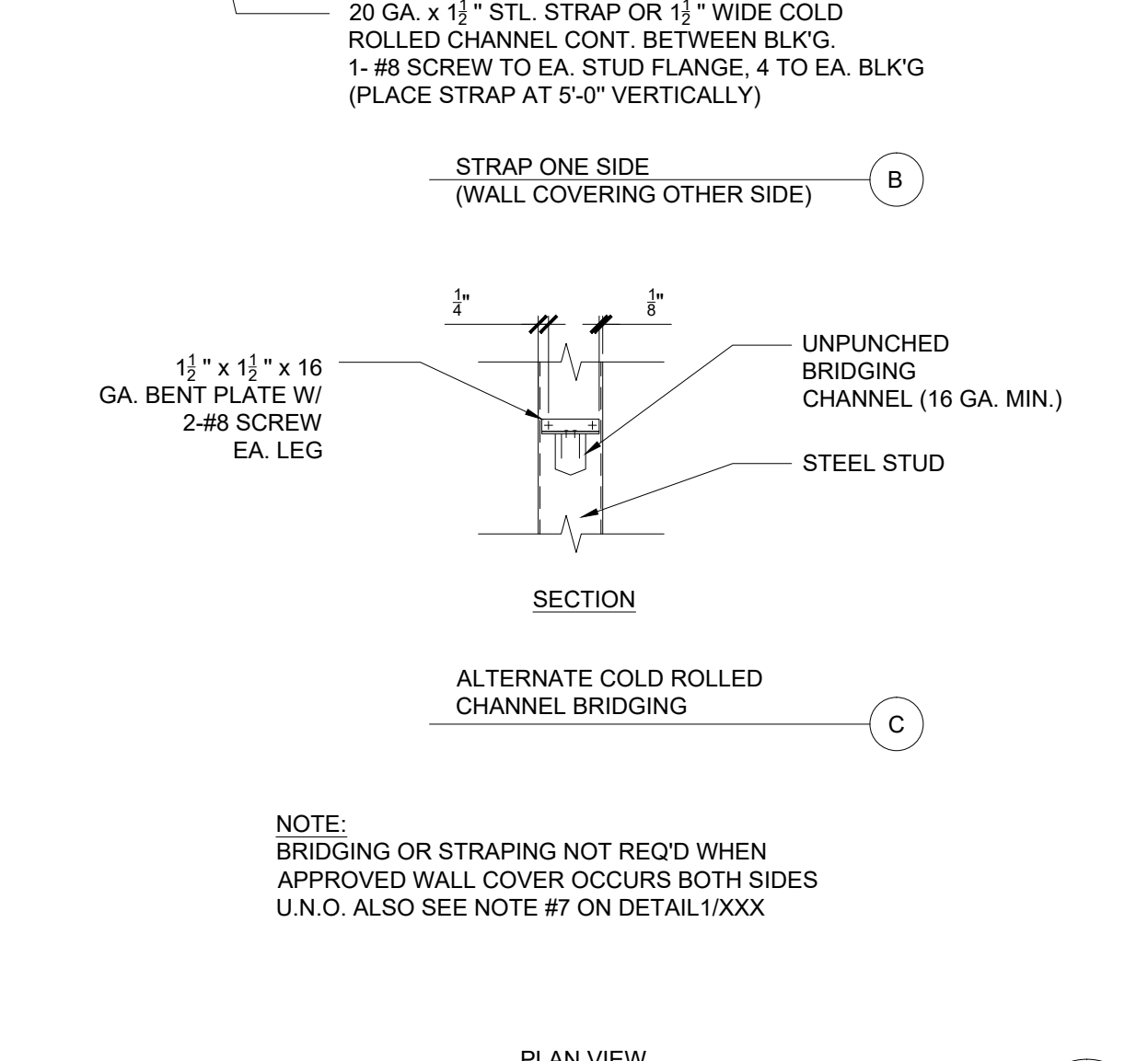
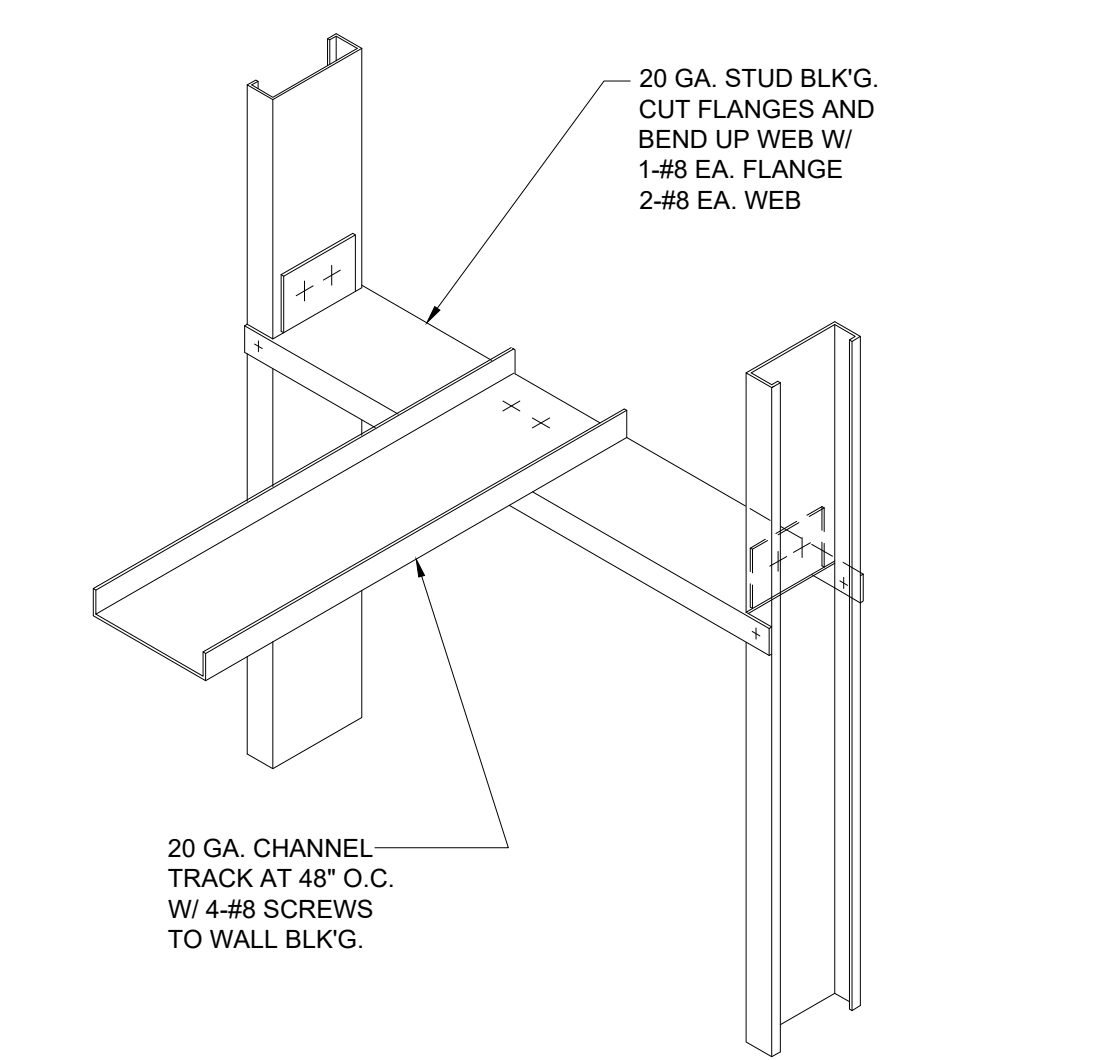
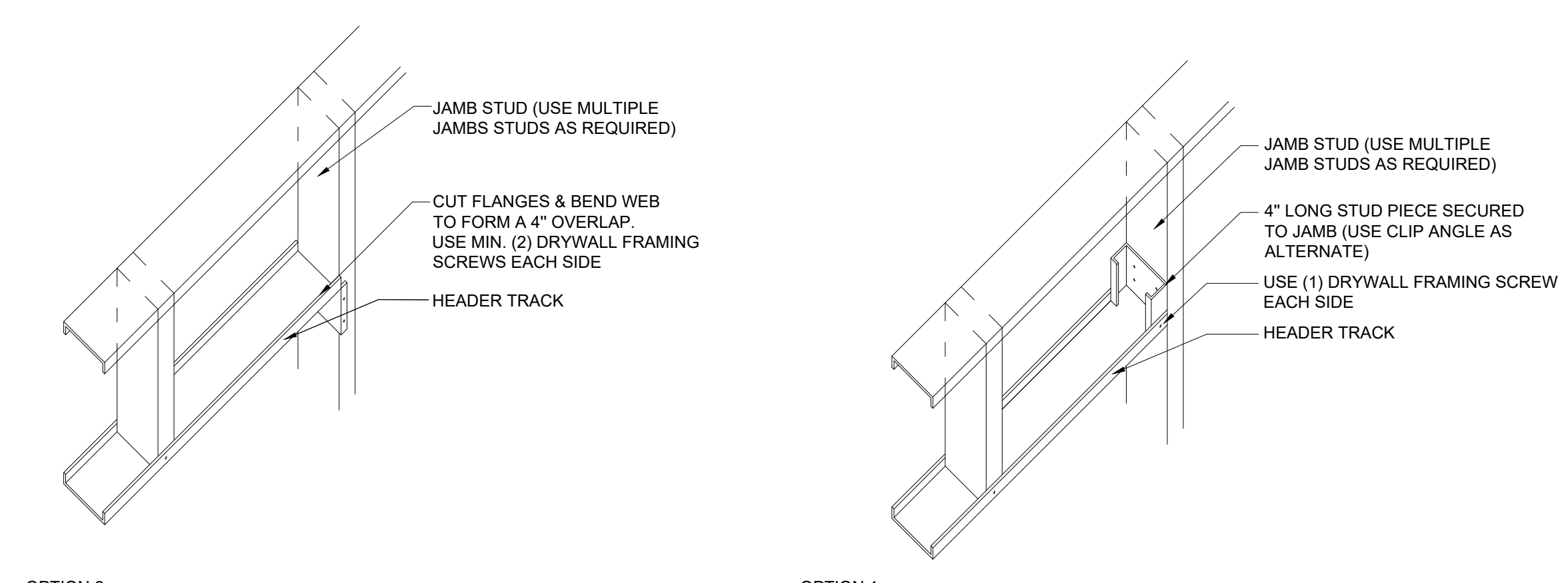
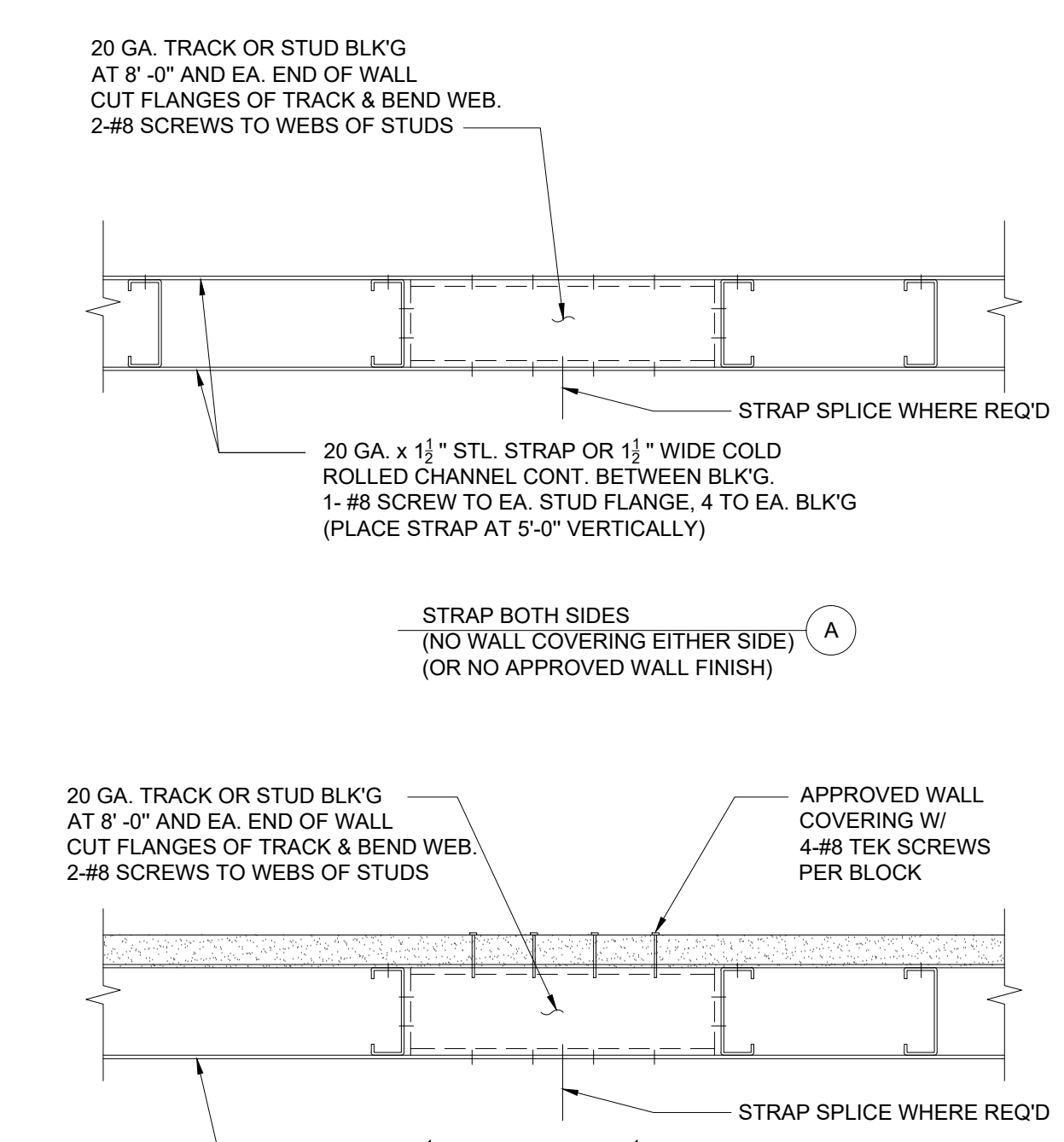
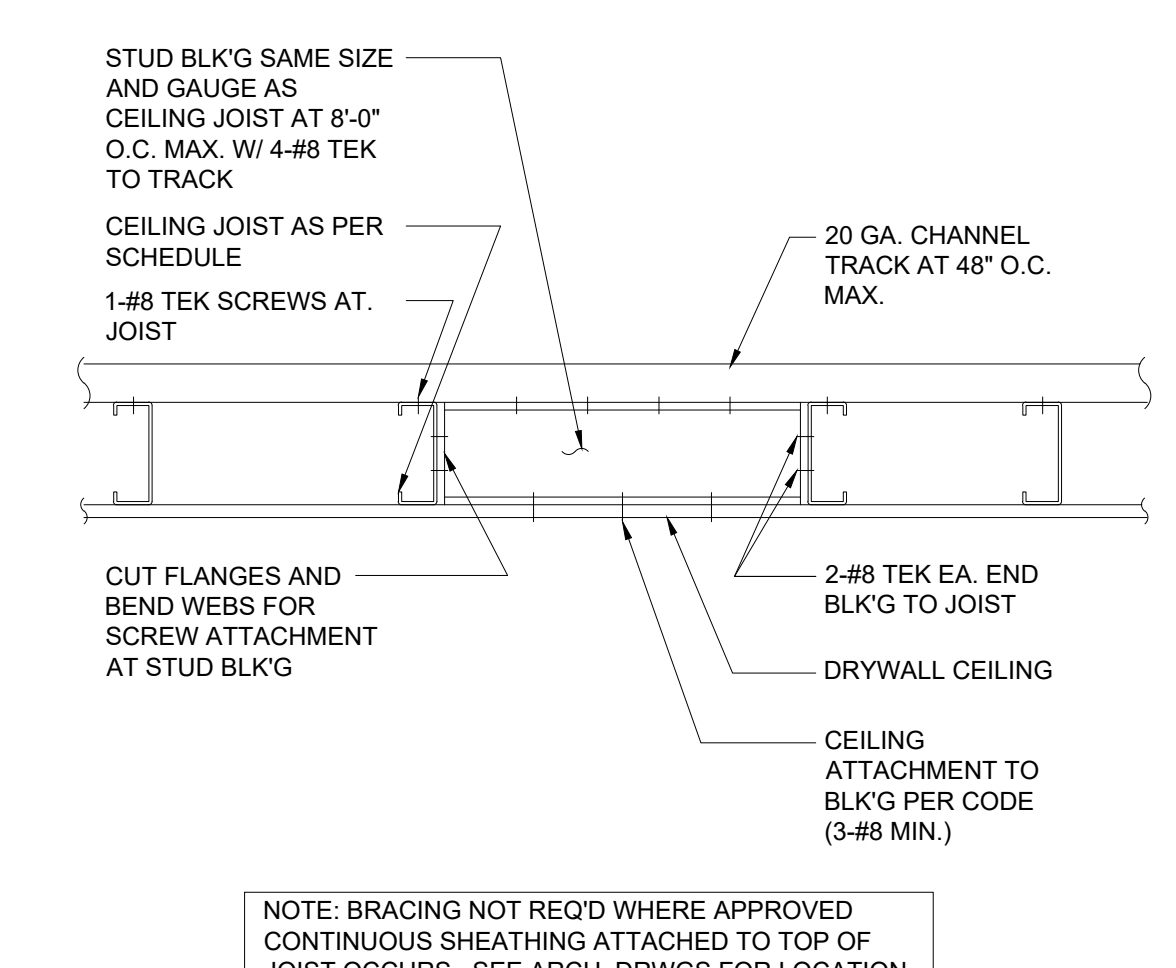
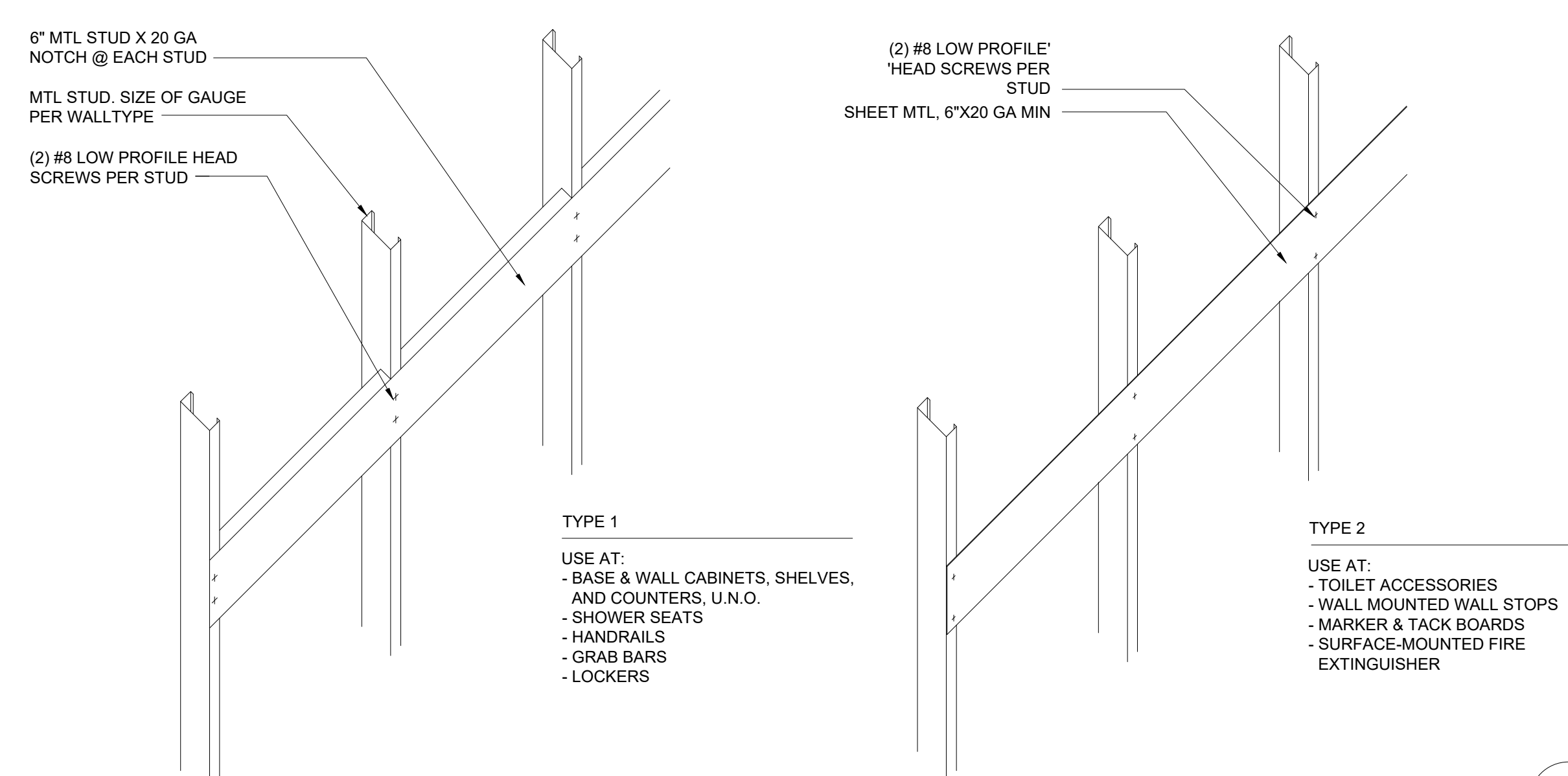
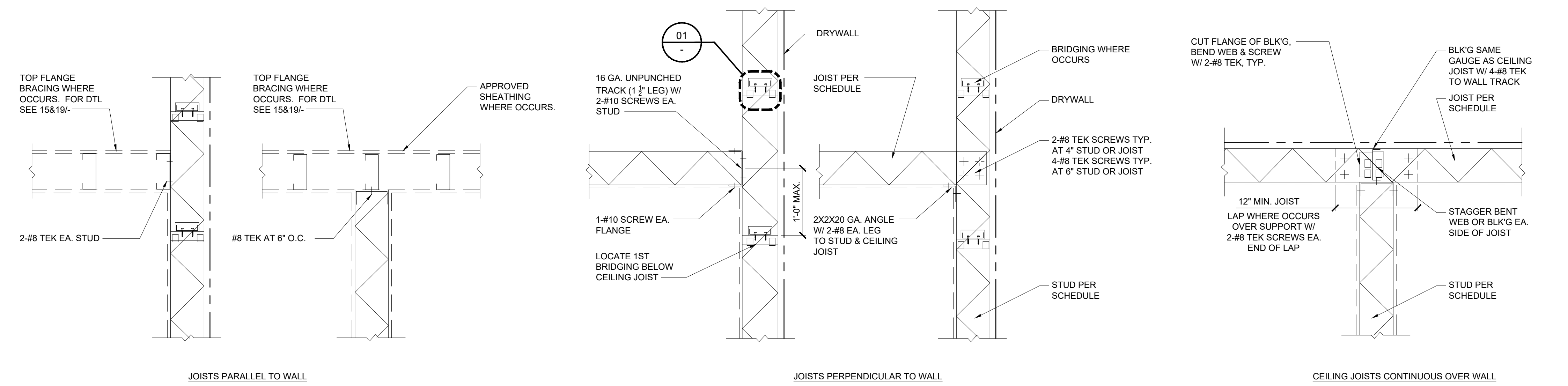
SHEET TITLE: METAL STUD DETAILS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DATE: BY: CIP NO. INDEX NO.

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

WORK ORDER NO. E170121B

SHEET NAME: A5.00
SHEET X OF X SHEETS



ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

WORK ORDER NO. E170121B

SHEET NAME A5.01

SHEET X OF X SHEETS

PROJECT: RESEDA SKATE FACILITY

ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

INDEX NO.

CIP NO.

DATE: BY: REVISIONS: NO.

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP

DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

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LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

DOOR SCHEDULE

WINDOW SCHEDULE

Table with columns for Door No., Location, Type, Dimensions, Material, Finish, Glazing, U-Fact., S.H.G.C., Rating, Detail Sheet No., U.O.N., Window No., Type, Dimensions, Glazing, Color, Tempered, Material, Finish, Head, Jamb, Mullion, Sill, and Remarks.

GENERAL NOTES: 1. ALL OUT-SWINGING DOORS SHALL HAVE DRIPS AT THE HEAD... 2. ALL FIRE RATED DOORS SHALL BE FIRE RATED PER THE REQUIREMENTS OF CBC 2019 T 716.5...

HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE... 16. OMIT. 17. ALL STEEL FRAMES SHALL BE CURRIES 'KD' AND FULLY WELDED AT EXTERIOR LOCATIONS...

EXCEPTIONS: A. TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SHOE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL... B. DOORS AND GATES THAT DO NOT EXTEND TO WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 11B404.2.10...



BUREAU OF ENGINEERING
DEPARTMENT OF PUBLIC WORKS
SHEET TITLE: DOOR & WINDOW SCHEDULE
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

REVISIONS:
DATE:
BY:
INDEX NO.

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP
ENGINEER:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:

WORK ORDER NO. E170121B

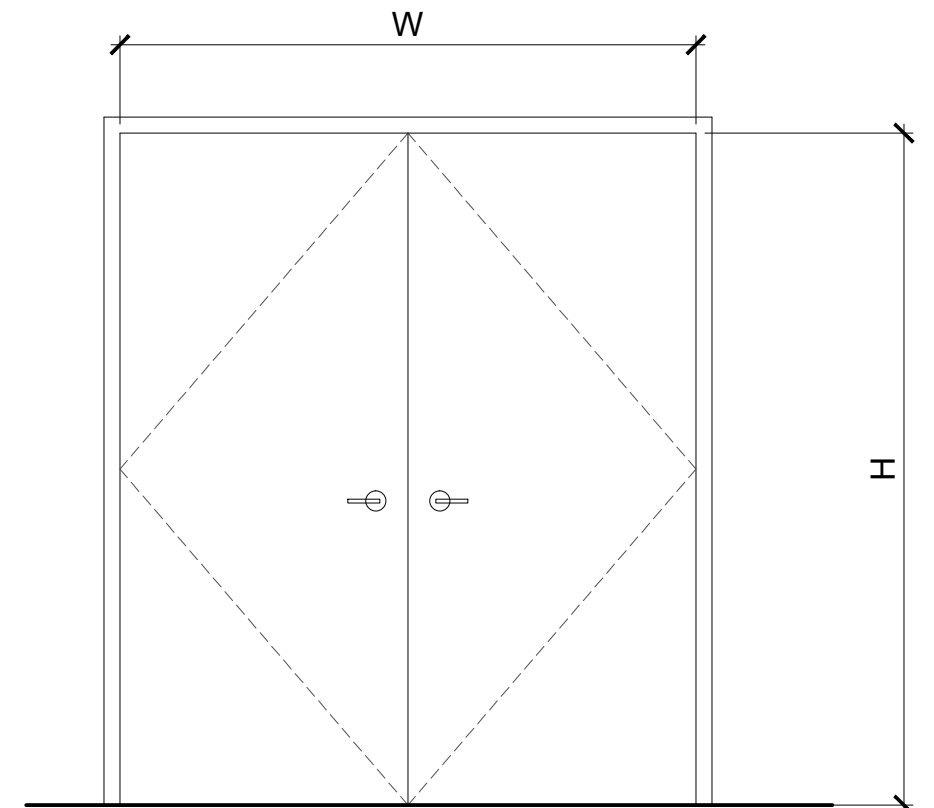
SHEET NAME: A6.00
SHEET X OF X SHEETS

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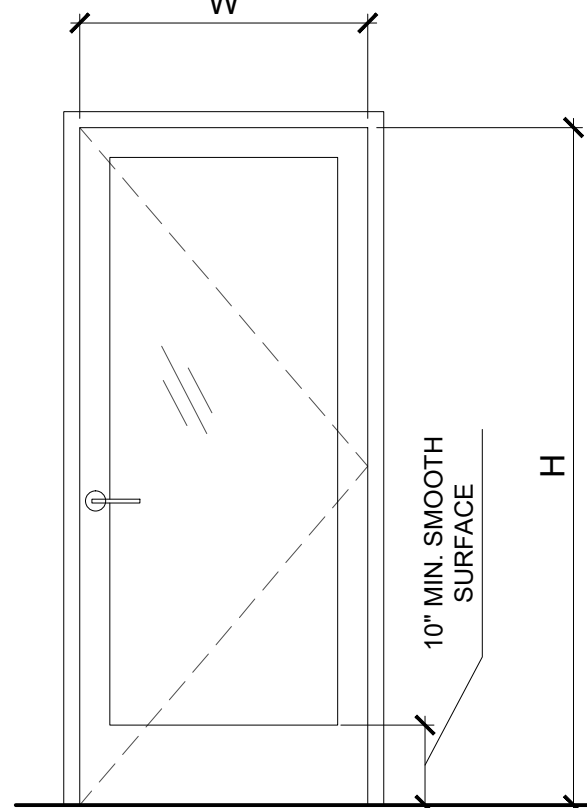
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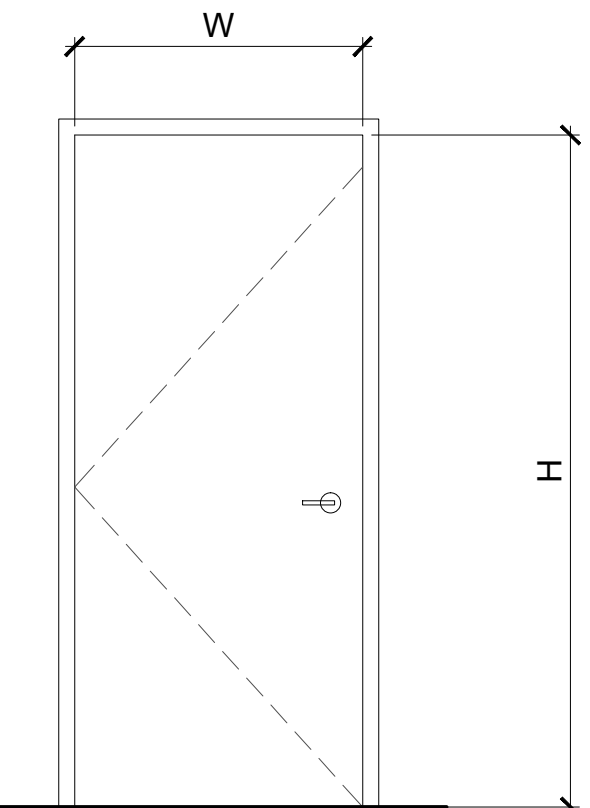
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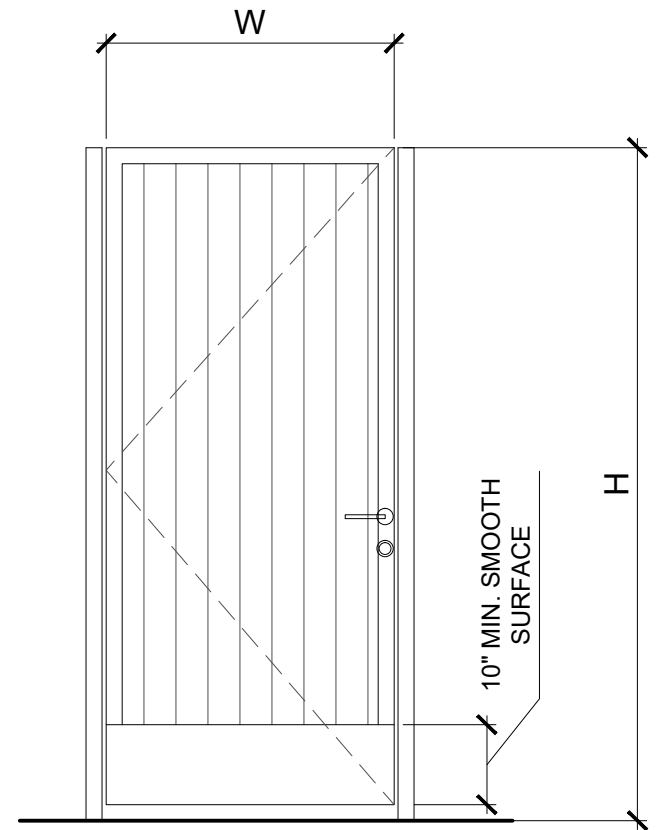
TYPE H
MECH./ ELEC. & ICE ROOM
(PROVIDE LOUVER WHERE SPECIFIED)



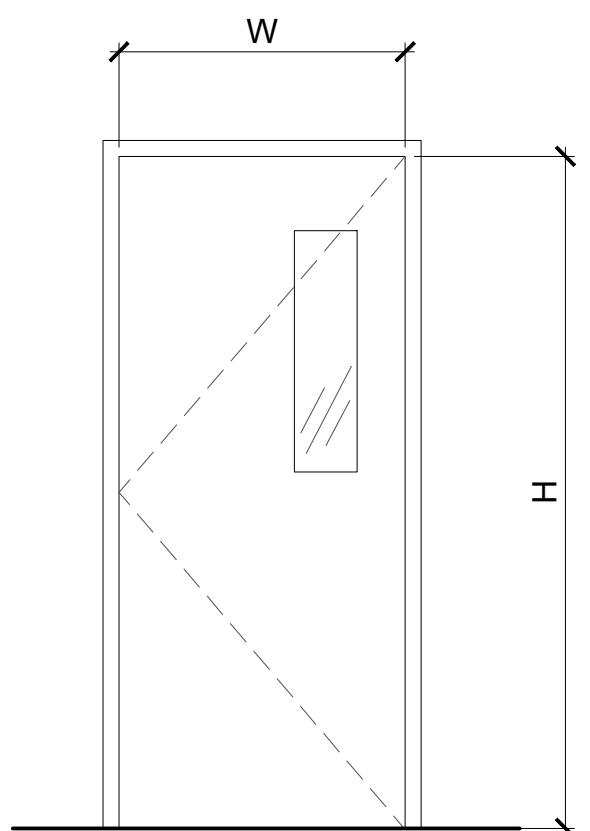
TYPE F
HM DOOR W/ GLAZING



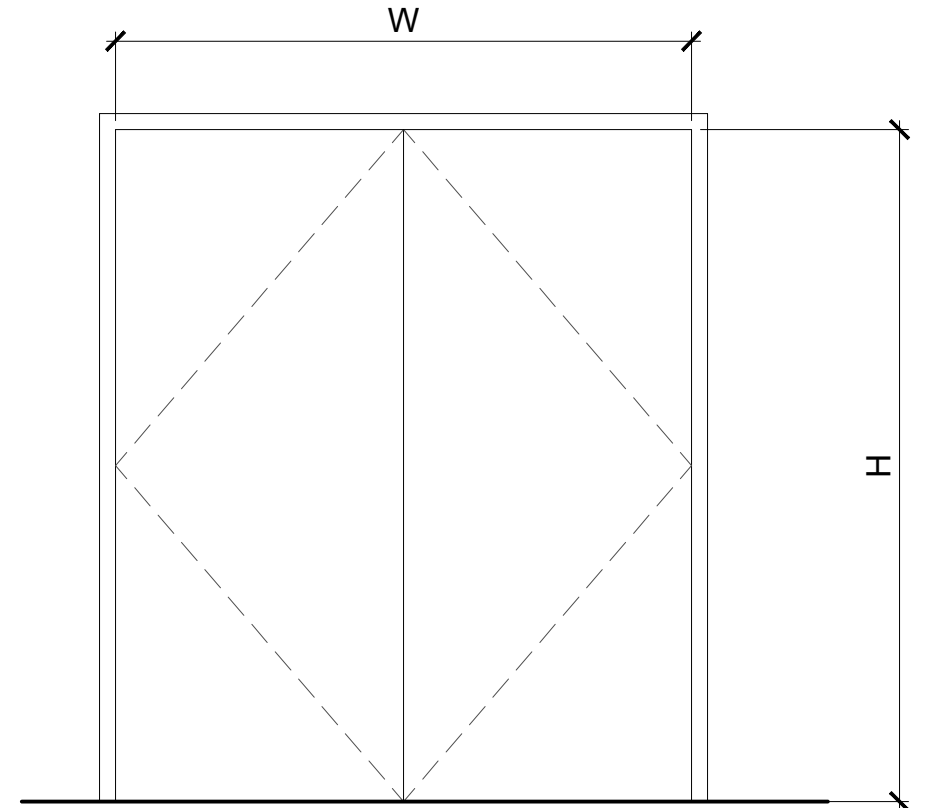
TYPE C
TYP. HM DOOR



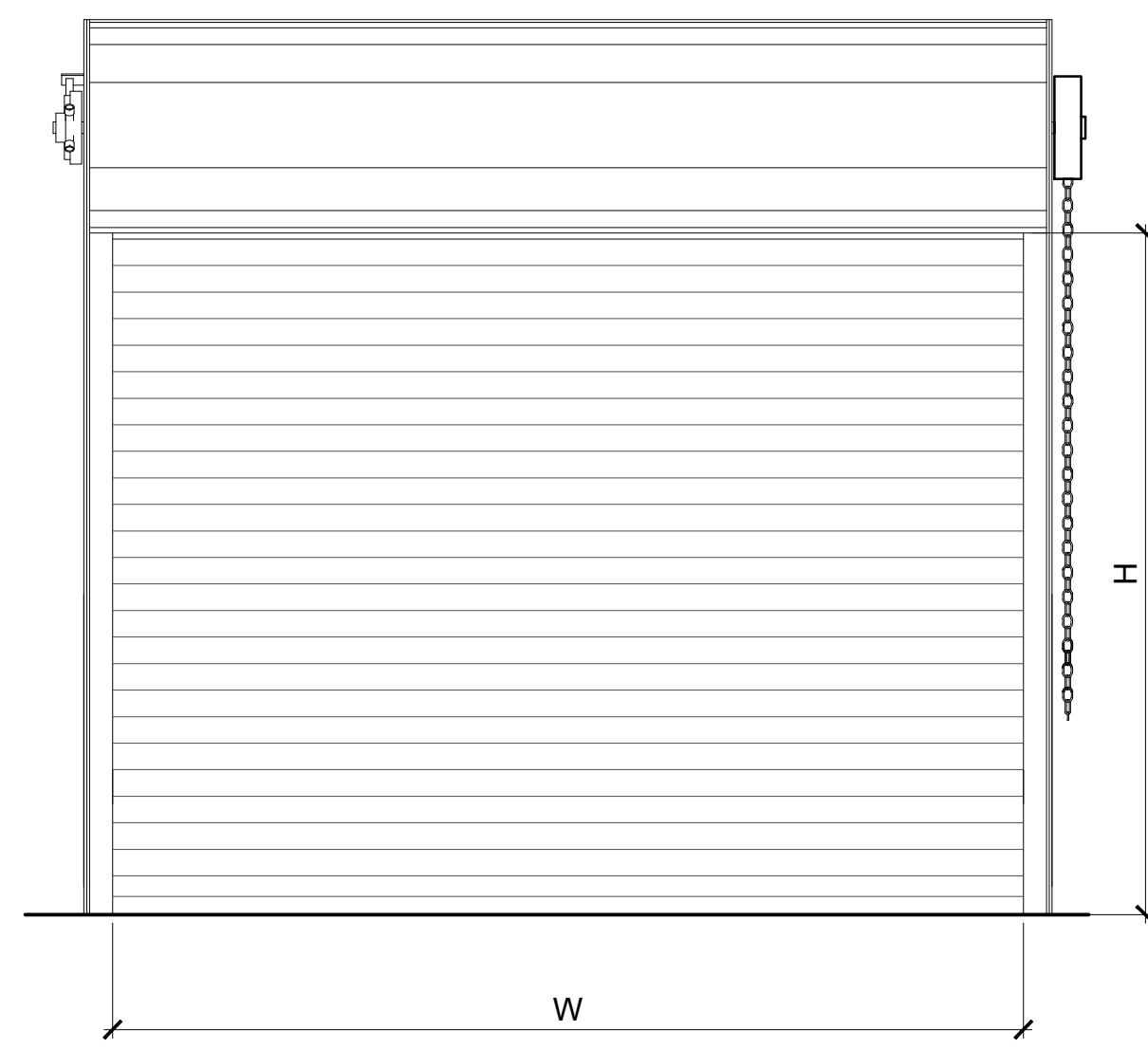
TYPE J
EXT. GATE



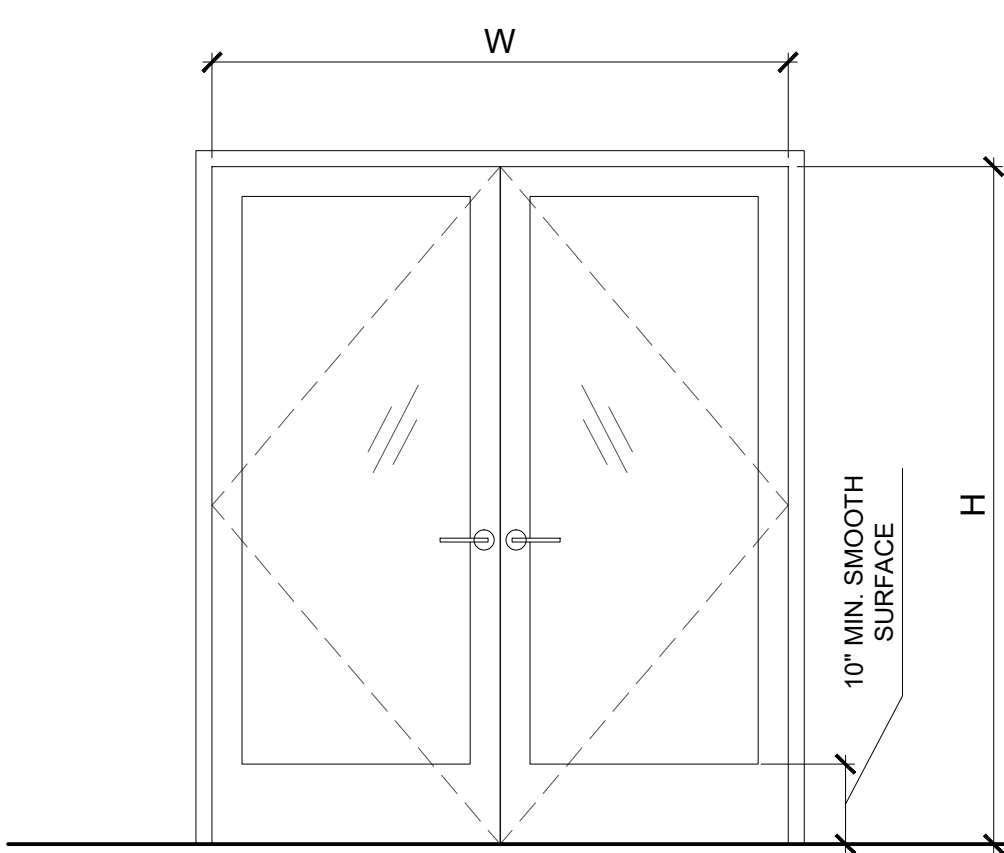
TYPE G
HM DOOR W/ VISION LITE



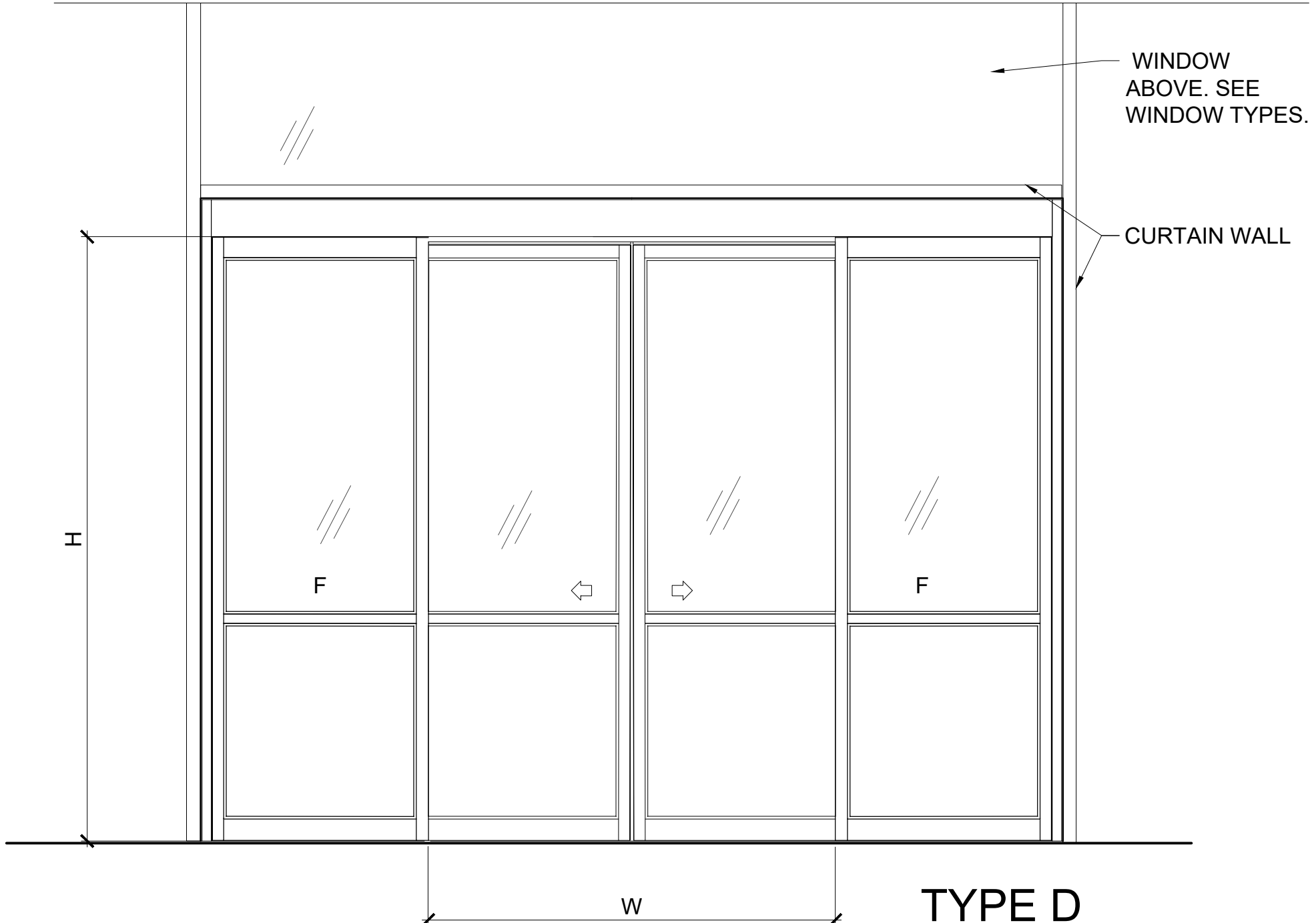
TYPE E
EXTERIOR DOOR @ HOOD



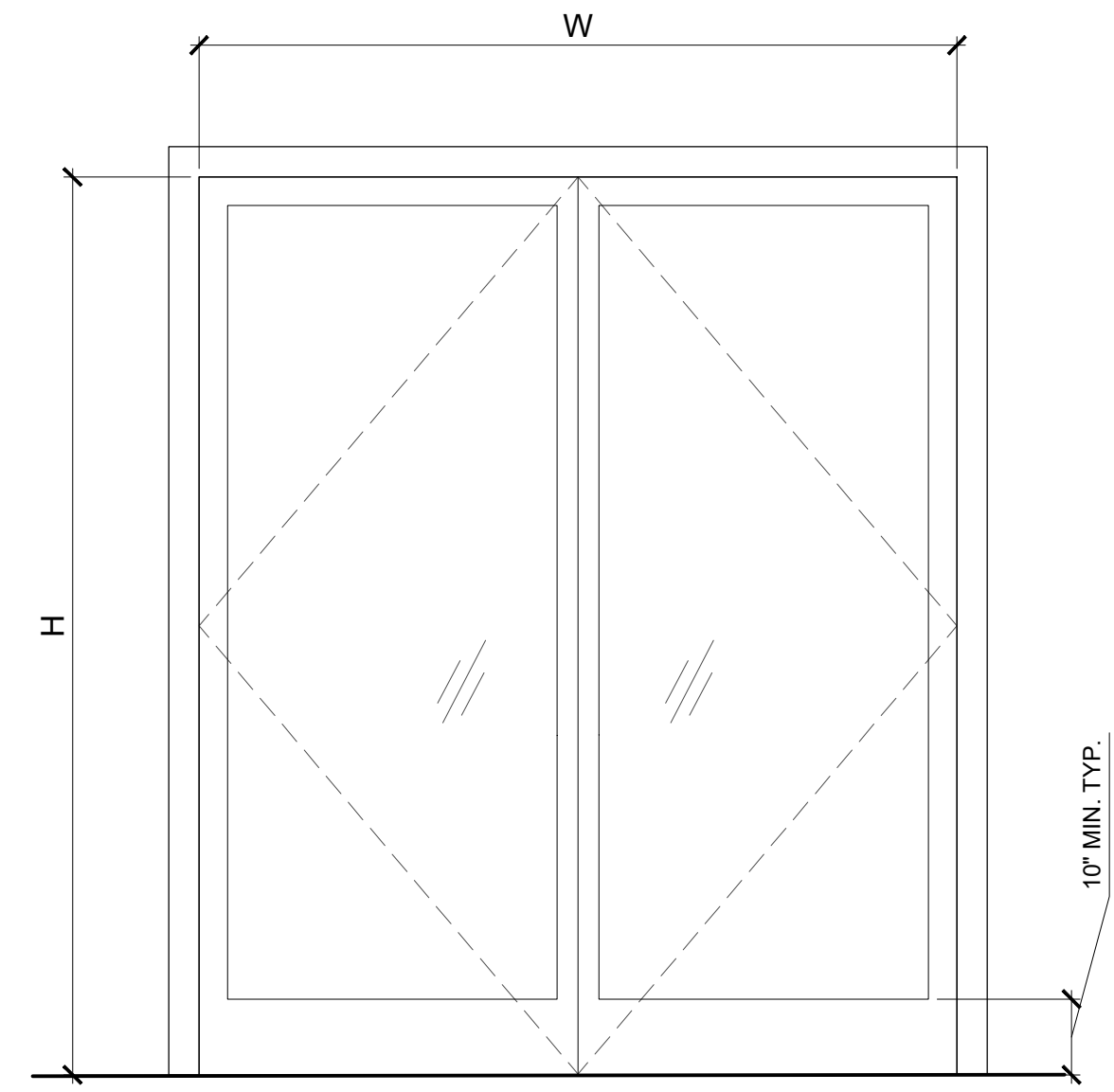
TYPE B
ROLL UP DOOR



TYPE I
HM DOOR W/ GLAZING



TYPE D
EXTERIOR & INTERIOR SLIDING AUTOMATIC DOOR



TYPE A
EXTERIOR ALUM. STOREFRONT @ ICE RESURFACER ROOM



BUREAU OF ENGINEERING
VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____
SHEET TITLE: DOOR TYPES
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

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CIP NO. _____

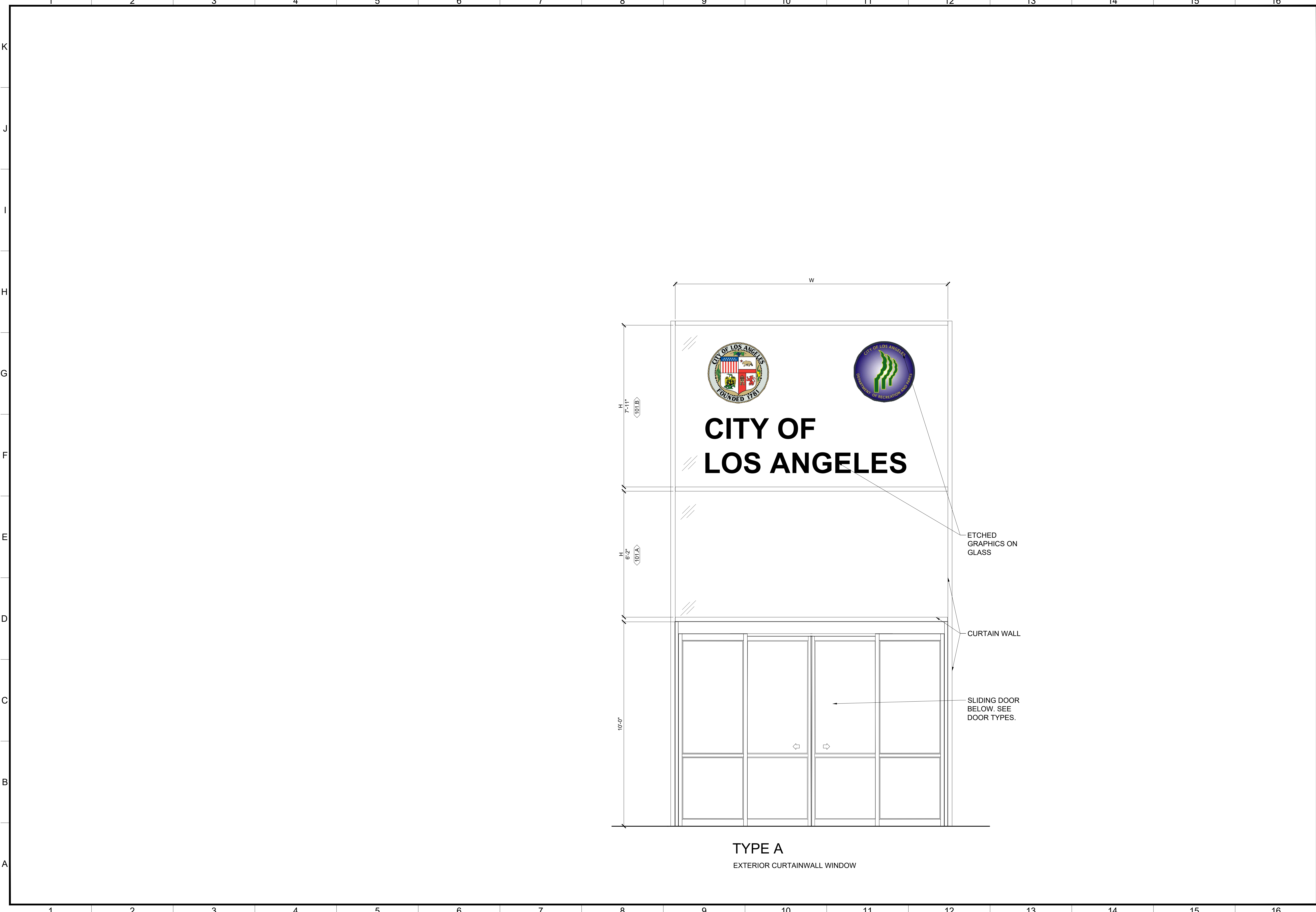
CITY OF LOS ANGELES
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP: _____
ENGINEER: _____
DESIGNED BY: _____
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CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: **A6.01**
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(DESIGN STAGE ONLY)



**CITY OF
LOS ANGELES**

TYPE A
EXTERIOR CURTAINWALL WINDOW



BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____

SHEET TITLE: WINDOW TYPES
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

NO.	REVISIONS	DATE	BY

INDEX NO. _____ CIP NO. _____

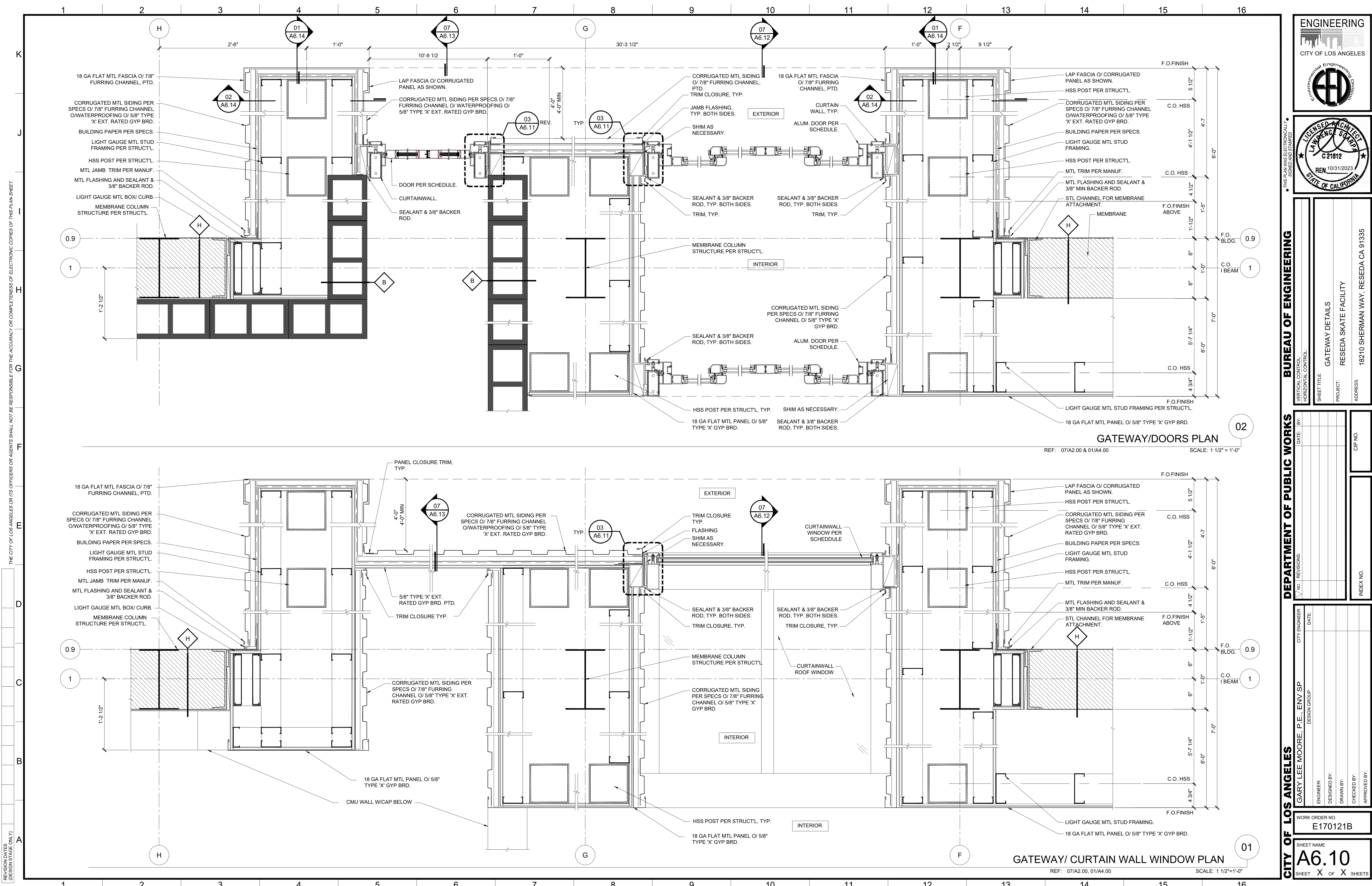
CITY OF LOS ANGELES

GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP

ENGINEER:	CITY ENGINEER	DATE:
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E170121B

SHEET NAME
A6.02
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VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

SHEET TITLE: GATEWAY DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

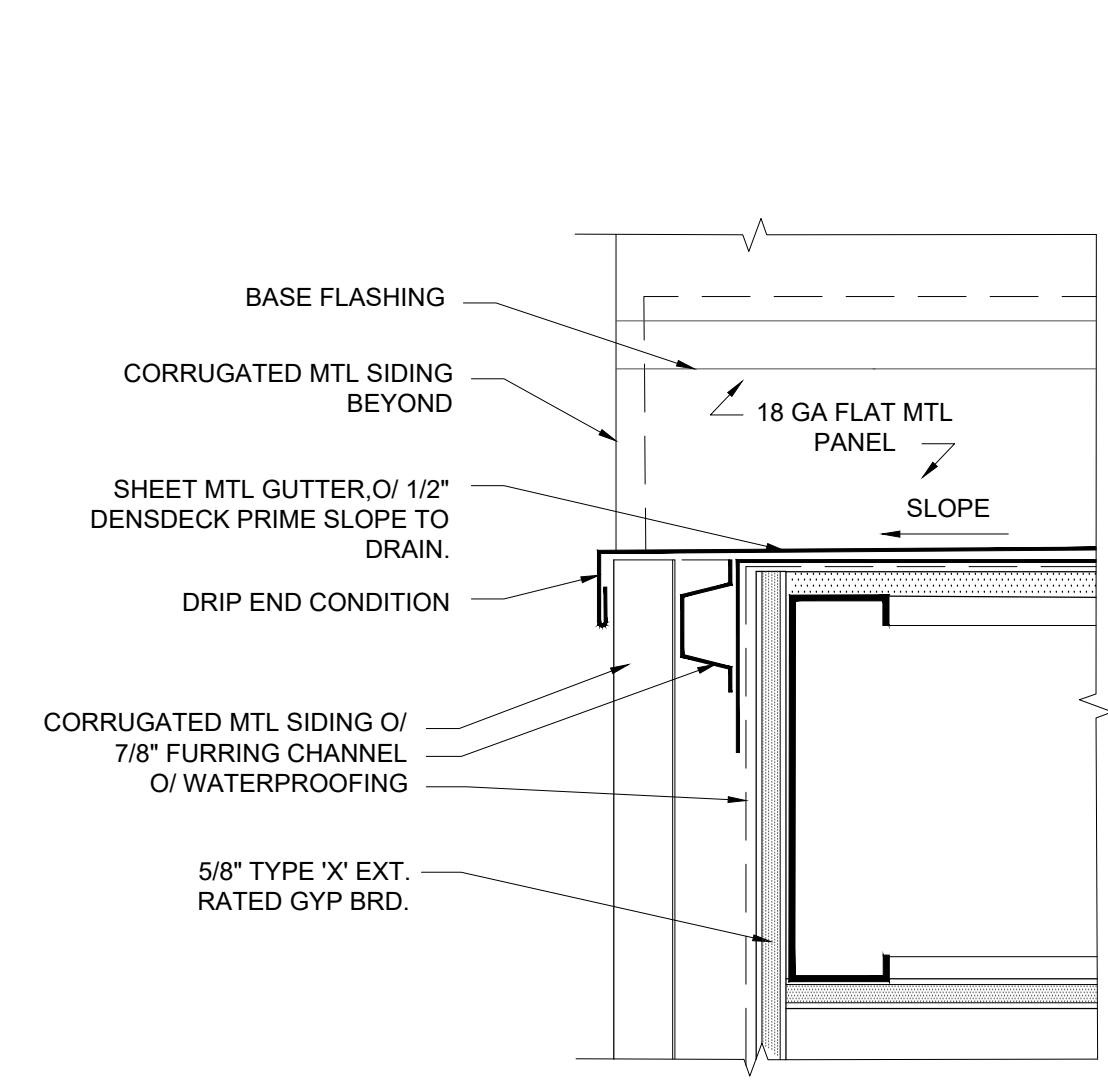
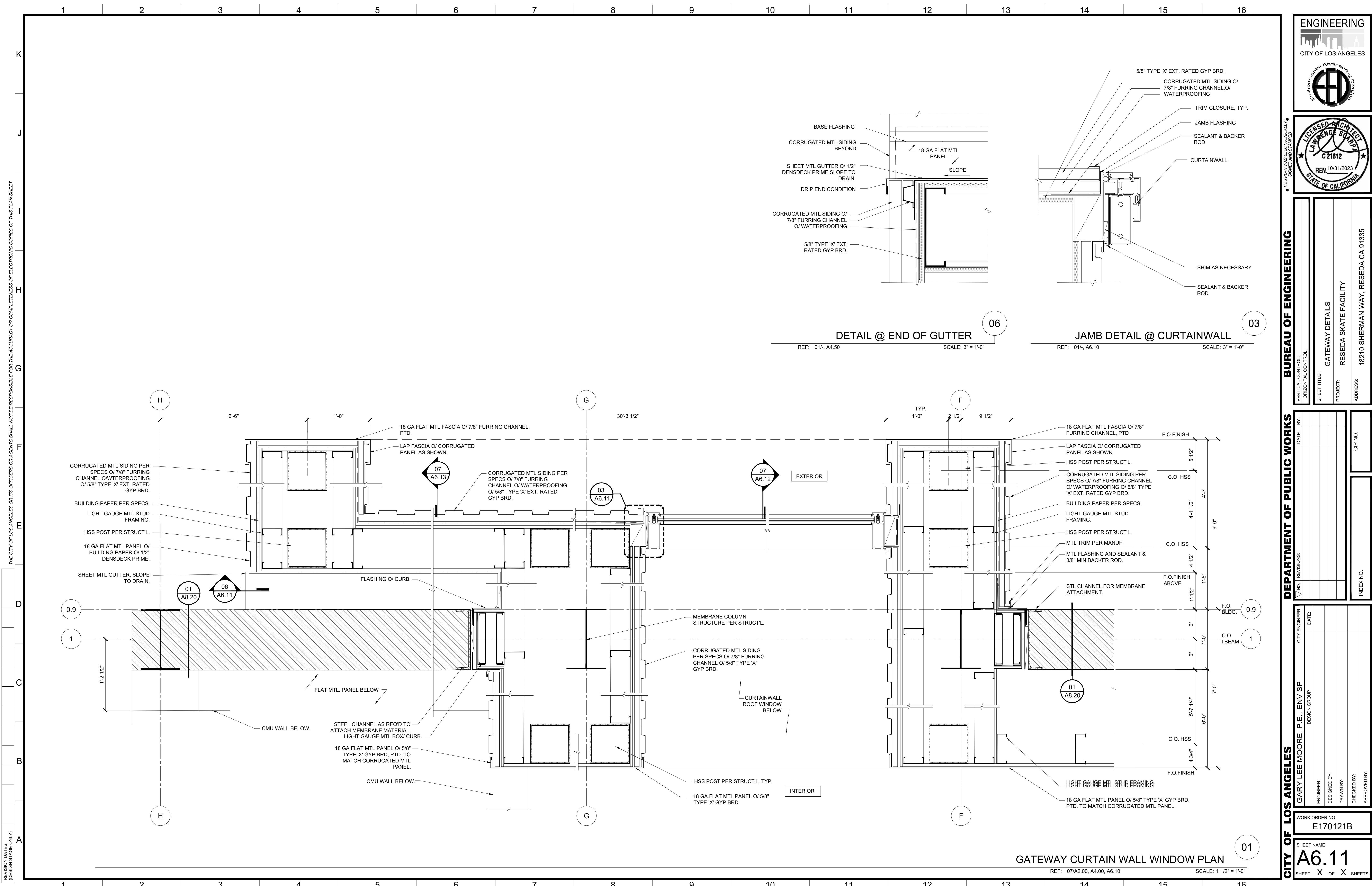
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 REVISIONS: _____

CIP NO. _____
 INDEX NO. _____

CITY ENGINEER: _____ DATE: _____
 DESIGNER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

ENGINEER: _____
 DESIGNED BY: _____
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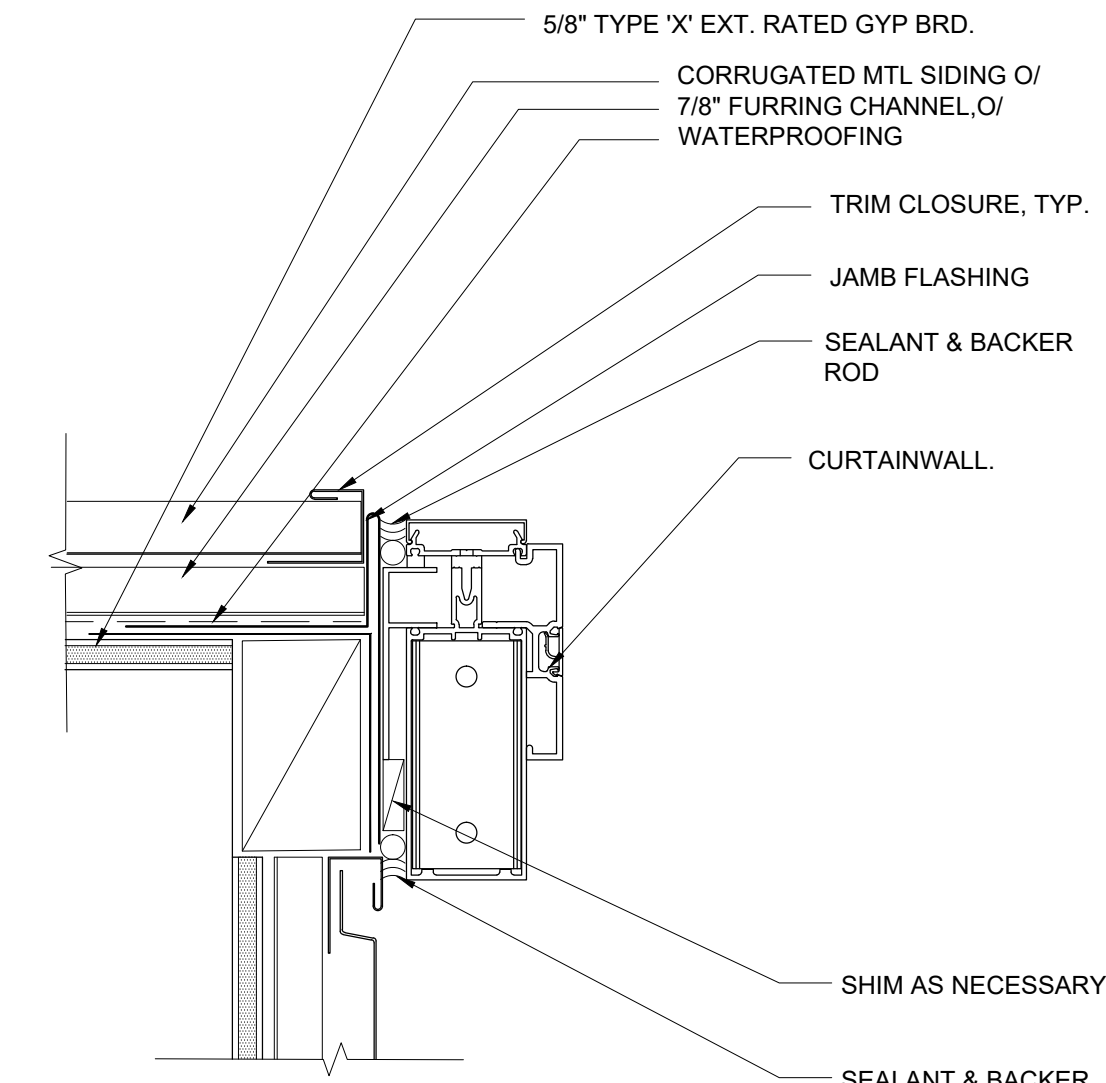
WORK ORDER NO. E170121B
 SHEET NAME: A6.10
 SHEET X OF X SHEETS



06

DETAIL @ END OF GUTTER

REF: 01/, A4.50 SCALE: 3" = 1'-0"



03

JAMB DETAIL @ CURTAINWALL

REF: 01/, A6.10 SCALE: 3" = 1'-0"

REVISION DATES (DESIGN STAGE ONLY)

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ENGINEERING
CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

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ENGINEER: _____
DESIGNED BY: _____
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CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A6.11

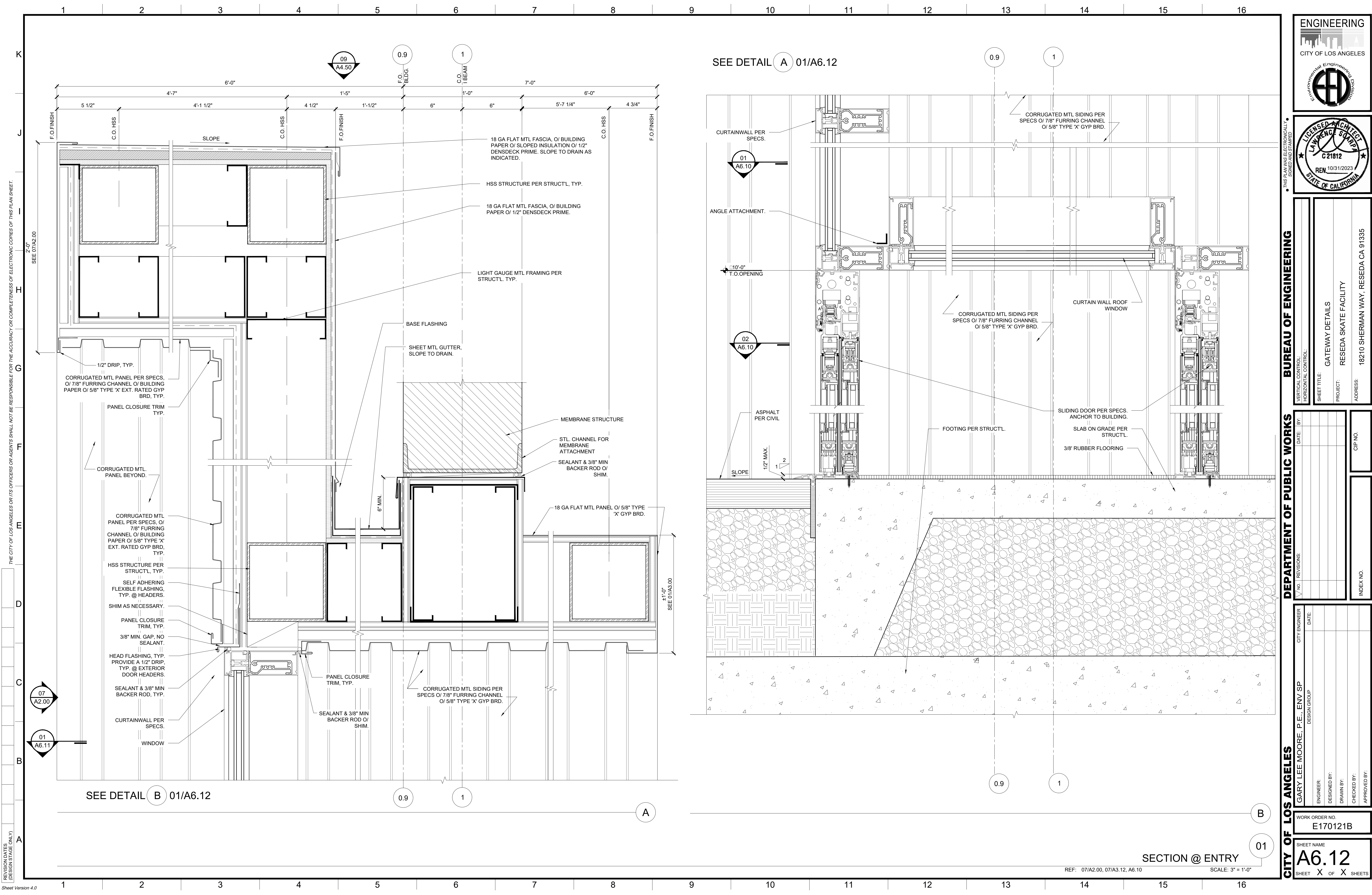
SHEET X OF X SHEETS

SHEET TITLE: GATEWAY DETAILS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

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CIP NO. _____

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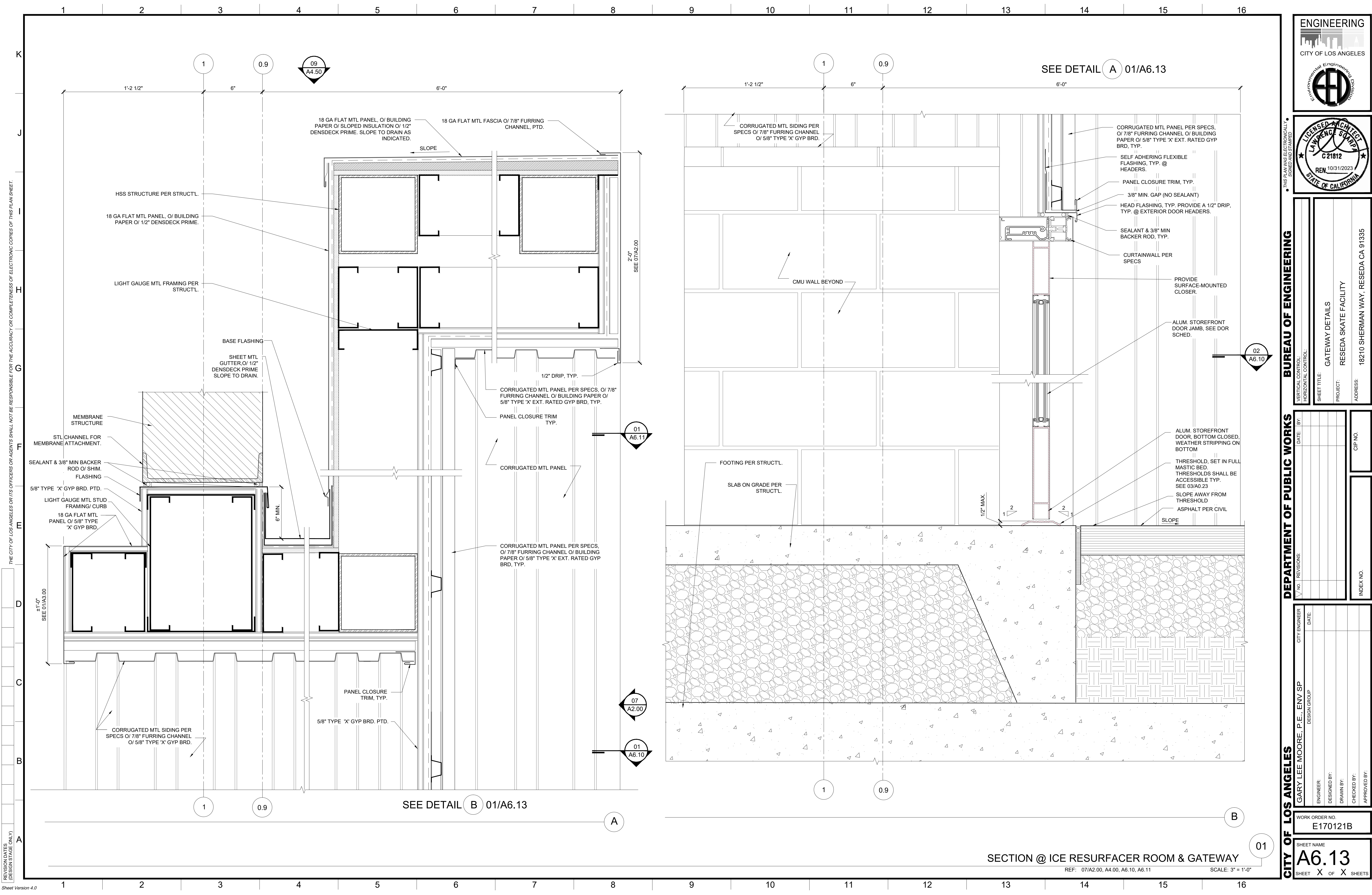
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 VERTICAL CONTROL:
 HORIZONTAL CONTROL:
 SHEET TITLE: GATEWAY DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

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 INDEX NO.
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 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
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 ENGINEER: DESIGNED BY:
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WORK ORDER NO. E170121B

SHEET NAME: A6.12
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 HORIZONTAL CONTROL:
 SHEET TITLE: GATEWAY DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE:	BY:
NO. REVISIONS:	INDEX NO.:

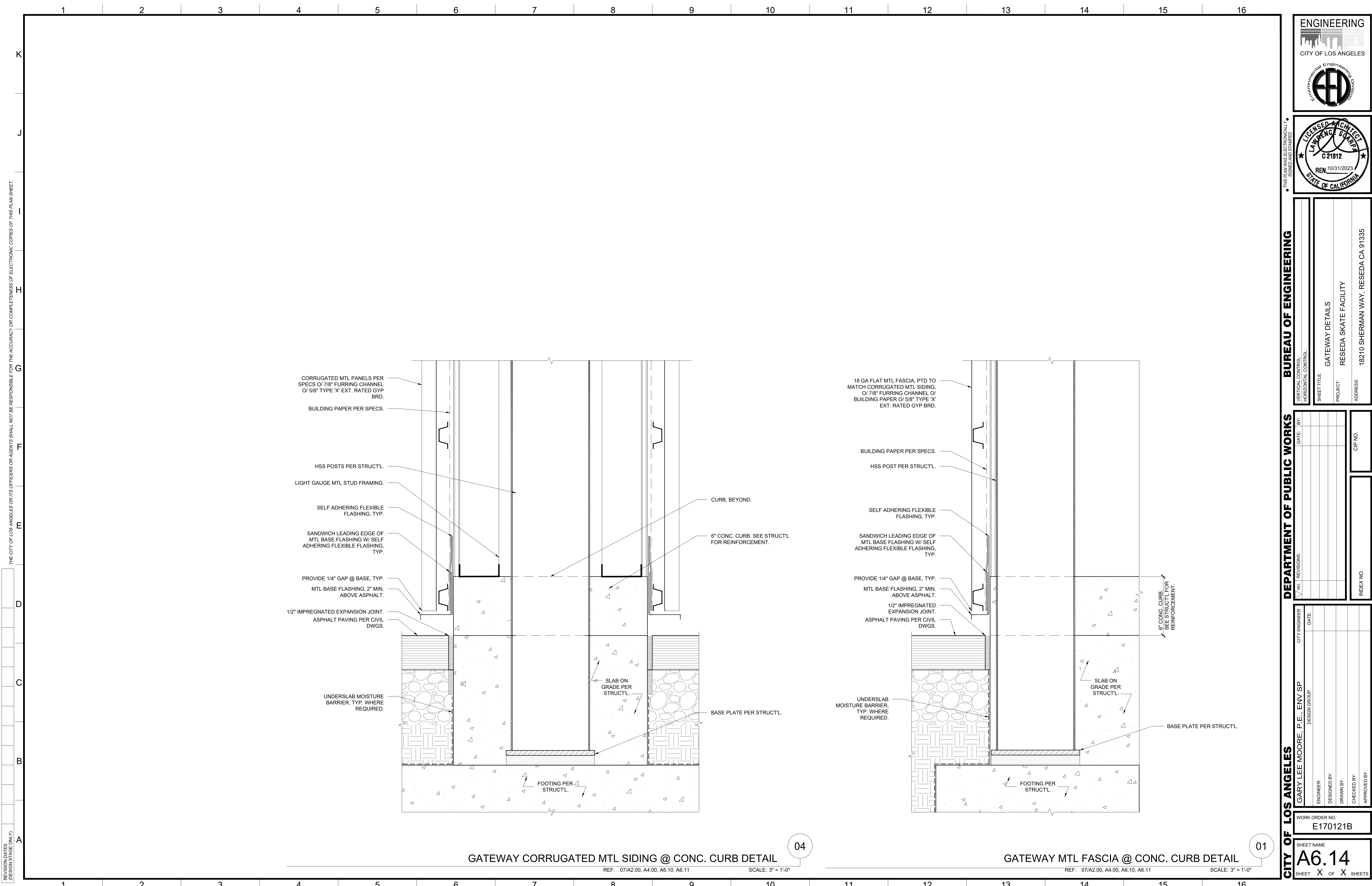
CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

WORK ORDER NO. E170121B

SHEET NAME: A6.13
 SHEET X OF X SHEETS

SECTION @ ICE RESURFACER ROOM & GATEWAY

REF: 07/A2.00, A4.00, A6.10, A6.11
 SCALE: 3" = 1'-0"



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 HORIZONTAL CONTROL: _____

SHEET TITLE: GATEWAY DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

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 INDEX NO. _____

CITY OF LOS ANGELES

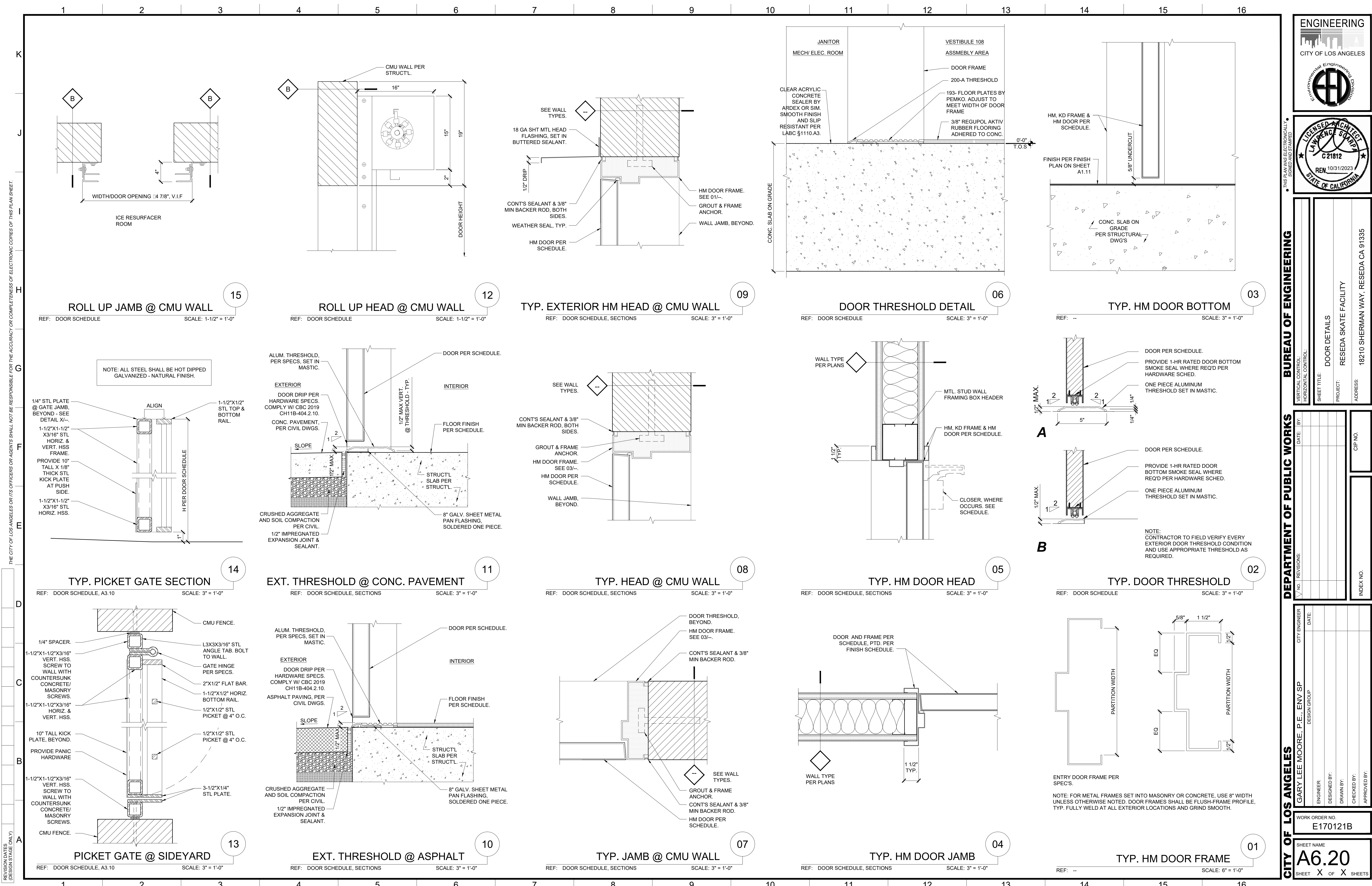
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WORK ORDER NO. E170121B

SHEET NAME: **A6.14**

SHEET X OF X SHEETS



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CITY OF LOS ANGELES

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DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

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PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

WORK ORDER NO. E170121B

SHEET NAME: A6.20
SHEET X OF X SHEETS

INDEX NO. []
CIP NO. []

DATE: []
REVISIONS: []

VERTICAL CONTROL: []
HORIZONTAL CONTROL: []

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SITE LIGHTING SCHEDULE (SEE ELEC. DWGS)
Table with columns: NO., NAME, TYPE, MANUFACTURER, MODEL, SIZE, COLOR/ FINISH, LAMP, REMARKS. Includes items like PATHWAY COLUMN, AG12 LED @ TREES, TIVO TAPE UNDER THE BENCH, etc.

BUILDING LIGHTING SCHEDULE
Table with columns: ROOM NO., ROOM NAME, ACCESSORY (QTY.), MANUFACTURER, MODEL, SIZE, COLOR/ FINISH, REMARKS. Includes HIGH BAY LIGHTING FIXTURE, LED STRIP LIGHT.

ACCESSORY SCHEDULE
Table with columns: ROOM NO., ROOM NAME, ACCESSORY (QTY.), MANUFACTURER, MODEL, SIZE, COLOR/ FINISH, REMARKS. Includes JANITOR UTILITY SHELF.

Table for room 106,107 MEN'S & WOMEN'S RESTROOM. Lists accessories like COUNTERTOP PAPER TOWEL DISPENSER, MIRROR, FLOOR STANDING WASTE RECEPTACLE, etc.

Table for room 111,112 REF. RESTROOM, GIRL'S RESTROOM. Lists accessories like ADA MIRROR, LAV SOAP DISPENSER, TOILET TISSUE DISPENSER, etc.

Table for room 111,112,114,116,117,119 REF. ROOM, GIRL'S ROOM, LOCKER ROOMS. Lists accessories like LOCKER ROOM MIRROR.

Table for room 115,118 SHARED BATHROOMS 1 & 2. Lists accessories like MIRROR, COUNTERTOP PAPER TOWEL DISPENSER, LAV SOAP DISPENSER, etc.

Table for room 115,118 SHARED BATHROOMS 1 & 2. Lists accessories like MIRROR, COUNTERTOP PAPER TOWEL DISPENSER, LAV SOAP DISPENSER, etc.

NOTE: SEE A0.23 FOR ALL MOUNTING HEIGHTS

FINISH SCHEDULE
Table with columns: ROOM NO., ROOM NAME, WALL (NORTH, SOUTH, EAST, WEST), FLOOR, CEILING, REMARKS. Includes rooms like ICE RESURFACER, ENTRY, OFFICE, SKATE STORAGE, etc.

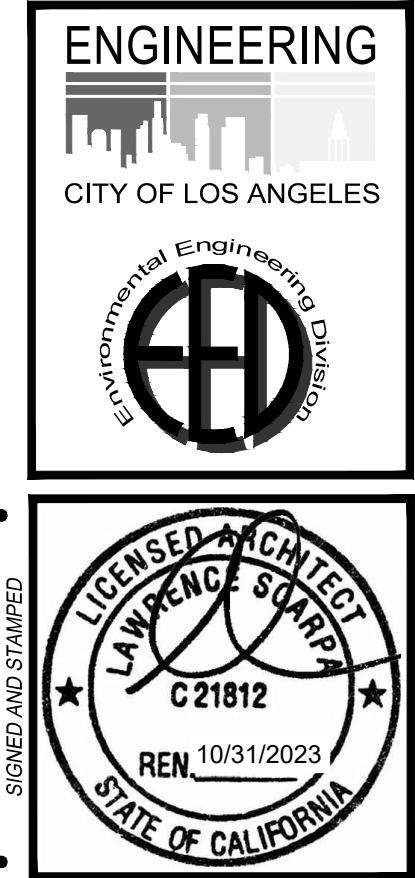
MATERIAL LEGEND, FINISH LEGEND, BASE LEGEND
Tables defining materials like GYPSUM WALL BOARD, CONCRETE, STOREFRONT, CMU, etc. and finishes like INT. PAINT, LOW VOC, SATIN FINISH.

PLUMBING FIXTURE SCHEDULE
Table with columns: ROOM NO., ROOM NAME, FIXTURE, MANUFACTURER, MODEL, SIZE, COLOR/ FINISH, REMARKS. Includes fixtures like SINK FAUCET, MOP SINK, SERVICE FAUCET, TOILET, URINAL, etc.

NOTES: LAV SINK AT SHARED BATHROOMS (NOT IN ADA WATER CLOSETS), MEN'S AND WOMEN'S RESTROOMS IS AN INTEGRAL BOWL SOLID SURFACE COUNTERTOP BY 'LG HI-MACS' OR EQUAL.
INSTALL GRAB BARS @ ALL ACCESSIBLE STALLS.
COUNTERTOP/ BACKSPLASH AT BREAK ROOM IS SOLID SURFACE BY 'CORIAN' OR EQUAL.

APPLIANCES
Table with columns: ROOM NO., ROOM NAME, MANUFACTURER, ENERGY STAR, MODEL, SIZE, FINISH, REMARKS. Includes BREAK ROOM.

GENERAL NOTES:
1. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD INDEX PER CBC 2019 T803.11.
2. PER CBC 2019 SECTION 11B-302.1, FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
3. CHANGES IN LEVEL SHALL COMPLY WITH CBC 2019 SECTION 11B-303.
4.- 6. OMIT
7. ALL APPLIANCES SHALL BE ENERGY STAR RATED IF SUCH A DESIGNATION EXISTS FOR THAT APPLIANCE.
8. NON PAPER-FACED, MOLD AND WATER RESISTANT DRYWALL SHALL BE USED IN ALL BATHROOMS.
9. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN CBC SECTION 4.303.1.
10. CERAMIC TILE AT ALL BATHROOM WALLS SHALL BE THIN-SET, WHITE, 'SEMI-GLOSS' FINISH.



BUREAU OF ENGINEERING
SCHEDULES (SHELL & CORE)
RESEDA SKATE FACILITY
18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
DESIGN GROUP
DATE:
REVISIONS:
INDEX NO.

CITY OF LOS ANGELES
WORK ORDER NO. E170121B
SHEET NAME A7.00
SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)
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REVISION DATES (DESIGN STAGE ONLY)
A
B
C
D
E
F
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H
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K

AUDIO-VIDEO-LIGHTING SPECIALTY EQUIPMENT (OUTDOOR) - INFO PROVIDED BY ASEC						
NO.	TYPE	LOCATION (VERIFY W/ PLANS AND OWNER)	MANUFACTURER/ MODEL	QUANTITY (VERIFY W/ PLANS AND OWNER)	COLOR/ FINISH	REMARKS
LC	LED BAR 1 METER IP65	GATEWAY	PER OWNER	15	PER OWNER	OUTDOOR RATED. SECURE IN CEILING AND ON GROUND.
LF	WHITE LED FLOOD IP65	PLANTER	PER OWNER	4	PER OWNER	-
S	OUTDOOR SURFACE SPEAKER	GATEWAY	PER OWNER	2	BLACK OR WHITE	PROVIDE ADAPTER & DSP AMPLIFIER.

AUDIO-VIDEO-LIGHTING SPECIALTY EQUIPMENT (INDOOR) - INFO PROVIDED BY ASEC

ROOM NO.	ROOM NAME	FURNISHING/EQUIPMENT	MANUFACTURER OR EQ.	MODEL	SIZE	COLOR/ FINISH	REMARKS
100	ICE RESURFACER ROOM	ICE RESURFACER	-	-	-	-	SEE R DWGS & SPECS. ELECTRIC.
		SNOW MELT PIT	-	-	SEE A4.00 & R DWGS.	-	SEE R DWGS. CONC. WALLS ARE PART OF S&C SCOPE
101	ENTRY / ASSEMBLY	BLEACHERS	RINKSYSTEMS	-	-	PER OWNER	SEE A1.10, 2 ROWS, NON-COMBUSTIBLE
		SNACK MERCHANDISER	VENDING COM	-	35.2"W x 34.75"D x 72"H	PER OWNER	32 SELECTIONS, OR EQUAL
		COLD BEVERAGE MERCHANDISER	VENDING COM	-	41"W x 38"D x 72" H	PER OWNER	OR EQUAL
		COFFEE VENDING MACHINE	VENDING COM	-	27.5"W x 28D x 72"H	PER OWNER	PROVIDE 15-116PSI (1-8 BAR) PER MANUFACTURER
102	OFFICE	DESKS	PER OWNER	-	SEE A4.00	PER OWNER	-
		CHAIRS	PER OWNER	-	SEE A4.00	PER OWNER	-
		SKATE STORAGE RACK (3)	RINKSYSTEMS	-	SEE A4.00	PER OWNER	FLOOR MOUNTED
103	SKATE STORAGE	SKATE SHARPENER	BLADE MASTER	-	SEE A4.00	PER OWNER	OR EQUAL
		TABLE	PER OWNER	-	SEE A4.00	PER OWNER	-
		SKATE STORAGE RACK	RINKSYSTEMS	-	SEE A4.00	PER OWNER	FLOOR MOUNTED
111, 112, 114, 116, 117, 119	REF. ROOM, GIRL'S ROOM, LOCKER ROOMS	SHELF W/ EQUIPMENT HOOKS	RINKSYSTEMS	-	-	-	SEE INT. ELEVATIONS
		BENCH	RINKSYSTEMS	-	-	-	SEE INT. ELEVATIONS. WALL MOUNTED W/ BRACKETS
120	ICE RINK	PROTECTIVE NETTING	PER OWNER	-	-	-	SEE NOTES BELOW
		SLED HOCKEY BOXES	PER OWNER	-	-	-	REMOVABLE

NOTES (SEE ALSO MODIFICATION):
 1. PROTECTIVE NETTING: PER THE OFFICE OF THE FIRE STATE MARSHALL THE CALIFORNIA TITLE 19 REGULATIONS ALLOWS THE MANUFACTURER OR FABRICATOR TO MEET THE FIRE RESISTANCE REQUIREMENTS BY HAVING THE NETTING TREATED BY A CALIFORNIA LICENSED GENERAL APPLICATOR.

TITLE 19 CALIFORNIA CODE OF REGULATIONS.
 ARTICLE 4 REGISTRATION OF FLAME RETARDANT.
 1272. FABRIC REGISTRATION MANUFACTURERS WHO MARKET A FLAME RETARDANT FABRIC OR MATERIAL FOR USE AS DRAPERIES, UPHOLSTERY, WALL COVERINGS, ETC., OR A FLAME RETARDANT CANVAS FOR USE IN TENTS, MAY HAVE THEIR PRODUCT LISTED UNDER ITS TRADE NAME AS A REGISTERED FLAME RETARDANT FABRIC OR MATERIAL PROVIDED THAT:
 (a) THE FABRIC OR MATERIAL IS TREATED BY A REGISTERED FLAME-RETARDANT APPLICATION CONCERN WITH A REGISTERED CHEMICAL.
 CONTRACTOR SHALL ENGAGE A REGISTERED APPLICATOR TO TREAT THE PROTECTIVE NETTING PER THE ABOVE.



VERTICAL CONTROL:
 HORIZONTAL CONTROL:

SHEET TITLE: SCHEDULES (FF&E)
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

INDEX NO. _____

CIP NO. _____

DATE: _____

BY: _____

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

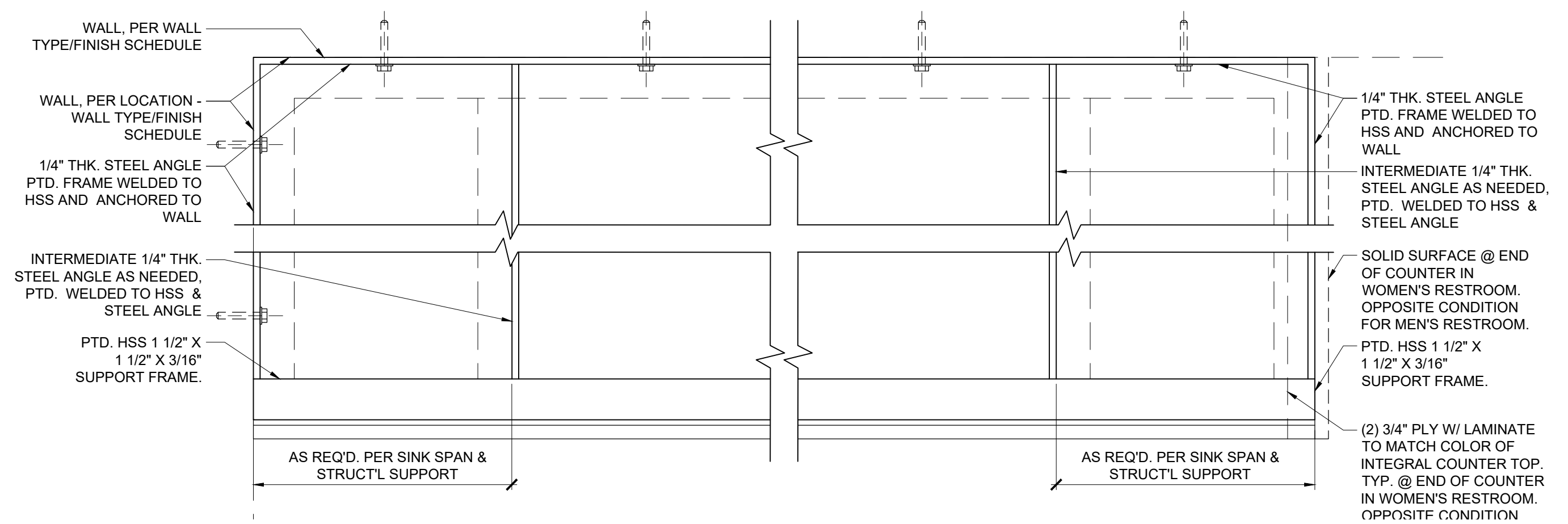
ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A7.00A
 SHEET X OF X SHEETS

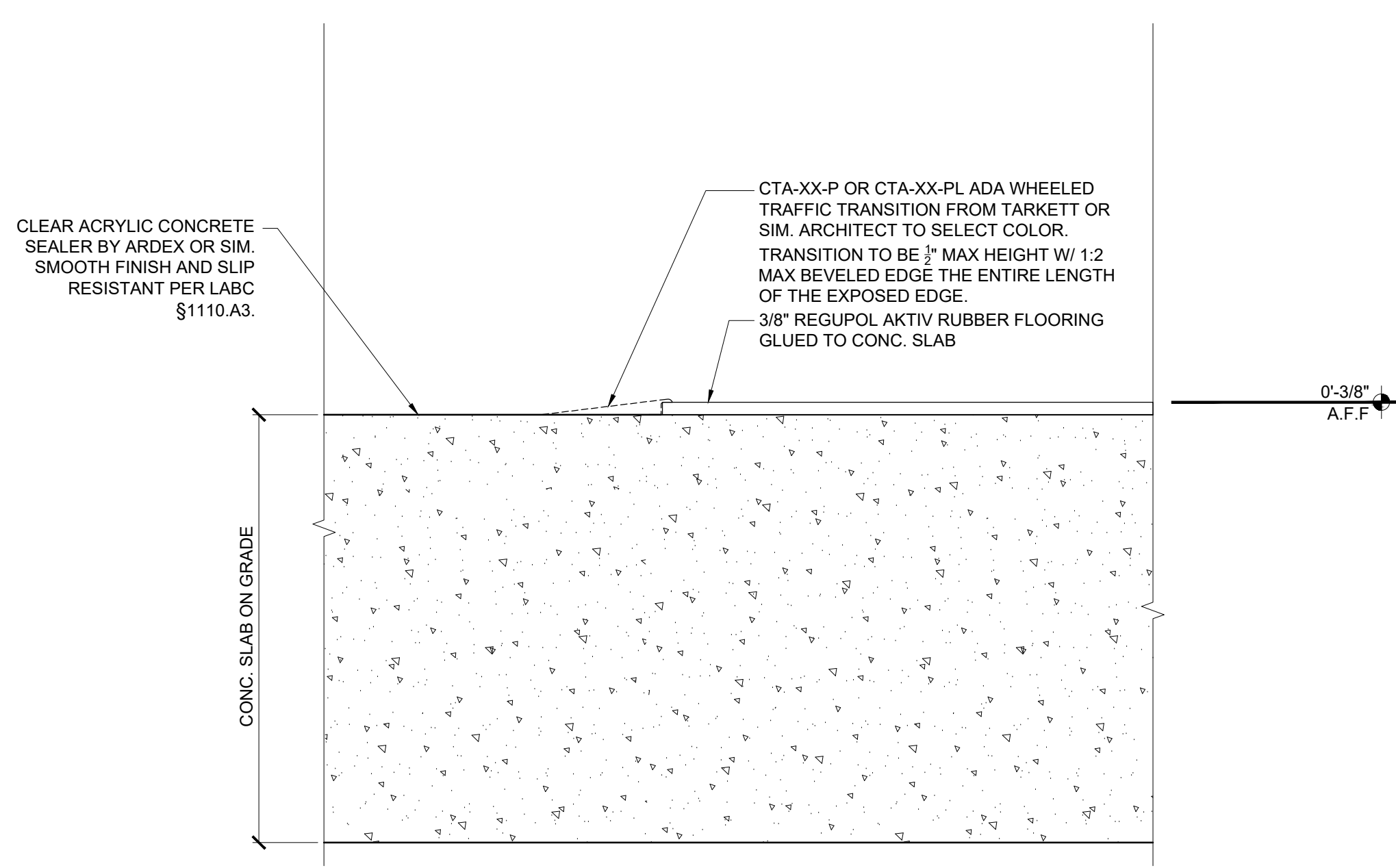
THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES (DESIGN STAGE ONLY)



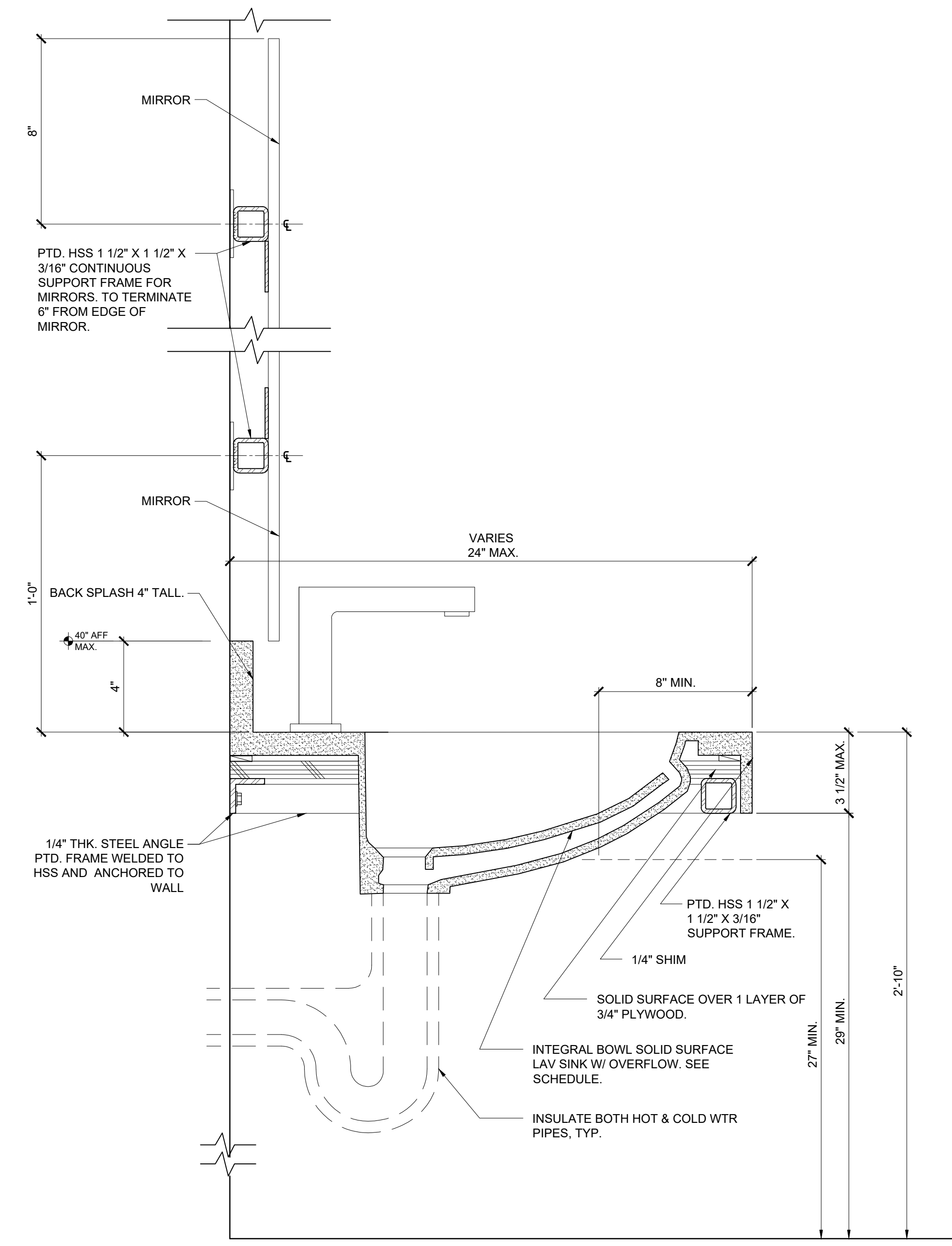
BATHROOM COUNTERTOP SUPPORT FRAME @ SHARED BATHROOMS
 REF: A7.10 - A7.13 SCALE: 3" = 1'-0"

03



WHEELED TRAFFIC TRANSITION
 REF: SECTIONS, FINISH PLAN, ENLARGED PLANS SCALE: 3" = 1'-0"

04



BATHROOM COUNTERTOP @ SHARED BATHROOMS
 REF: A7.10 - A7.13 SCALE: 3" = 1'-0"

01

ENGINEERING
 CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:

WORK ORDER NO. E170121B

SHEET NAME: A7.01

SHEET X OF X SHEETS

SHEET TITLE: FINISH DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

INDEX NO.
 CIP NO.

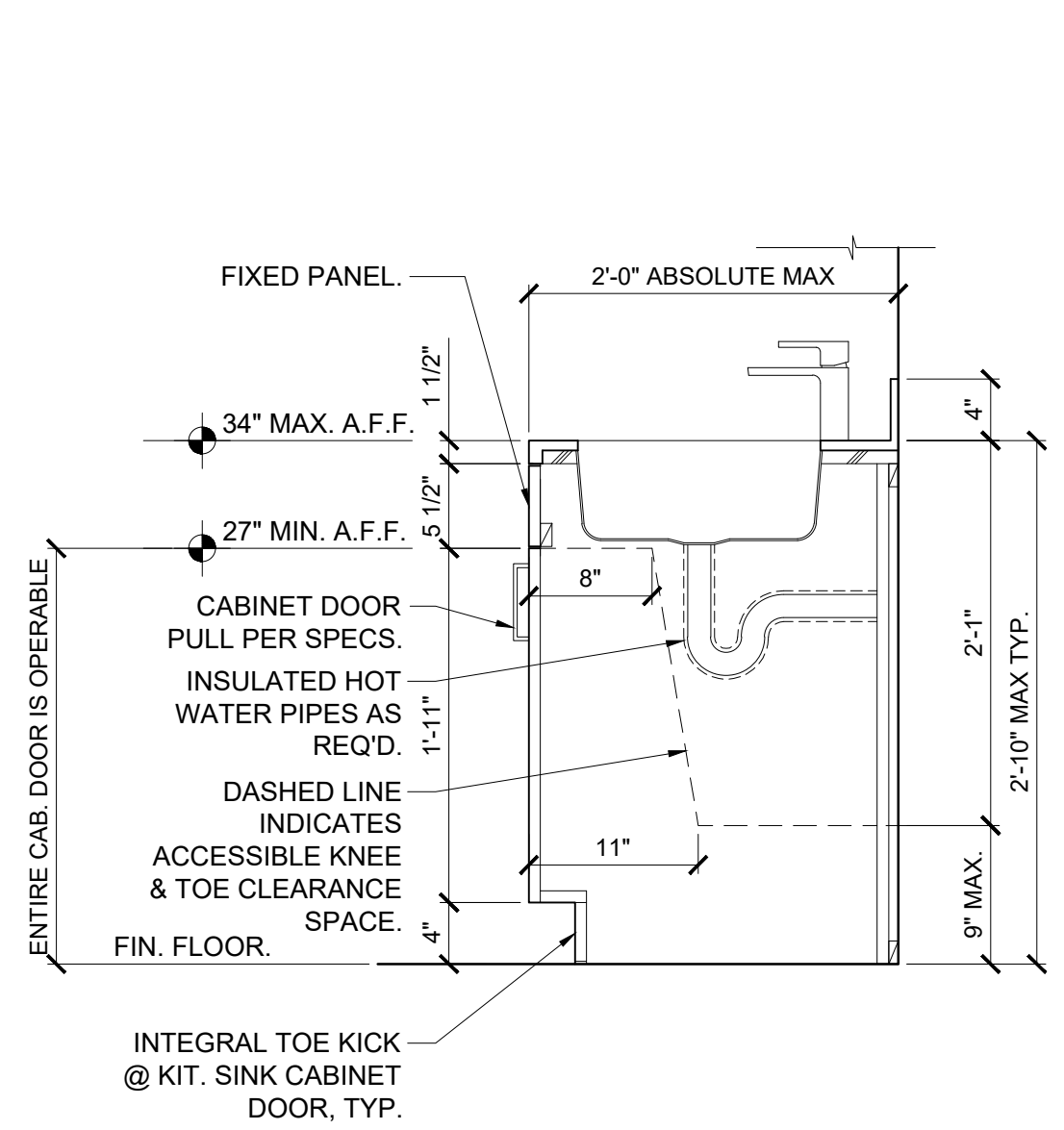
DATE:
 REVISIONS:
 NO. BY:

VERTICAL CONTROL:
 HORIZONTAL CONTROL:

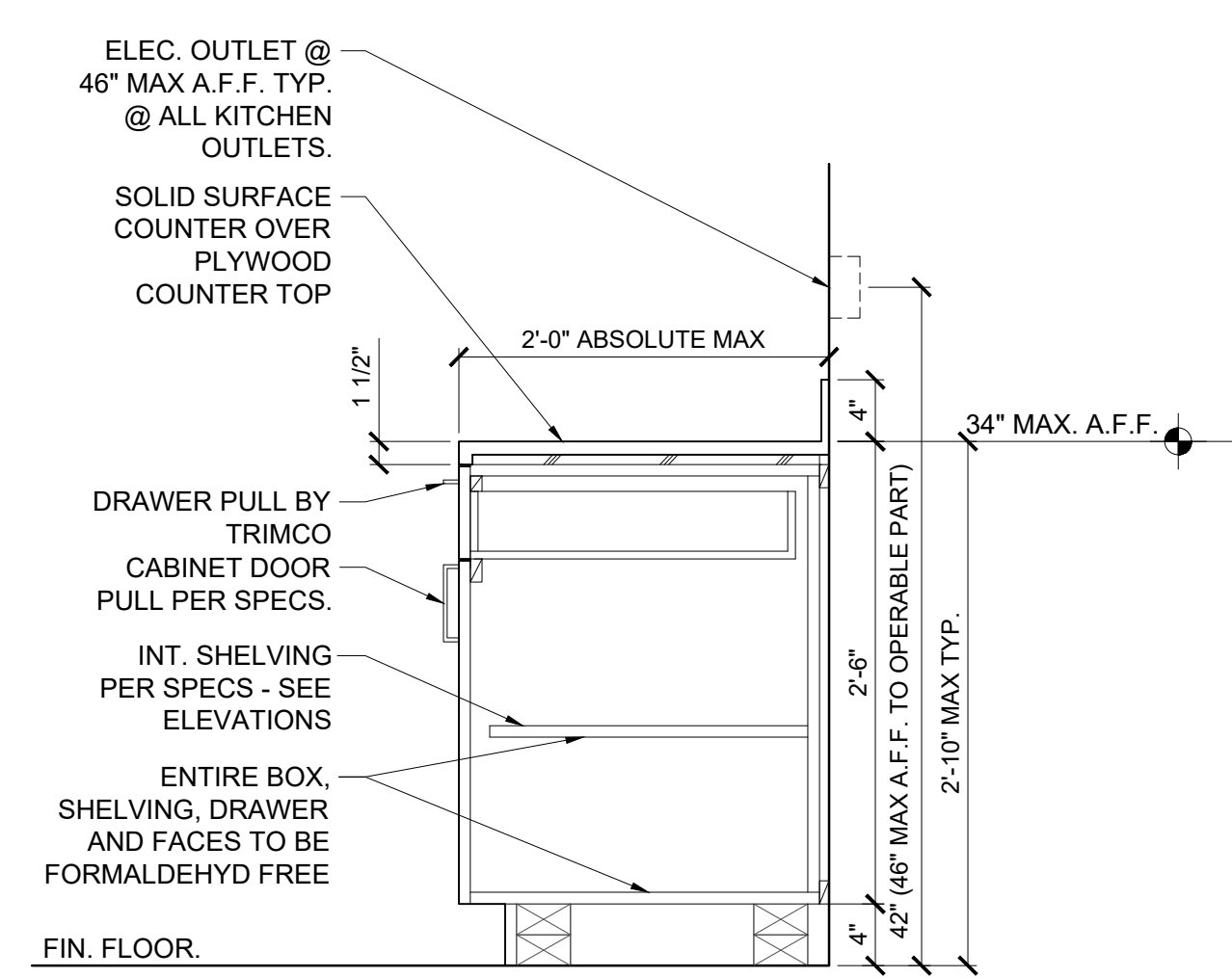
THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED

ENVIRONMENTAL ENGINEERING DIVISION

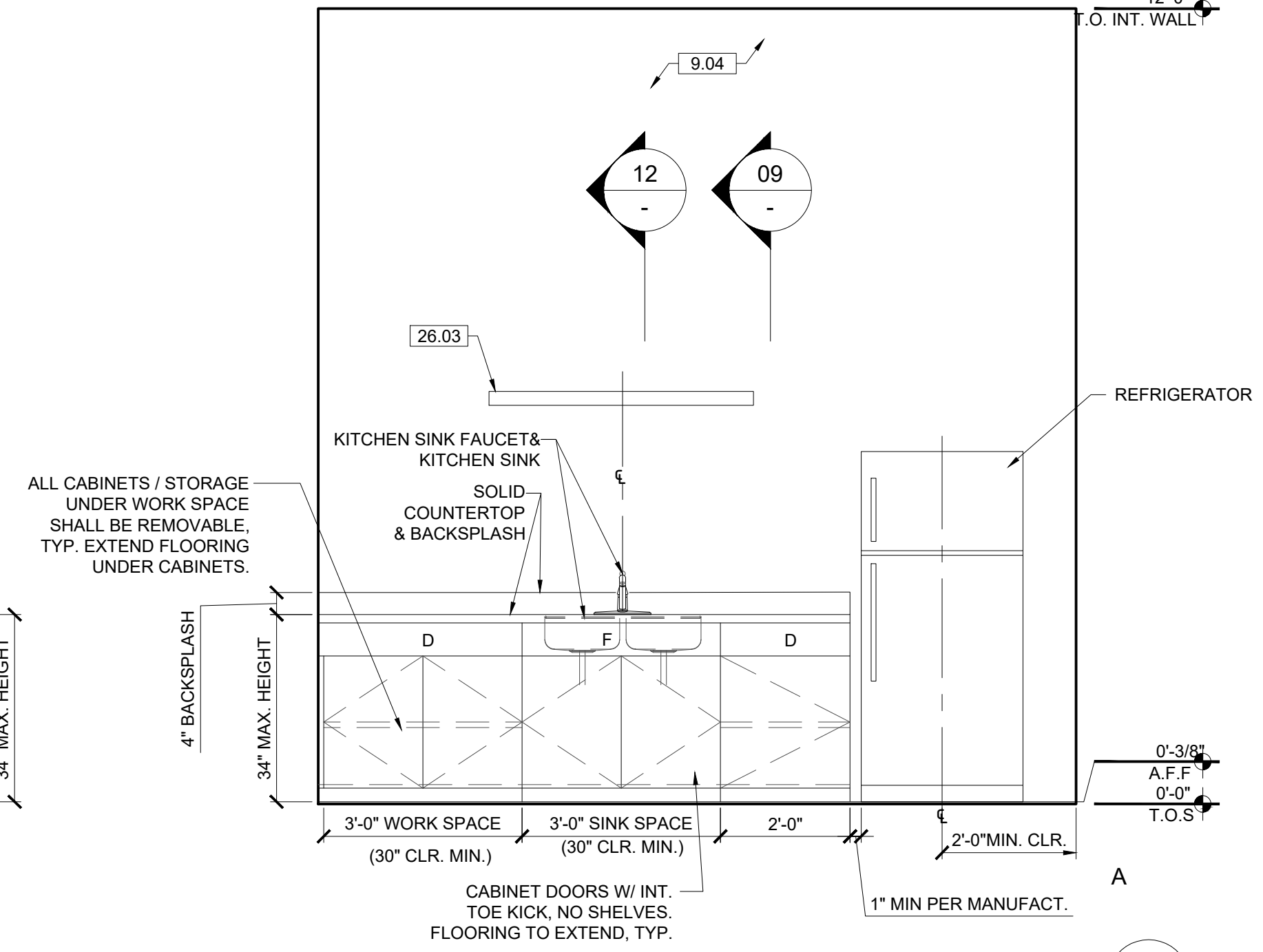
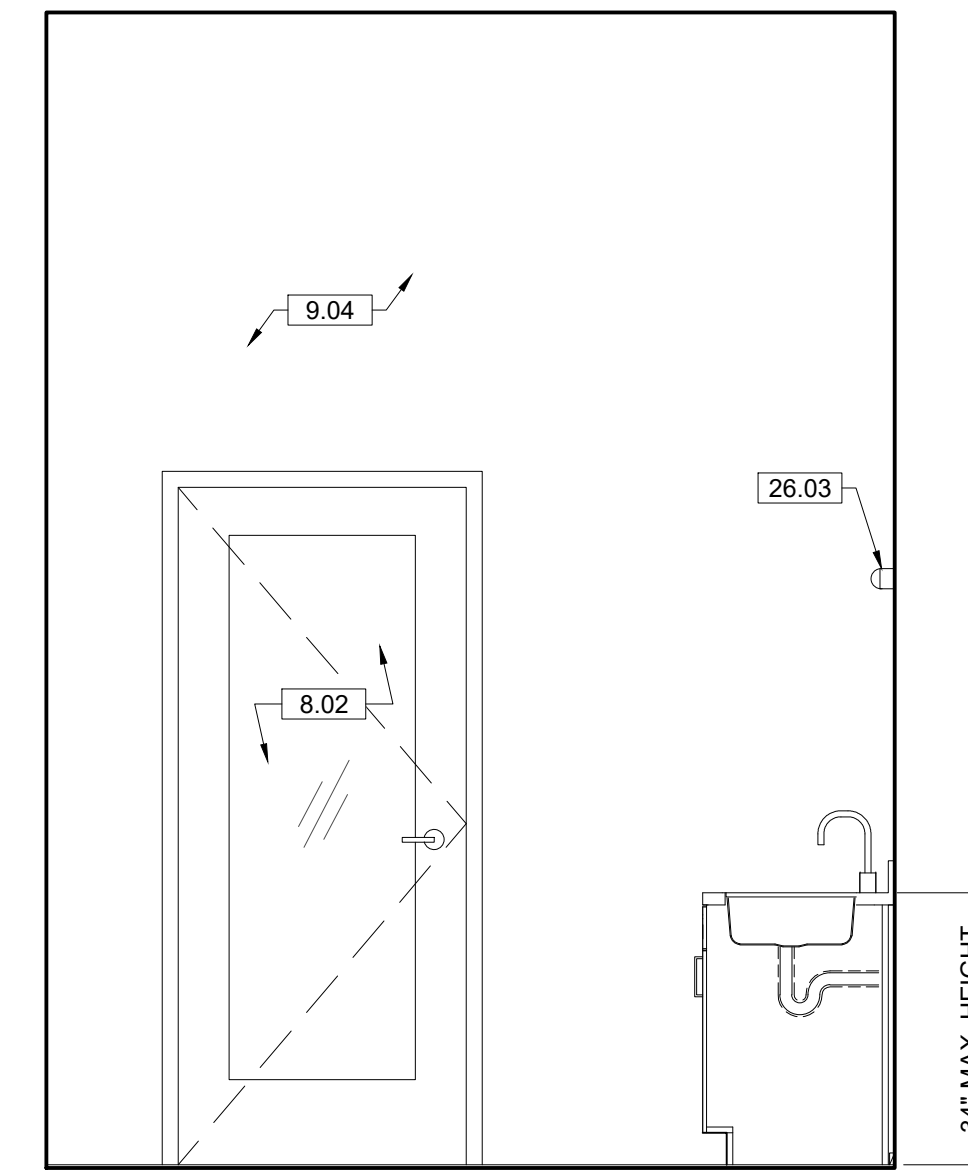
LICENSED ARCHITECT
 LAWRENCE S. PARRA
 C21812
 REN. 10/31/2023
 STATE OF CALIFORNIA



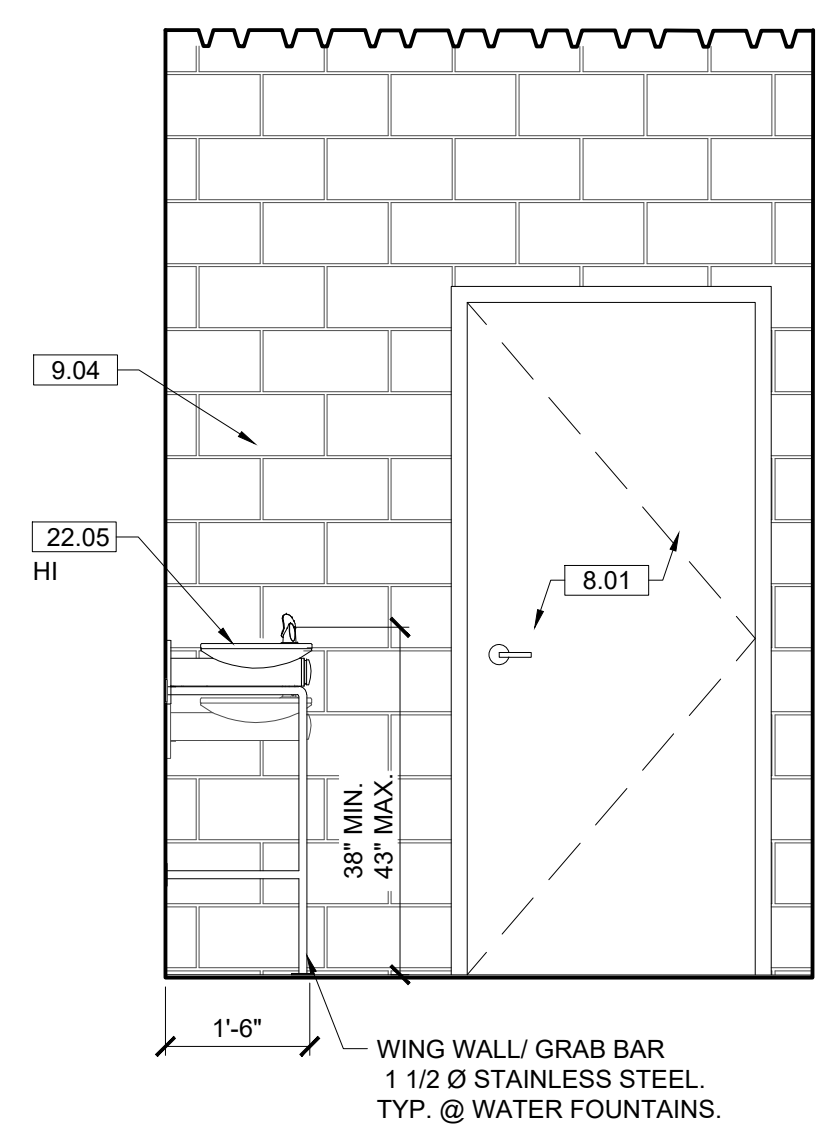
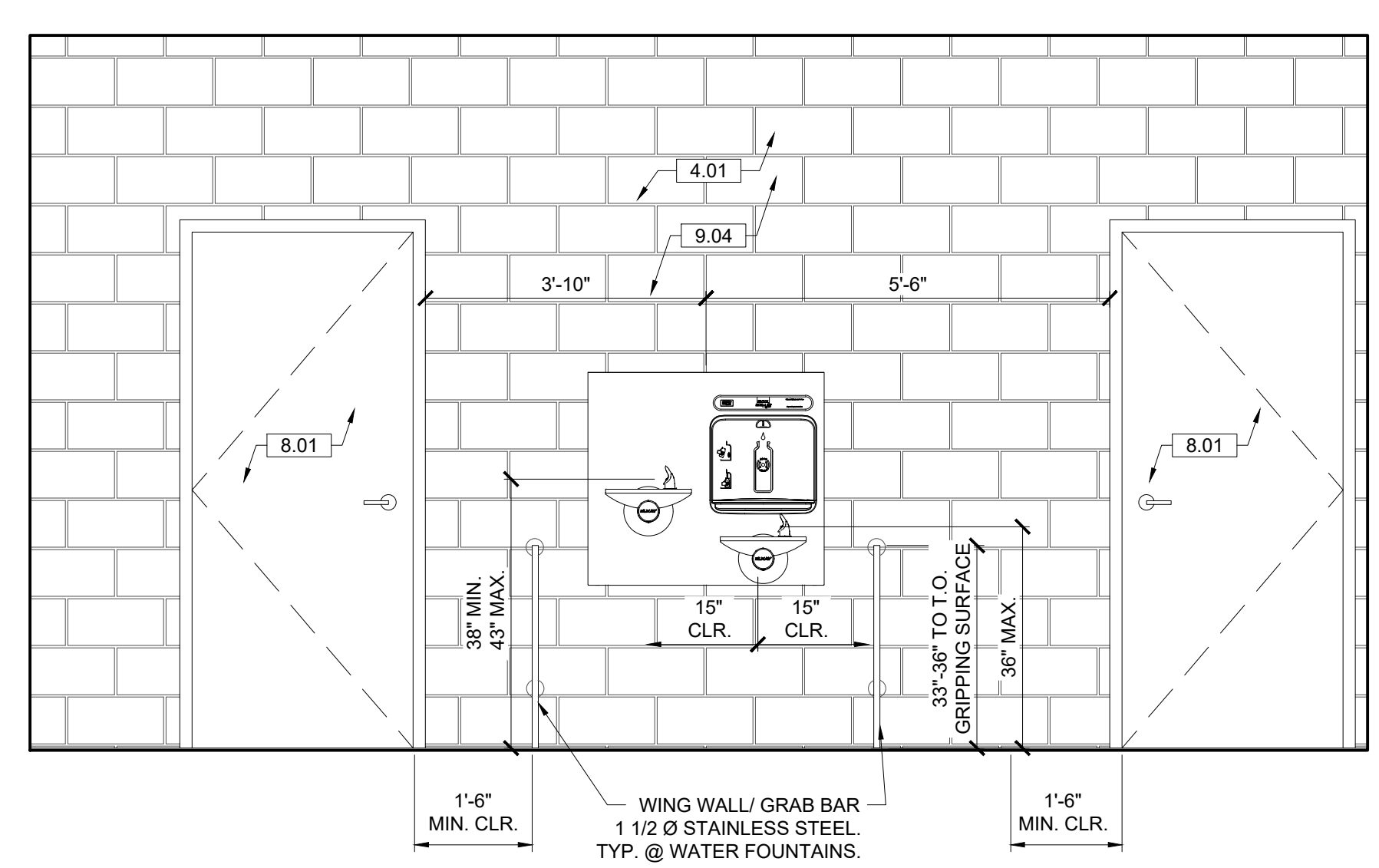
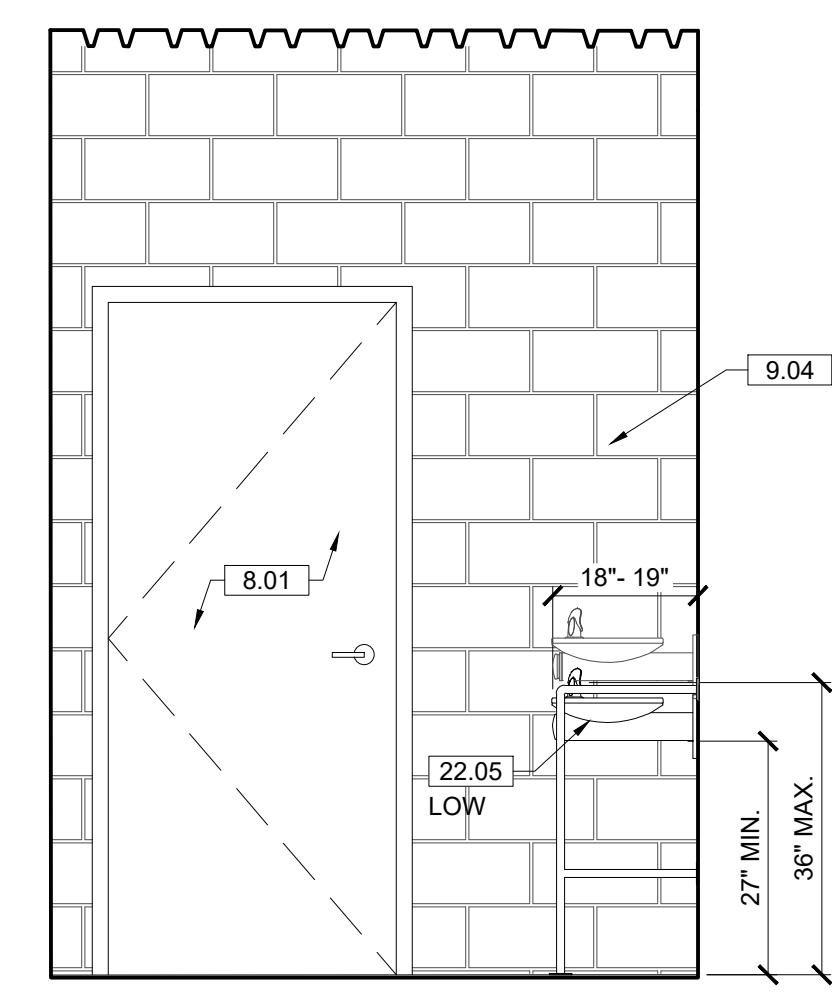
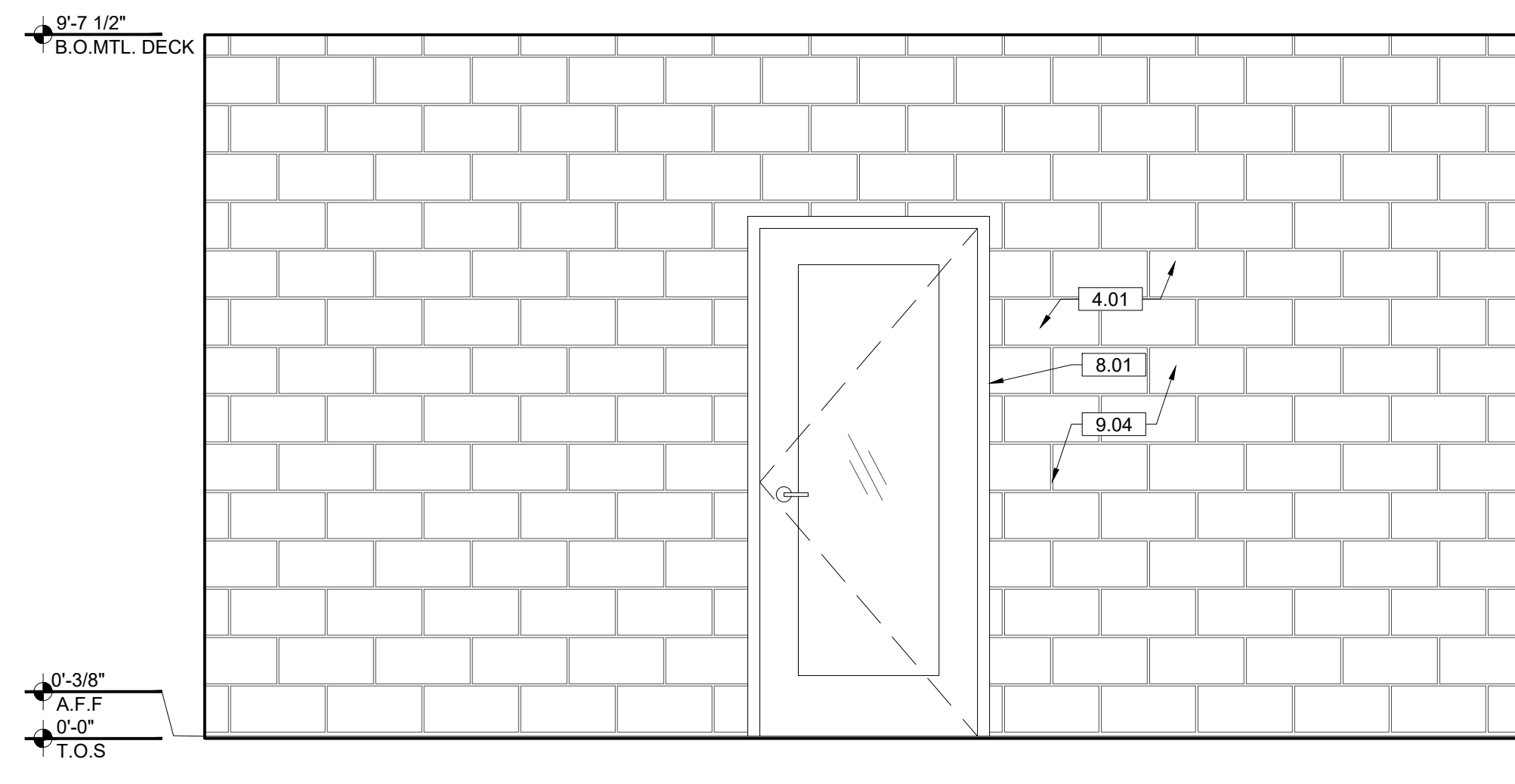
TYP. KITCHEN SINK SECTION 12
REF: 02/- SCALE: 1" = 1'-0"



TYP. KITCHEN CABINET SECTION 09
REF: 02/- SCALE: 1" = 1'-0"



INTERIOR ELEVATIONS AT BREAK ROOM 02
REF: 01/A4.00 SCALE: 1/2" = 1'-0"



INTERIOR ELEVATIONS AT VESTIBULE 108 01
REF: 01/A4.10 SCALE: 1/2" = 1'-0"

<p>KEYNOTES</p> <p>NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.</p> <p>01 - GENERAL REQUIREMENTS 02 - NOT USED</p> <p>03 - CONCRETE 3.01 CONC. SLAB ON GRADE PER STRUCT'L. 3.02 CONC. O/MTL. DECK PER STRUCT'L. 3.03 CONC. CURB 3.04 CONC. FOOTING PER STRUCT'L. 3.05 CONC. PAVING PER CIVIL DWGS. 3.06 CONC. SIDEWALK PER CIVIL DWGS. 3.07 CONC. PAD</p> <p>04 - MASONRY 4.01 CMU BLDNG. WALL 4.02 CMU SITE WALL W/ 2" CMU CAP.</p>	<p>05 - METALS 5.01 STL. COLUMN PER STRUCT'L. PTD. 5.02 STL. BEAM PER STRUCT'L. PTD. 5.03 HSS POST PER STRUCT'L. PTD. 5.04 HSS BEAM PER STRUCT'L. PTD. 5.05 MEMBRANE STRUCTURE I BEAM. 5.06 MTL. DECK. 5.07 MTL. GUARD RAILING. 5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS 6.01 W.P. MEMBRANE PER DETL. & SPECS. 6.02 SINGLE PLY PVC ROOFING PER SPECS. 6.03 OVERHEAD GLASS DOOR. 6.04 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 6.05 ROOF DRAIN AND OVERFLOW.</p>	<p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES). 7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED) 8.01 STL. DOOR & FRAME, PAINTED. 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR. 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW. 8.04 DOOR HARDWARE SET PER SCHED. 8.05 EXTERIOR WALL LOUVER. 8.06 EXTERIOR WALL VENT WITH CAP. 8.07 ROLLING STL. DOOR & FRAME. 8.08 ICE RINK GATES 8.09 OVERHEAD GLASS DOOR. 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL. 8.11 ROOF ACCESS HATCH.</p>	<p>09 - FINISHES (SEE FIN. SCHED) 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT, CONC. FLR. SEAL PER FIN. SCHED. 9.02 RUBBER FLR. PER SPECS. 9.03 PAINT PER SPECS. 9.04 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS. 9.05 GLAZED FINISH ON CMU. 9.06 CERAMIC TILE.</p> <p>10 - SPECIALTIES 10.01 MIRROR PER SPECS. 10.02 SIGNAGE 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED. 10.04 GRAB BAR. 10.05 COAT HOOK.</p>	<p>10.06 WASTE RECEPTACLE. 10.07 FOLDING SHOWER SEAT. 10.08 SHOWER ROD. 10.09 SHELF. 10.10 NETTING, NIC 10.11 FIRE EXTINGUISHER, RECESSED CABINET 10.12 TOILET SEAT COVER DISPENSER. 10.13 PAPER TOWEL DISPENSER. 10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING. 12.02 DASHBOARD. NIC. 12.03 BENCH. NIC.</p>	<p>12.04 BLEACHERS, NIC. 12.05 SCOREBOARD, NIC. 12.06 SKATE RACKS, NIC.</p> <p>13 - SPECIAL CONSTRUCTION 13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION 21.01 FIRE EXTINGUISHER. 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM) 21.03 FIRE SPRINKLER VALVE ASSEMBLY 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION. 21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p>	<p>22.01 WATER CLOSET PER PLUMBING LEGEND 22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND 22.03 JANITOR MOP SINK. 22.04 PLUMBING VENT PIPE. 22.05 DRINKING FOUNTAIN. 22.06 ULTRA LOW-FLOW TOILET. 22.07 SHOWER HEAD/ CONTROLS. 22.08 SHOWER DRAIN. 22.09 AREA DRAIN. 22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING 23.01 HVAC UNIT PER MECH. 23.02 AIR REGISTER WALL MOUNTED. 23.03 CEILING AIR REGISTER. 23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p>	<p>23.05 BATHRM EXHAUST FAN PER SPECS. 23.06 BATHRM EXHAUST DUCT. 23.07 MECH. DUCT. 23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL 26.01 ELEC. PANEL PER PLANS & SCHED. 26.02 EXTERIOR LIGHT PER SCHED. 26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION 27.01 SECURITY CAMERA. 27.02 SECURITY CAMERA. 27.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK 31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p>	<p>32 - EXTERIOR IMPROVEMENTS 32.01 ASPHALT PAVING PER CIVIL. 32.02 GRAPHICS/PAINT.SEE LAND. DWGS. 32.03 STORMWATER MANAGEMENT PER CIVIL DWGS. 32.04 STL. SECURITY GATE, PTD. 32.05 STL. SECURITY FENCE, PTD. 32.06 EXTERIOR AREA DRAINS. 32.07 BENCH. 32.08 TRENCH DRAIN. 32.09 TREE, SEE LANDSCAPE DWGS. 32.10 PLANTING, SEE LANDSCAPE DWGS. 32.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS. 32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS. 32.13 EQUIPMENT SCREEN. 32.14 CONC. WALL @ SITE FENCE.</p>	<p>33 - UTILITIES 33.01 WATER METER. 33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D. 33.03 ELECTRICAL METER. 33.04 POWER POLE.</p>
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ENGINEERING
CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE SOMPA
C21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE: INTERIOR ELEVATIONS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

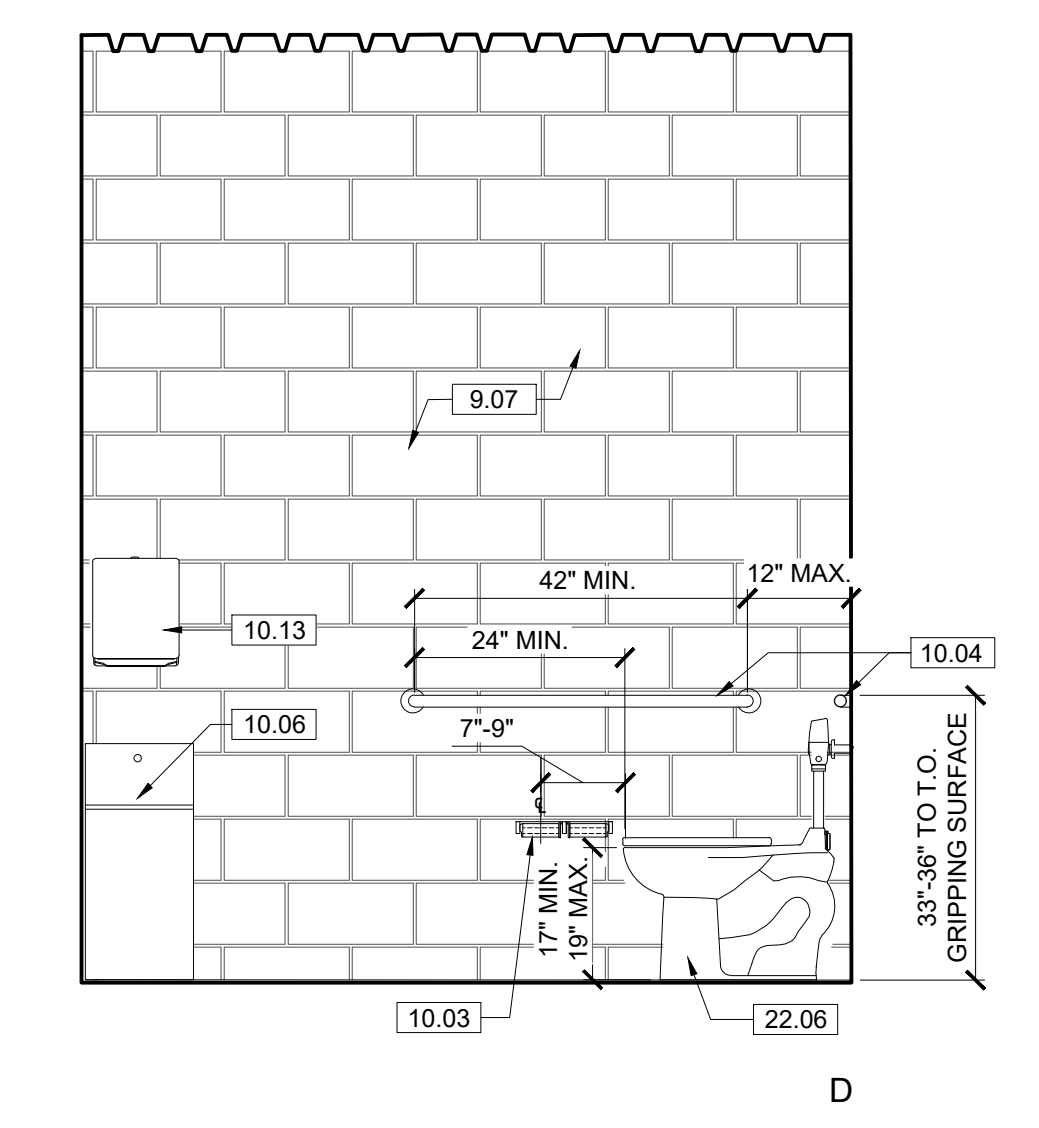
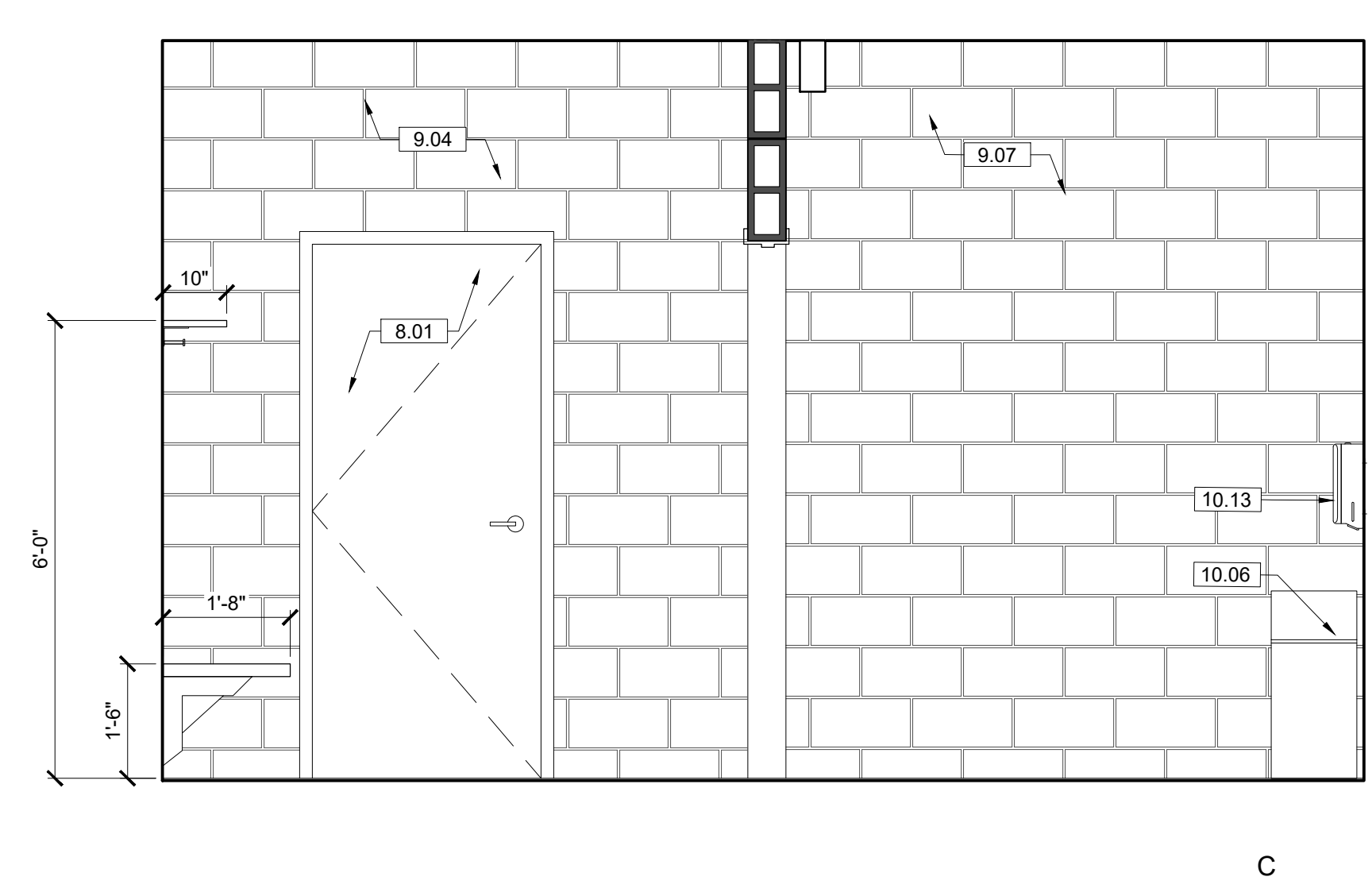
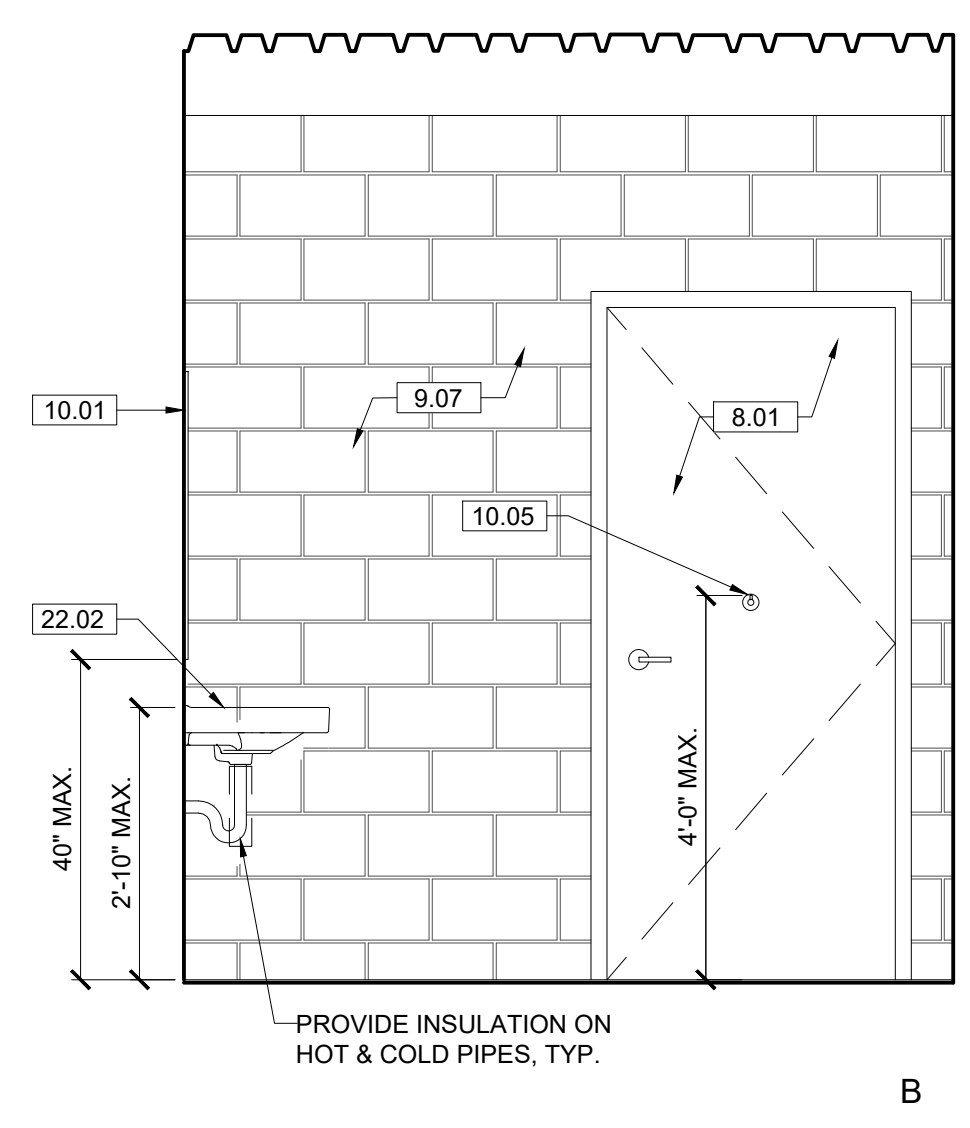
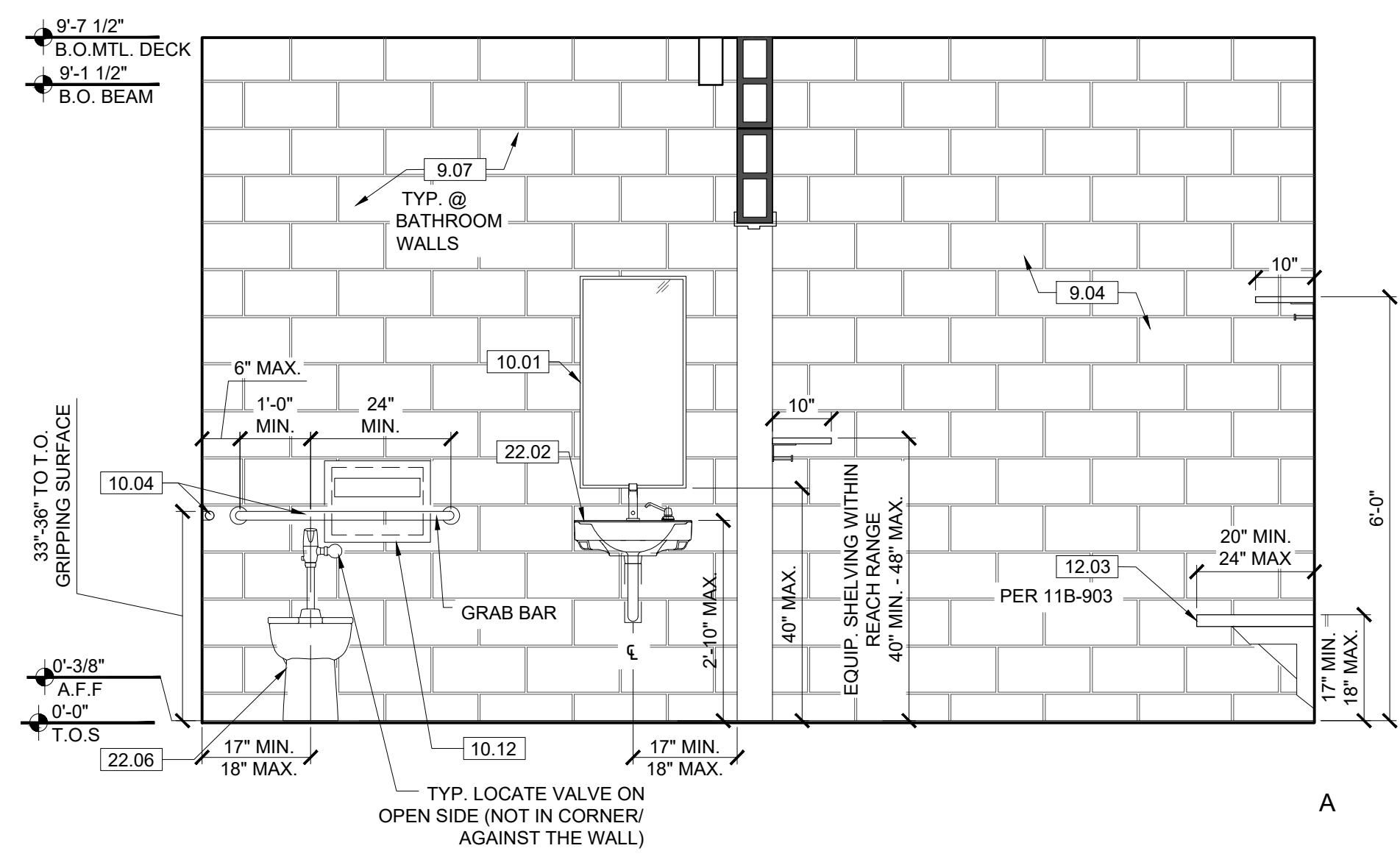
DEPARTMENT OF PUBLIC WORKS

DATE: BY:
NO. REVISIONS:

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:

WORK ORDER NO. E170121B

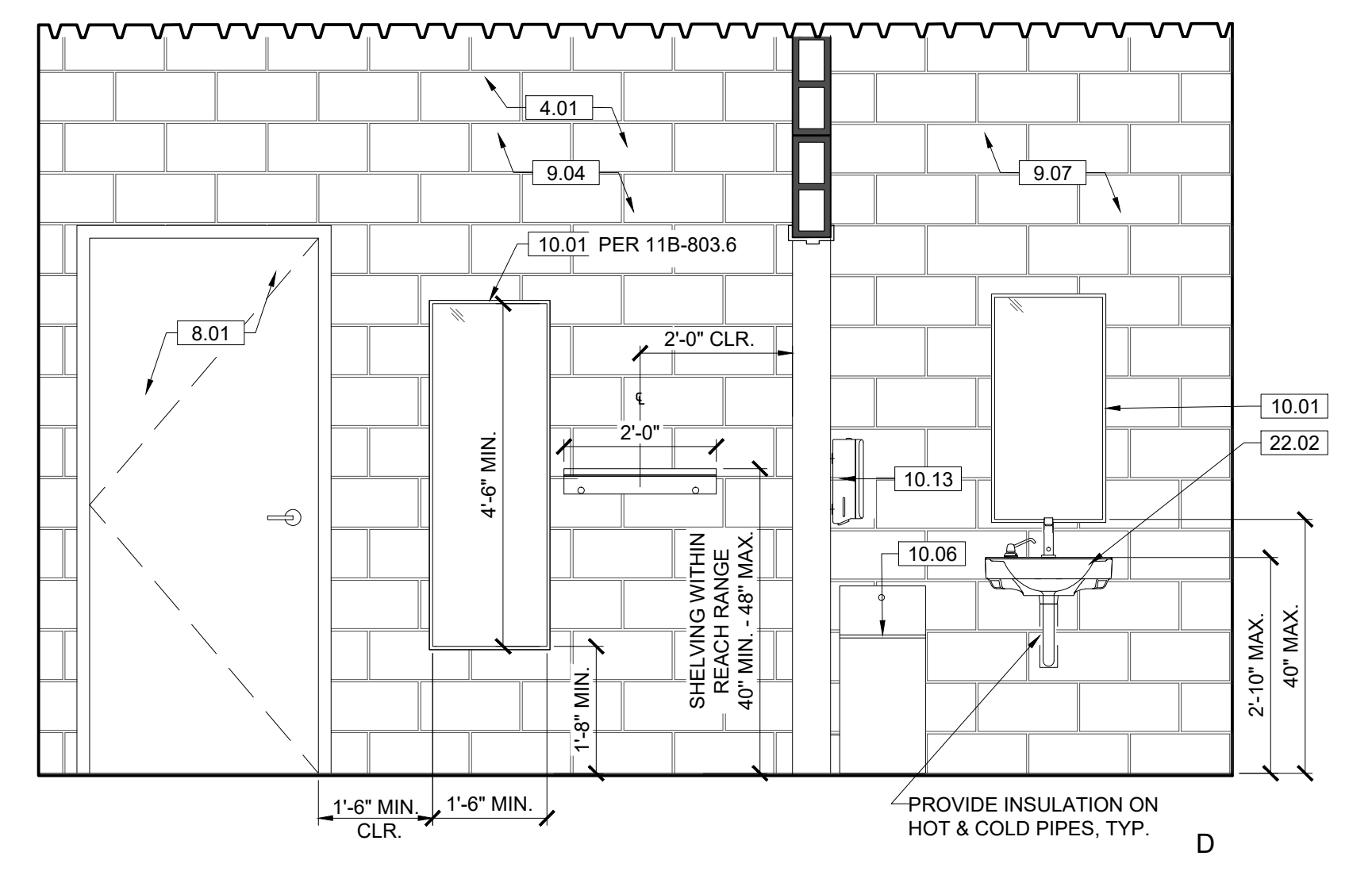
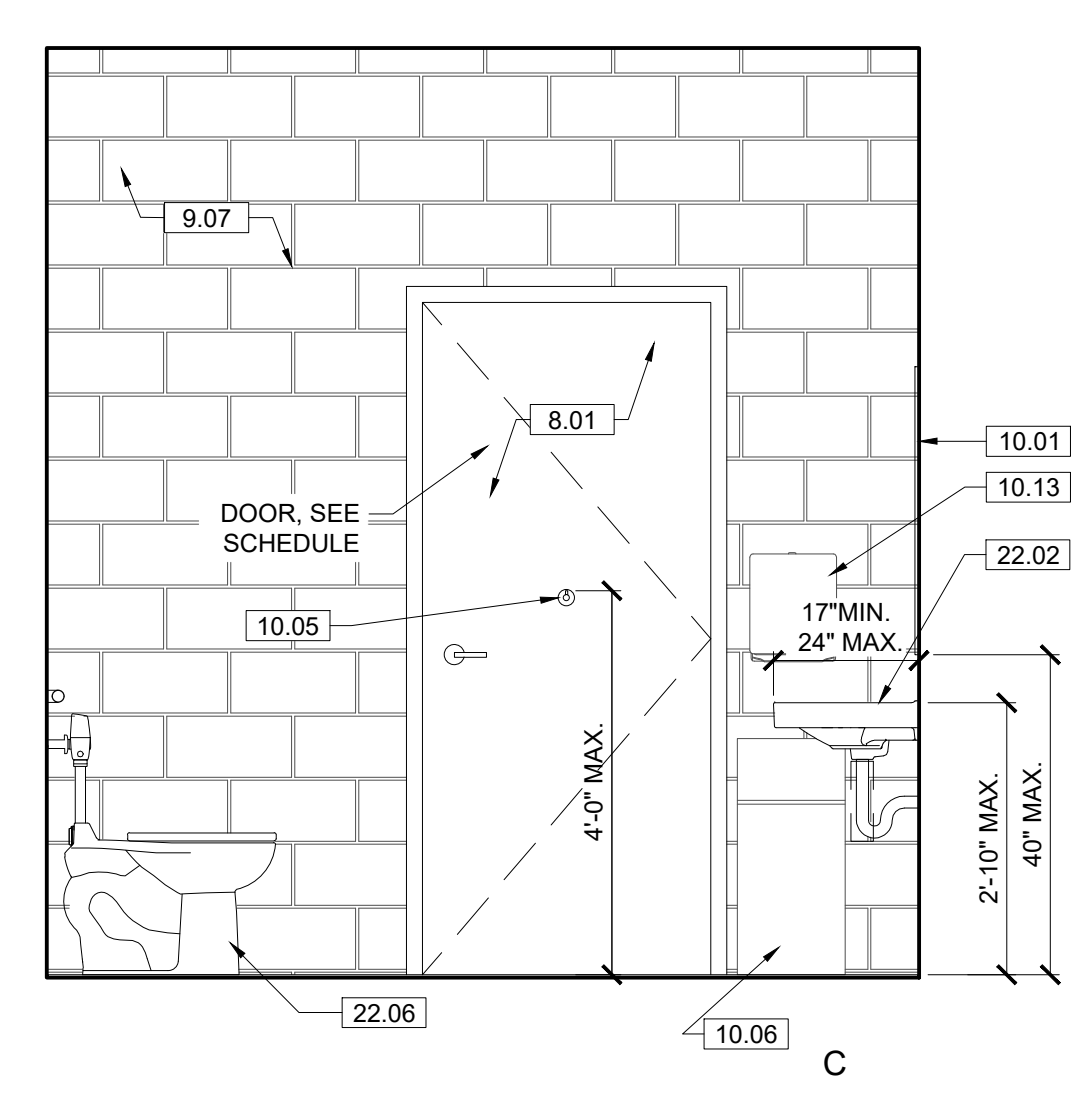
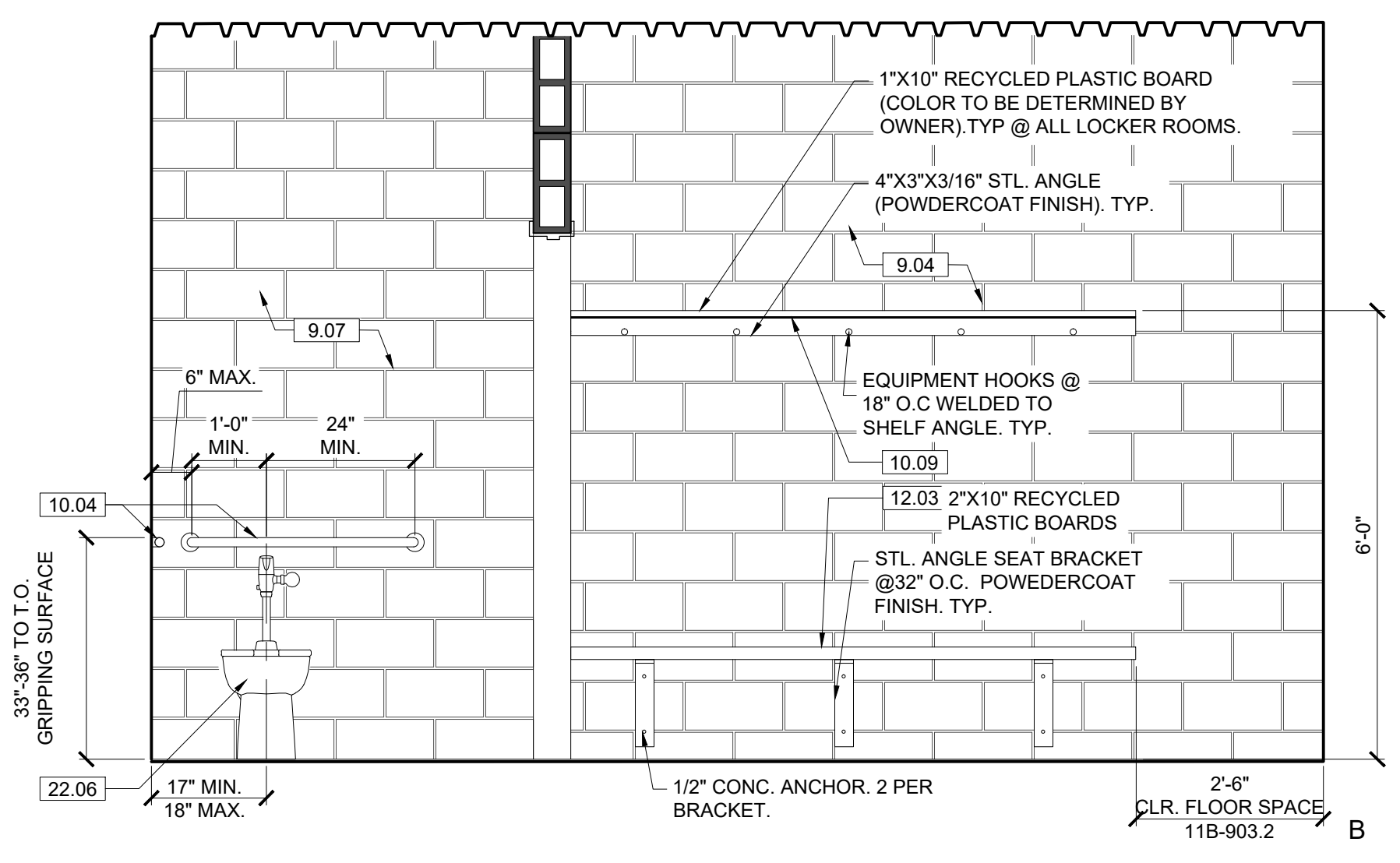
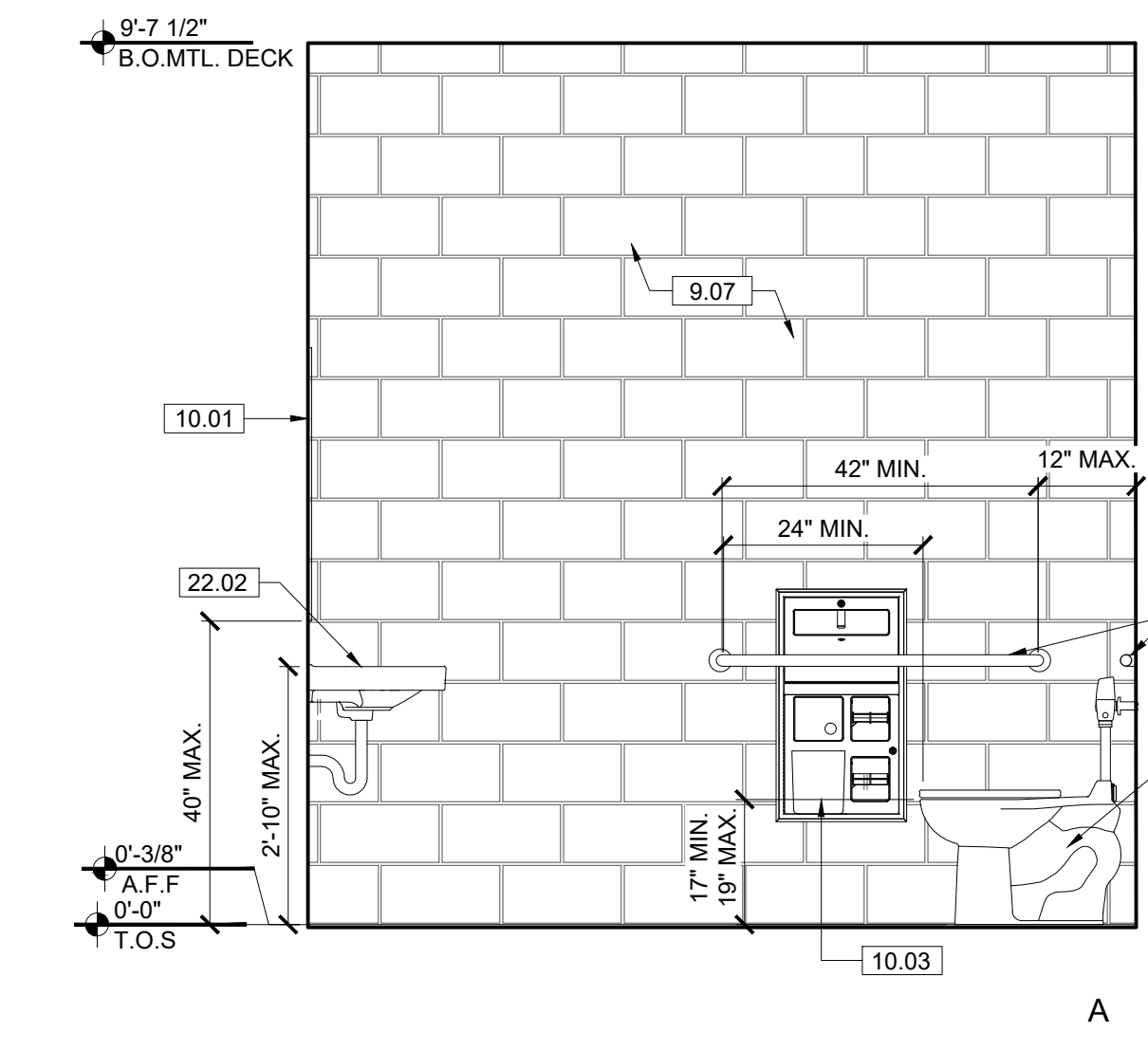
SHEET NAME: A7.10
SHEET X OF X SHEETS



INTERIOR ELEVATION AT REFEREE'S ROOM 111

REF: 01 / A4.30 SCALE: 1/2" = 1'-0"

02



INTERIOR ELEVATION AT GIRL'S ROOM 112

REF: 01 / A4.30 SCALE: 1/2" = 1'-0"

01

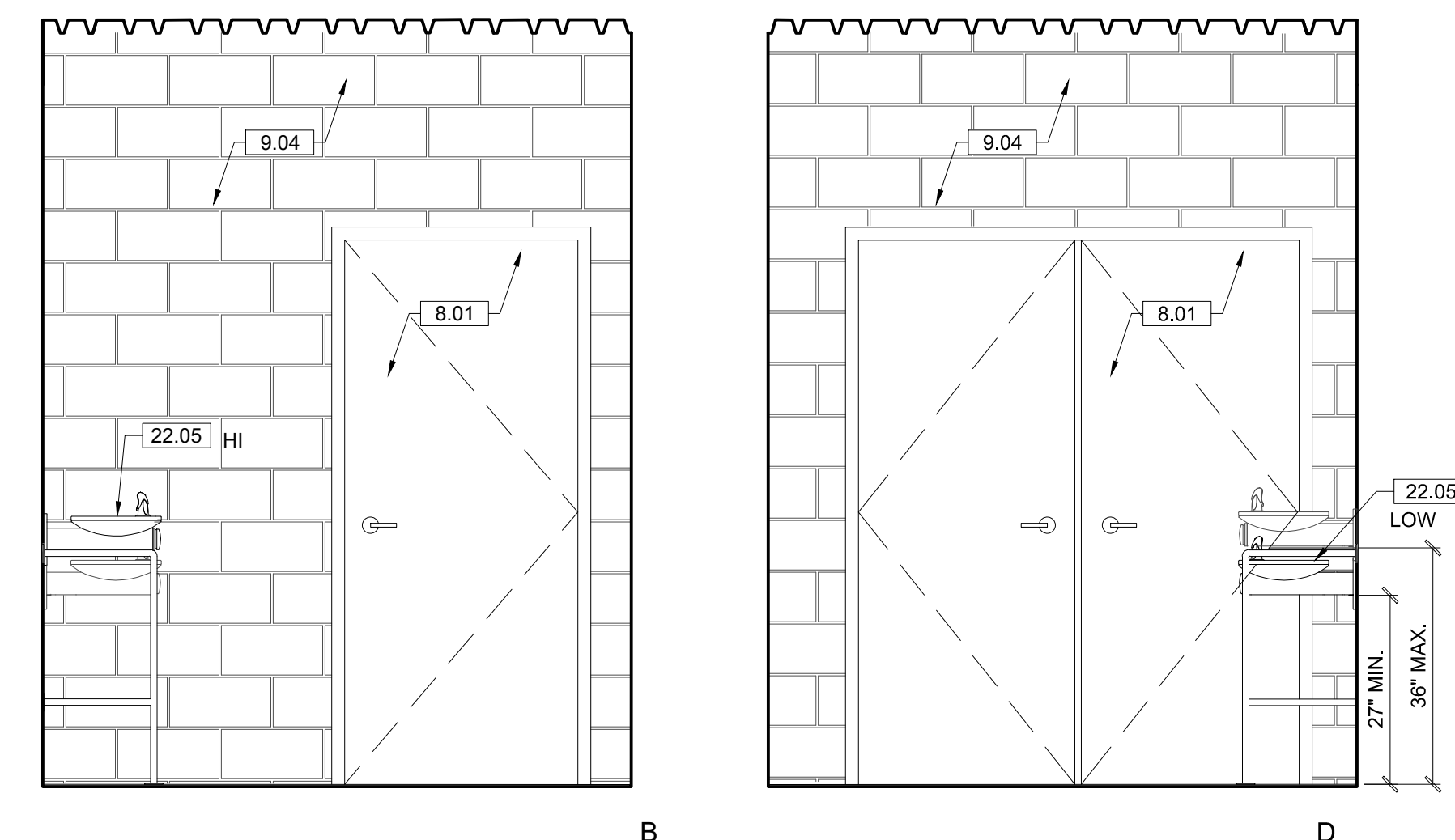
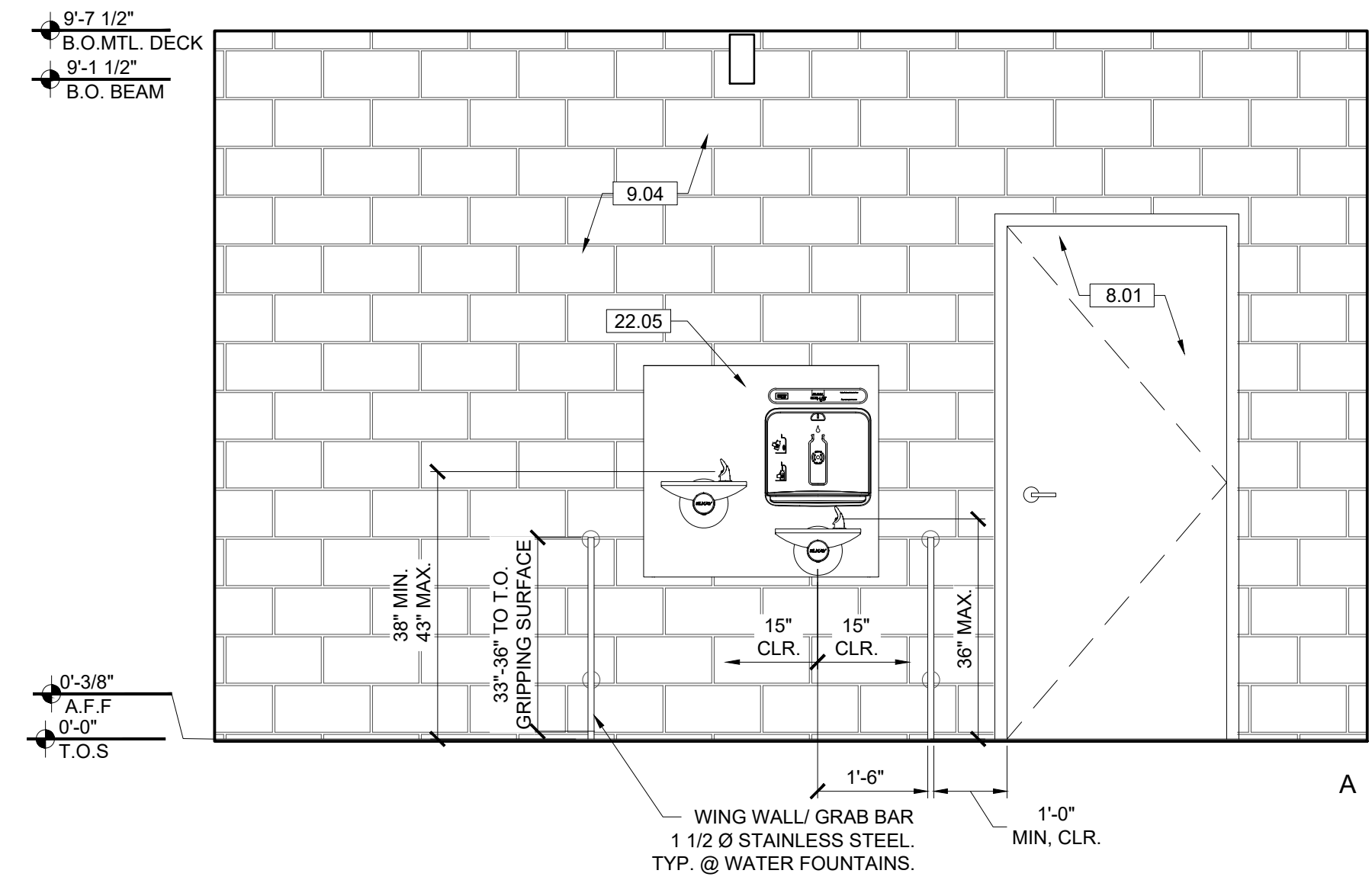
- KEYNOTES**
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- 01 - GENERAL REQUIREMENTS**
02 - NOT USED
 - 03 - CONCRETE**
3.01 CONC. SLAB ON GRADE PER STRUCT'L.
3.02 CONC. O/MTL. DECK PER STRUCT'L.
3.03 CONC. CURB
3.04 CONC. FOOTING PER STRUCT'L.
3.05 CONC. PAVING PER CIVIL DWGS.
3.06 CONC. SIDEWALK PER CIVIL DWGS.
3.07 CONC. PAD
 - 04 - MASONRY**
4.01 CMU BLDNG. WALL
4.02 CMU SITE WALL W/ 2" CMU CAP.
 - 05 - METALS**
5.01 STL. COLUMN PER STRUCT'L. PTD.
5.02 STL. BEAM PER STRUCT'L. PTD.
5.03 HSS POST PER STRUCT'L. PTD.
5.04 HSS BEAM PER STRUCT'L. PTD.
5.05 MEMBRANE STRUCTURE I BEAM.
5.06 MTL. DECK.
5.07 MTL. GUARD RAILING.
5.08 MTL. STUD WALL.
 - 06 - WOOD AND PLASTICS**
6.01 W.P. MEMBRANE PER DETL. & SPECS.
6.02 SINGLE PLY PVC ROOFING PER SPECS.
6.03 OVERHEAD GLASS DOOR.
6.04 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
6.05 ROOF DRAIN AND OVERFLOW.
 - 07 - THERMAL & MOISTURE PROTECTION**
7.01 R-21 RIGID INSULATION @ WALLS.
7.02 UNDERSLAB MOISTURE VAPOR BARRIER.
7.03 ROOF DRAIN AND OVERFLOW.
 - 08 - OPENINGS (SEE DOOR/WINDOW SCHED)**
8.01 STL. DOOR & FRAME, PAINTED.
8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
8.04 DOOR HARDWARE SET PER SCHED.
8.05 EXTERIOR WALL LOUVER.
8.06 EXTERIOR WALL VENT WITH CAP.
8.07 ROLLING STL. DOOR & FRAME.
8.08 ICE RINK GATES.
8.09 ACCESSORY SCHED.
8.10 ADJACENT MATERIAL, COLOR TO MATCH ADJACENT MATERIAL.
8.11 ROOF ACCESS HATCH.
 - 09 - FINISHES (SEE FIN. SCHED)**
9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS, PAINT. CONC. FLR. SEAL PER FIN. SCHED.
9.02 RUBBER FLR. PER SPECS.
9.03 PAINT PER SPECS.
9.04 REVEAL PER DETAILS.
9.05 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
9.06 GLAZED FINISH ON CMU.
9.07 CERAMIC TILE.
 - 10 - SPECIALTIES**
10.01 MIRROR PER SPECS.
10.02 SIGNAGE.
10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
10.04 GRAB BAR.
10.05 COAT HOOK.
 - 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)**
11.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
11.02 DASHBOARD. NIC.
11.03 BENCH. NIC.
 - 12 - FURNISHINGS**
12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
12.02 DASHBOARD. NIC.
12.03 BENCH. NIC.
 - 13 - SPECIAL CONSTRUCTION**
13.01 MEMBRANE STRUCTURE.
 - 14 - CONVEYING EQUIPMENT (NOT USED)**
 - 15 - FIRE SUPPRESSION**
15.01 FIRE EXTINGUISHER.
15.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM).
15.03 FIRE SPRINKLER VALVE ASSEMBLY ROLLING STL. DOOR & FRAME.
15.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
15.05 FIRE SPRINKLER HEAD.
 - 16 - PLUMBING**
16.01 WATER CLOSET PER PLUMBING LEGEND.
16.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND.
16.03 JANITOR MOP SINK.
16.04 PLUMBING VENT PIPE.
16.05 DRINKING FOUNTAIN.
16.06 ULTRA LOW-FLOW TOILET.
16.07 SHOWER HEAD/ CONTROLS.
16.08 SHOWER DRAIN.
16.09 AREA DRAIN.
16.10 HOSE BIB.
 - 17 - ELECTRICAL**
17.01 ELEC. PANEL PER PLANS & SCHED.
17.02 EXTERIOR LIGHT PER SCHED.
17.03 MECH. EQUIPMENT.
 - 18 - COMMUNICATION**
18.01 SMOKE ALARM.
18.02 SECURITY CAMERA.
18.03 FIRE ALARM MAIN PANEL.
 - 19 - EARTHWORK**
19.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.
 - 20 - EXTERIOR IMPROVEMENTS**
20.01 ASPHALT PAVING PER CIVIL.
20.02 GRAPHICS/PAINT.SEE LAND. DWGS.
20.03 STORMWATER MANAGEMENT PER CIVIL DWGS.
20.04 STL. SECURITY GATE. PTD.
20.05 STL. SECURITY FENCE, PTD.
20.06 EXTERIOR AREA DRAINS.
20.07 BENCH.
20.08 TRENCH DRAIN.
20.09 TREE. SEE LANDSCAPE DWGS.
20.10 PLANTING. SEE LANDSCAPE DWGS.
20.11 (N) CONCRETE SIDEWALK, CURB, GUTTER PER CITY OF LA STANDARDS.
20.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
20.13 EQUIPMENT SCREEN.
20.14 CONC. WALL @ SITE FENCE.
 - 21 - UTILITIES**
21.01 WATER METER.
21.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
21.03 ELECTRICAL METER.
21.04 POWER POLE.

ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

LICENSED ARCHITECT
LAWRENCE SORRA
C21812
REN 10/31/2023
STATE OF CALIFORNIA

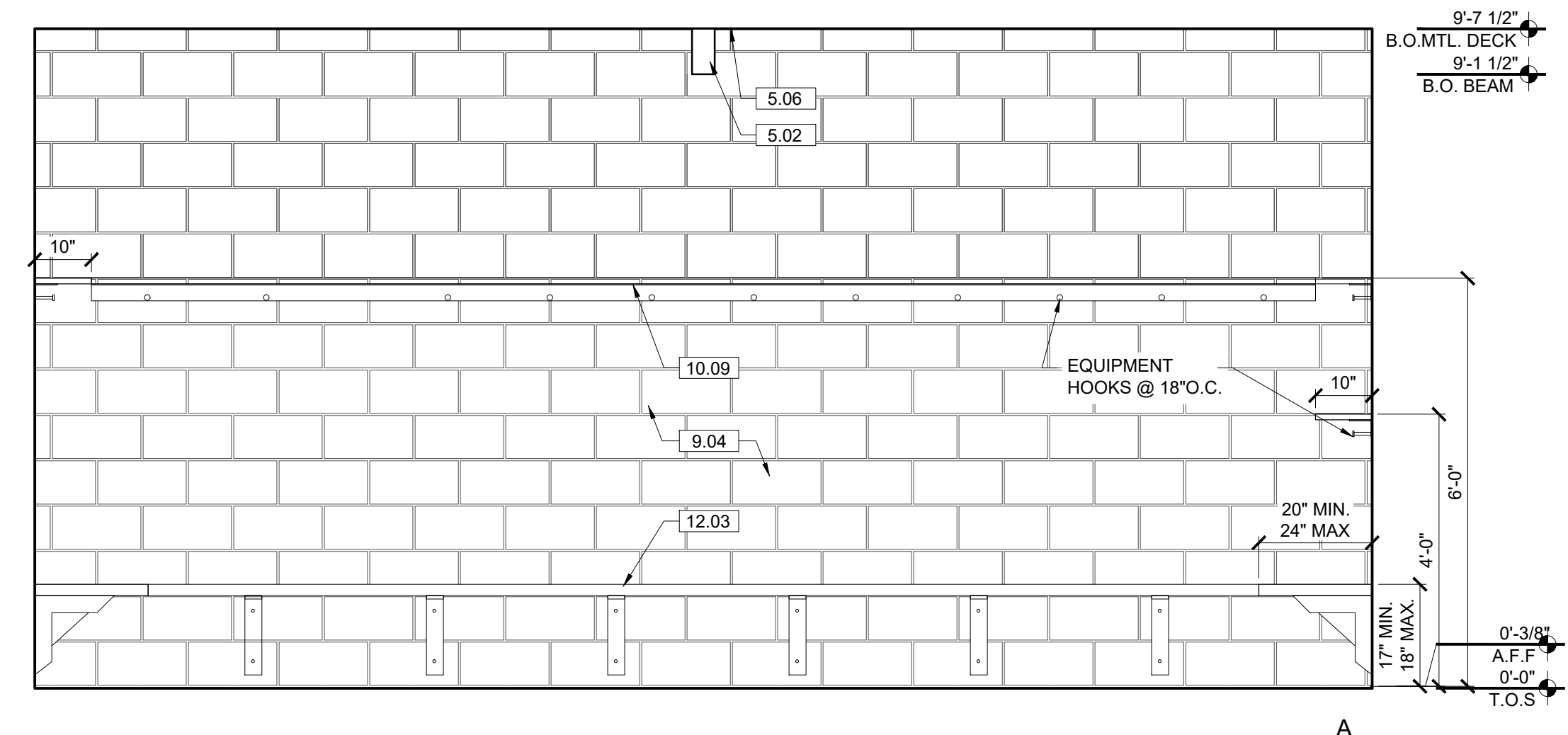
BUREAU OF ENGINEERING
VERTICAL CONTROL:
HORIZONTAL CONTROL:
SHEET TITLE: INTERIOR ELEVATIONS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
DATE: BY:
NO. REVISIONS:
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:
WORK ORDER NO. E170121B
SHEET NAME: A7.11
SHEET X OF X SHEETS



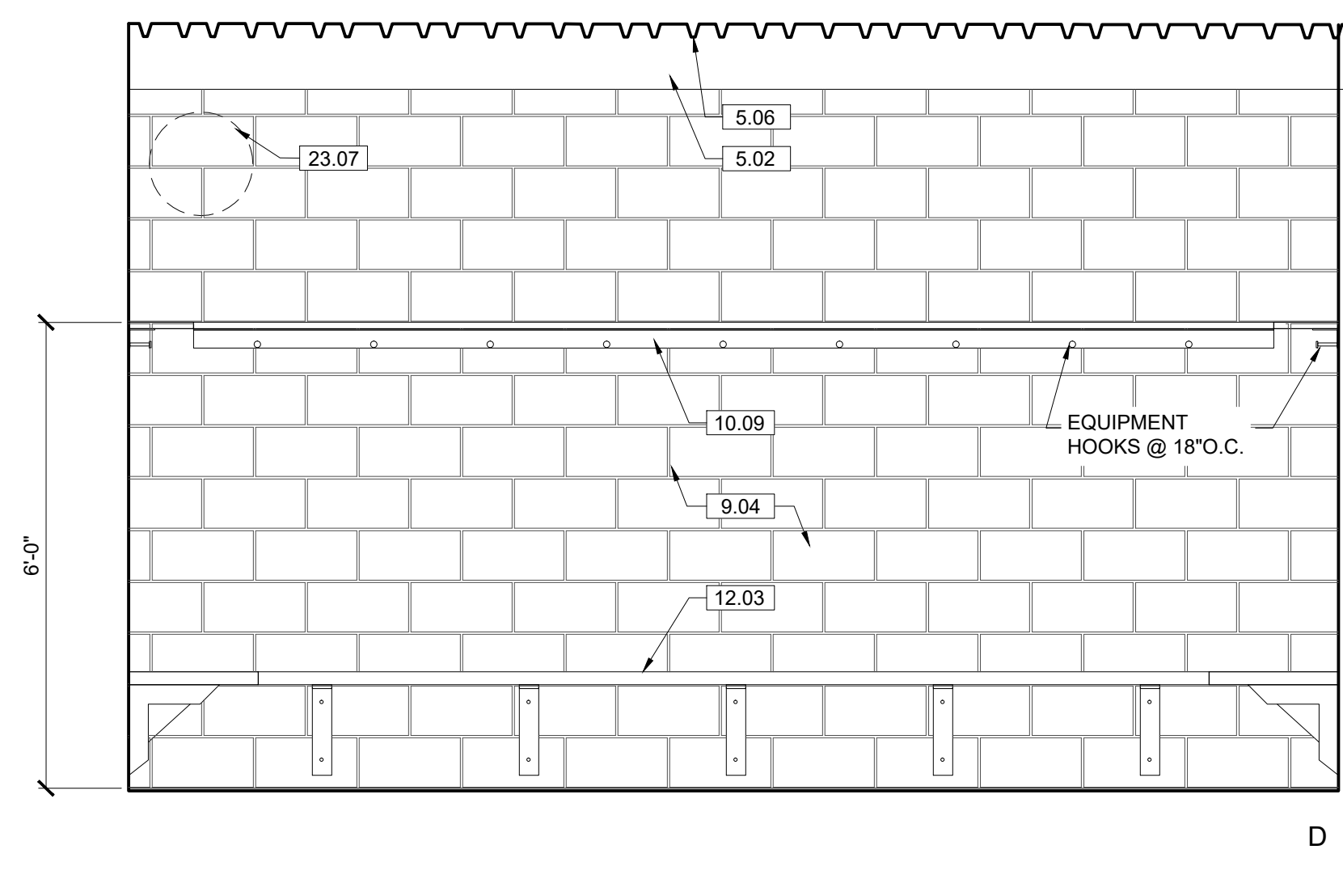
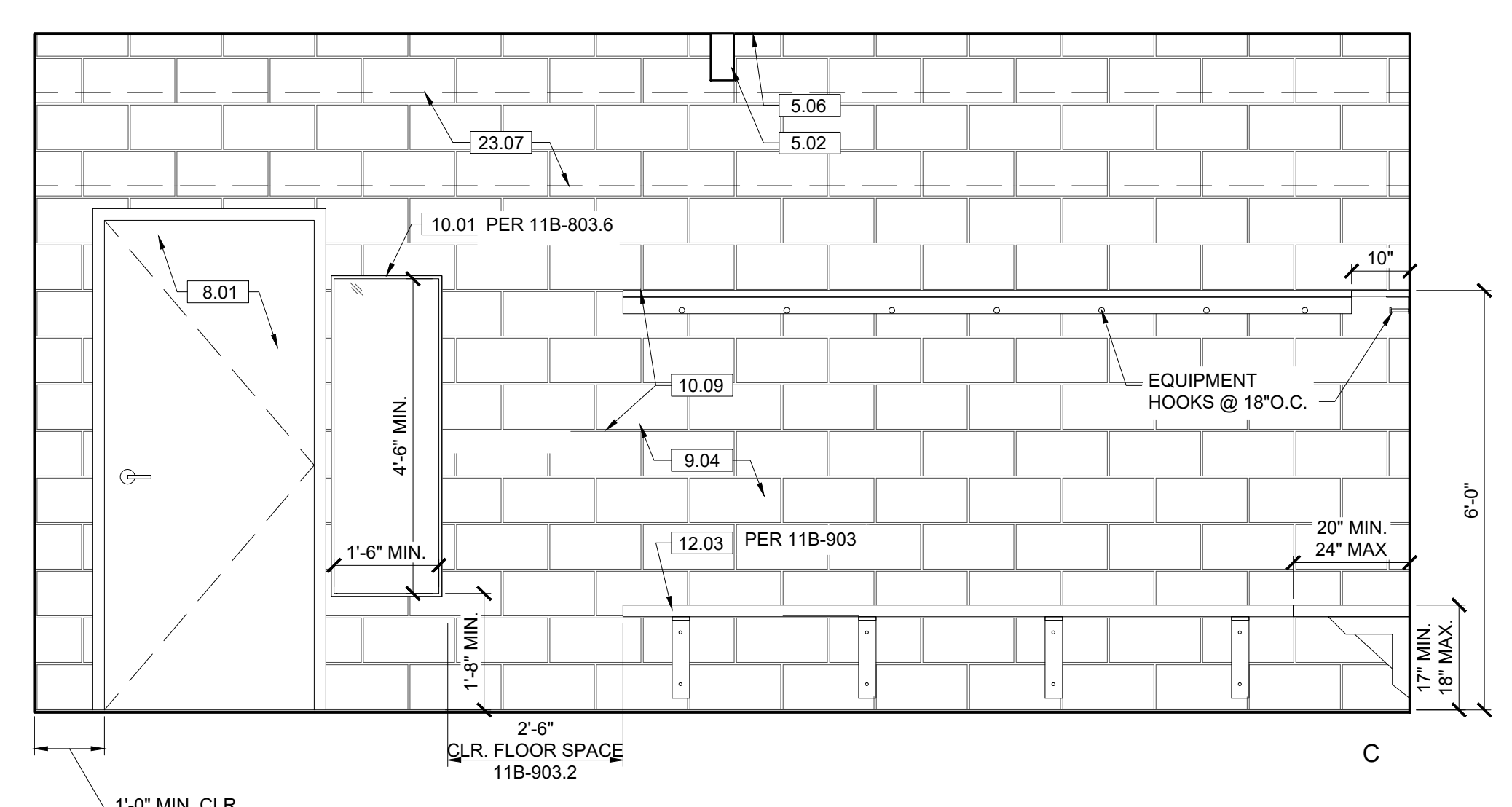
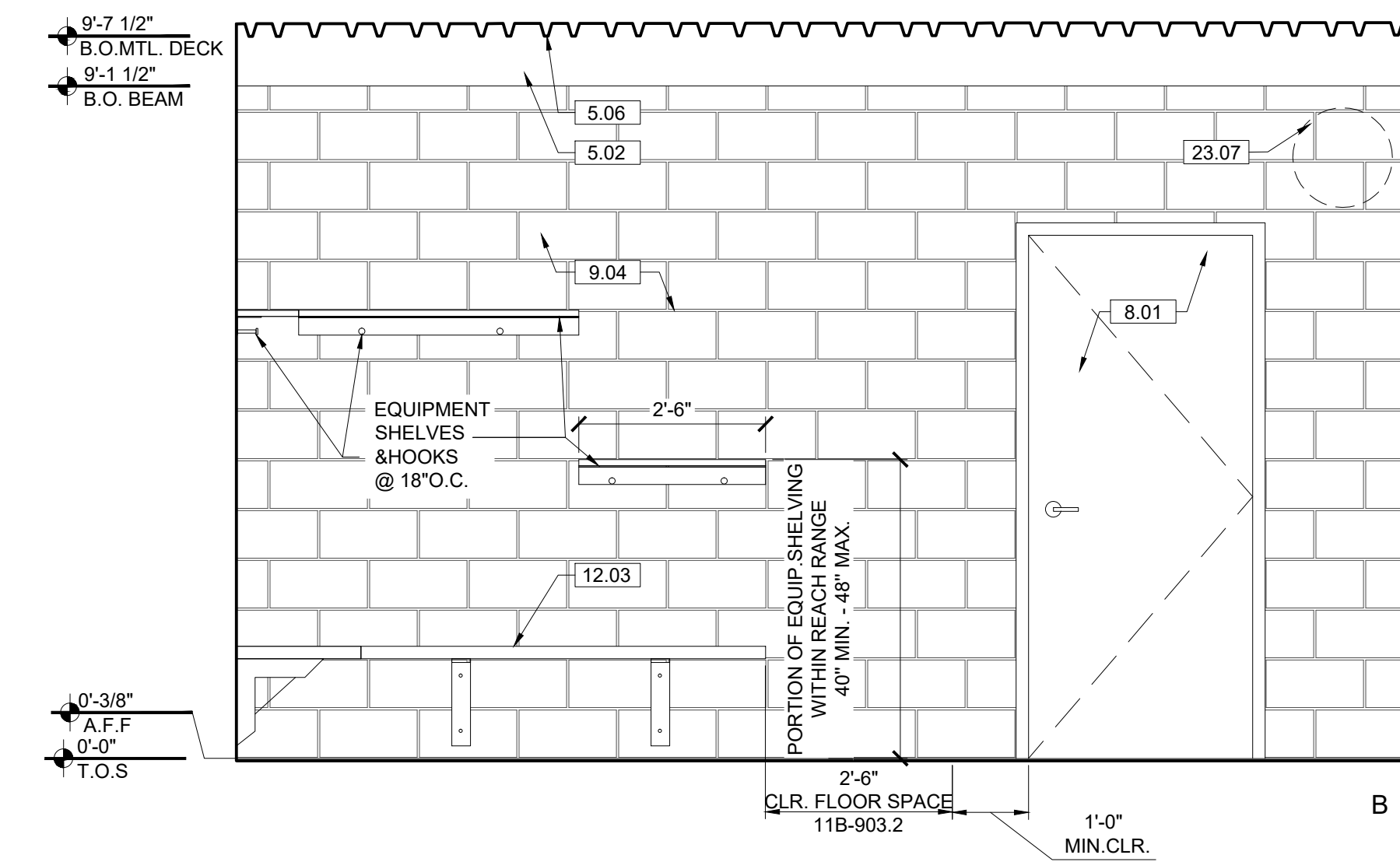
INTERIOR ELEVATION AT VESTIBULE
REF: 01 / A4.30 SCALE: 1/2" = 1'-0"

02



INTERIOR ELEVATION AT LOCKER ROOM C (TYP.)
REF: 01 / A4.40 SCALE: 1/2" = 1'-0"

01



INTERIOR ELEVATION AT LOCKER ROOM C (TYP.) CON'T
REF: 01 / A4.40 SCALE: 1/2" = 1'-0"

01

- KEYNOTES**
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- | | | | | | | | | | |
|---|---|--|--|--|--|---|--|--|--|
| <p>01 - GENERAL REQUIREMENTS
02 - NOT USED</p> <p>03 - CONCRETE
3.01 CONC. SLAB ON GRADE PER STRUCT'L.
3.02 CONC. O/MTL. DECK PER STRUCT'L.
3.03 CONC. CURB
3.04 CONC. FOOTING PER STRUCT'L.
3.05 CONC. PAVING PER CIVIL DWGS.
3.06 CONC. SIDEWALK PER CIVIL DWGS.
3.07 CONC. PAD</p> <p>04 - MASONRY
4.01 CMU BLDNG. WALL
4.02 CMU SITE WALL W/ 2" CMU CAP.</p> | <p>05 - METALS
5.01 STL. COLUMN PER STRUCT'L. PTD.
5.02 STL. BEAM PER STRUCT'L. PTD.
5.03 HSS POST PER STRUCT'L. PTD.
5.04 HSS BEAM PER STRUCT'L. PTD.
5.05 MEMBRANE STRUCTURE I BEAM.
5.06 MTL. DECK.
5.07 MTL. GUARD RAILING.
5.08 MTL. STUD WALL.</p> <p>06 - WOOD AND PLASTICS</p> <p>07 - THERMAL & MOISTURE PROTECTION
7.01 W.P. MEMBRANE PER DETL. & SPECS.
7.02 SINGLE PLY PVC ROOFING PER SPECS.
7.03 R-21 RIGID INSULATION @ WALLS.
7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
7.05 ROOF DRAIN AND OVERFLOW.</p> | <p>7.06 CLEAR WATER-REPELLENT GRAFITTI COATING AT CMU WALL. (ALL EXPOSED SURFACES).
7.07 BATT INSULATION.</p> <p>08 - OPENINGS (SEE DOOR/WINDOW SCHED)
8.01 STL. DOOR, & FRAME, PAINTED.
8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
8.04 DOOR HARDWARE SET PER SCHED.
8.05 EXTERIOR WALL LOUVER.
8.06 EXTERIOR WALL VENT WITH CAP.
8.07 ROLLING STL. DOOR & FRAME.
8.08 ICE RINK GATES.
8.09 OVERHEAD GLASS DOOR.
8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
8.11 ROOF ACCESS HATCH.</p> | <p>09 - FINISHES (SEE FIN. SCHED)
9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS. PAINT. CONC. FLR. SEAL PER FIN. SCHED.
9.02 RUBBER FLR. PER SPECS.
9.03 PAINT PER SPECS.
9.04 GRAFITTI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
9.05 GLAZED FINISH ON CMU.
9.06 CERAMIC TILE.</p> <p>10 - SPECIALTIES
10.01 MIRROR PER SPECS.
10.02 SIGNAGE.
10.03 TOILET PAPER ROLL HOLDER PER PARKING.
10.04 DASHBOARD. NIC.
10.05 BENCH. NIC.</p> | <p>10.06 WASTE RECEPTACLE.
10.07 FOLDING SHOWER SEAT.
10.08 SHOWER ROD.
10.09 SHELF.
10.10 NETTING. NIC
10.11 FIRE EXTINGUISHER, RECESSED CABINET
10.12 TOILET SEAT COVER DISPENSER.
10.13 PAPER TOWEL DISPENSER.
10.14 BATHROOM PARTITION W/ ROBE HOOK @ EA. DOOR</p> <p>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)</p> <p>12 - FURNISHINGS
12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
12.02 DASHBOARD. NIC.
12.03 BENCH. NIC.</p> | <p>12.04 BLEACHERS. NIC.
12.05 SCOREBOARD. NIC.
12.06 SKATE RACKS. NIC.</p> <p>13 - SPECIAL CONSTRUCTION
13.01 MEMBRANE STRUCTURE.</p> <p>14 - CONVEYING EQUIPMENT (NOT USED)</p> <p>21 - FIRE SUPPRESSION
21.01 FIRE EXTINGUISHER.
21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
21.03 FIRE SPRINKLER VALVE ASSEMBLY
21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
21.05 FIRE SPRINKLER HEAD.</p> <p>22 - PLUMBING</p> | <p>22.01 WATER CLOSET PER PLUMBING LEGEND
22.02 LAV. SINK & FAUCET. PER PLUMBING LEGEND
22.03 JANITOR MOP SINK.
22.04 PLUMBING VENT PIPE.
22.05 DRINKING FOUNTAIN.
22.06 ULTRA LOW-FLOW TOILET.
22.07 SHOWER HEAD/ CONTROLS.
22.08 SHOWER DRAIN.
22.09 AREA DRAIN.
22.10 HOSE BIB.</p> <p>23 - HEATING, VENTILATING, AND AIR-CONDITIONING
23.01 HVAC UNIT PER MECH.
23.02 AIR REGISTER WALL MOUNTED.
23.03 CEILING AIR REGISTER.
23.04 MAKE UP AIR LOUVER PER MECH. DWGS</p> | <p>23.05 BATHRM EXHAUST FAN PER SPECS.
23.06 BATHRM EXHAUST DUCT.
23.07 MECH. DUCT.
23.08 MECH. EQUIPMENT.</p> <p>26 - ELECTRICAL
26.01 ELEC. PANEL PER PLANS & SCHED.
26.02 EXTERIOR LIGHT PER SCHED.
26.03 INTERIOR LIGHT PER SCHED.</p> <p>27 - COMMUNICATION</p> <p>28 - ELECTRONIC SAFETY AND SECURITY
28.01 SMOKE ALARM.
28.02 SECURITY CAMERA.
28.03 FIRE ALARM MAIN PANEL.</p> <p>31 - EARTHWORK
31.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.</p> | <p>32 - EXTERIOR IMPROVEMENTS
32.01 ASPHALT PAVING PER CIVIL.
32.02 GRAPHICS/PAINT. SEE LAND. DWGS.
32.03 STORMWATER MANAGEMENT PER CIVIL DWGS.
32.04 STL. SECURITY GATE. PTD.
32.05 STL. SECURITY FENCE, PTD.
32.06 EXTERIOR AREA DRAINS.
32.07 BENCH.
32.08 TRENCH DRAIN.
32.09 TREE. SEE LANDSCAPE DWGS.
32.10 PLANTING. SEE LANDSCAPE DWGS.
32.11 (N) CONCRETE SIDEWALK, CURB.
32.12 (N) CONC. APRON & DRIVEWAY CURB CUT PER CITY OF LA STANDARDS.
32.13 EQUIPMENT SCREEN.
32.14 CONC. WALL @ SITE FENCE.</p> | <p>33 - UTILITIES
33.01 WATER METER.
33.02 ELECTRICAL TRANSFORMER W/ BOLLARDS AS REQ'D.
33.03 ELECTRICAL METER.
33.04 POWER POLE.</p> |
|---|---|--|--|--|--|---|--|--|--|

ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

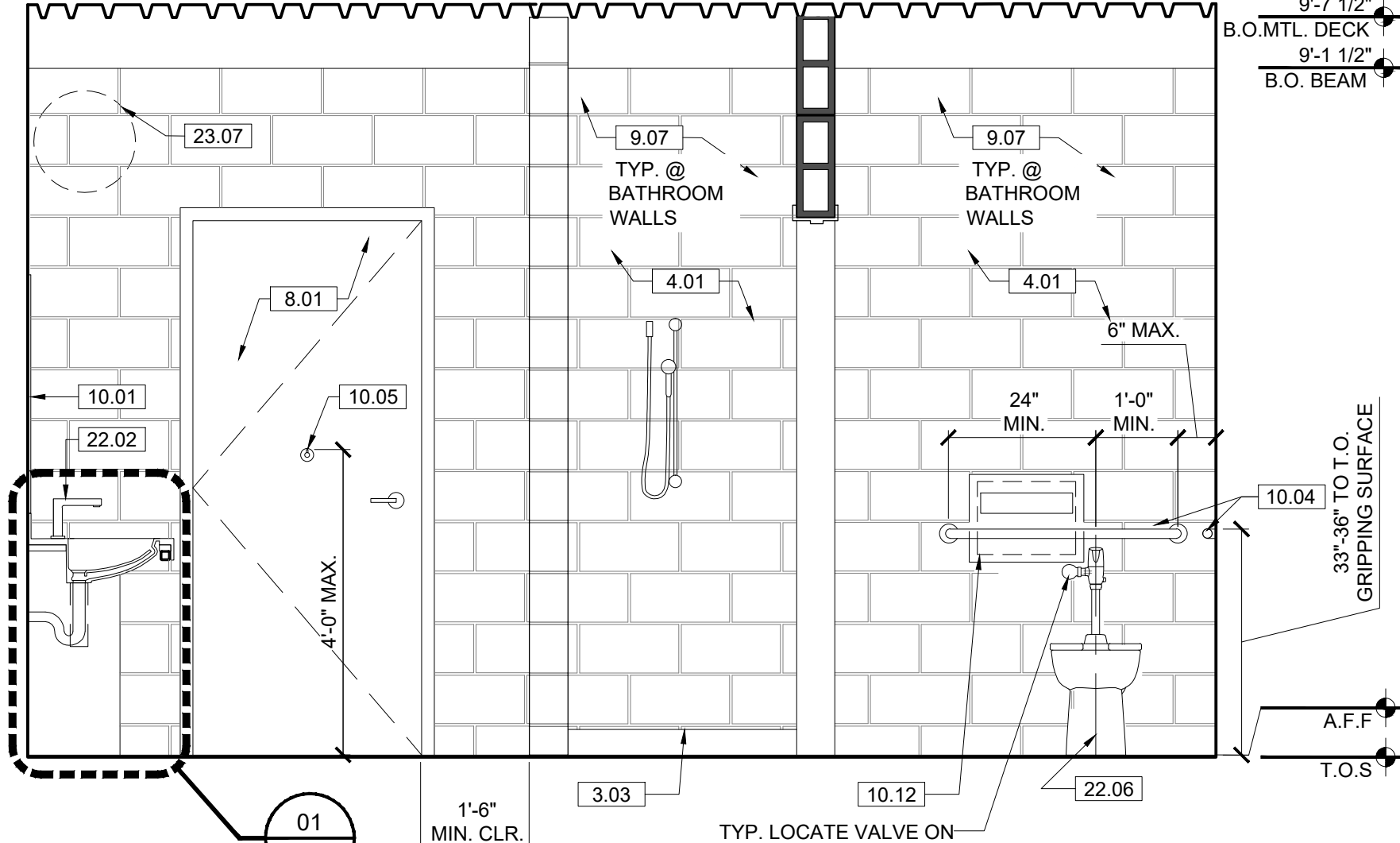
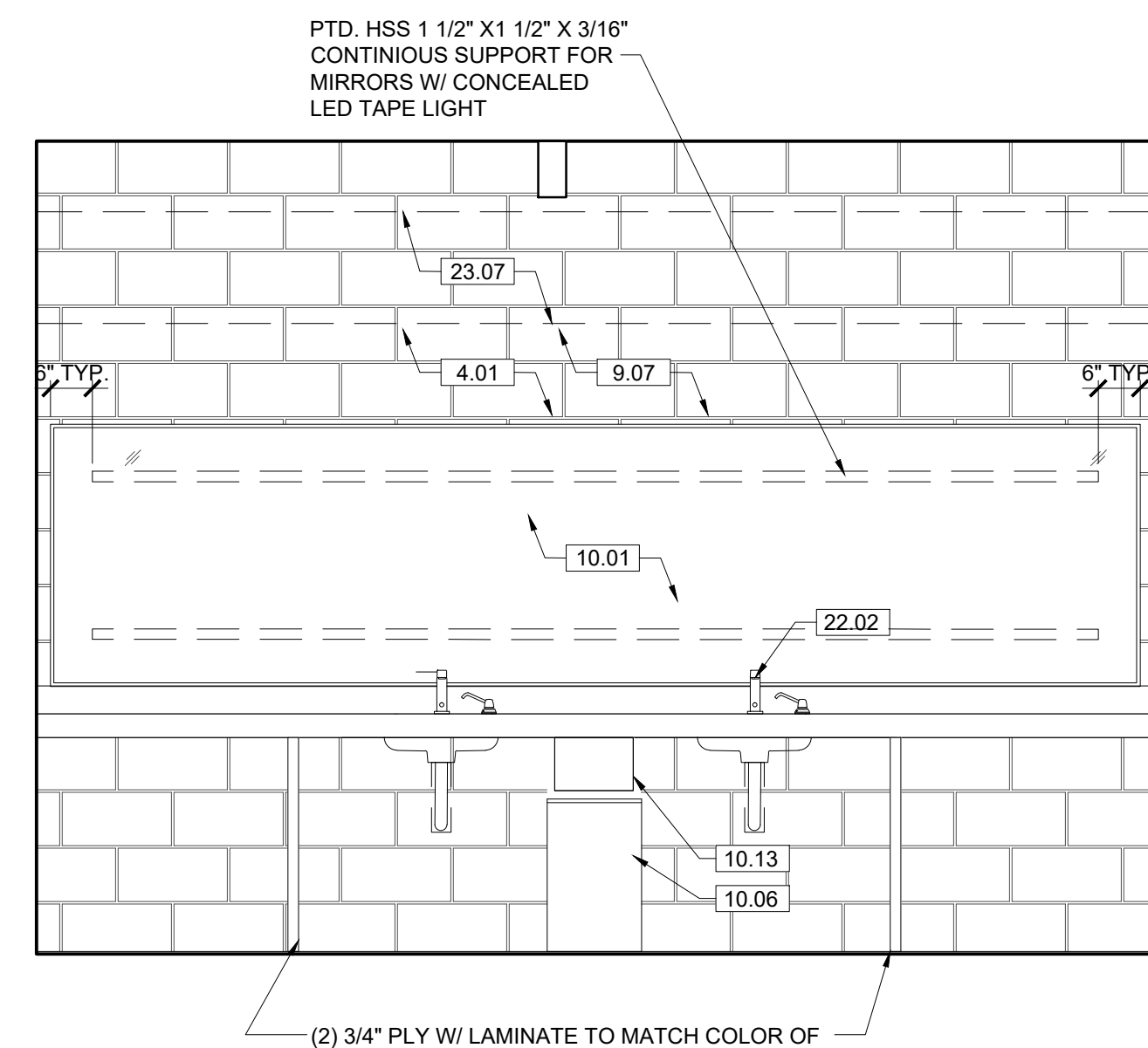
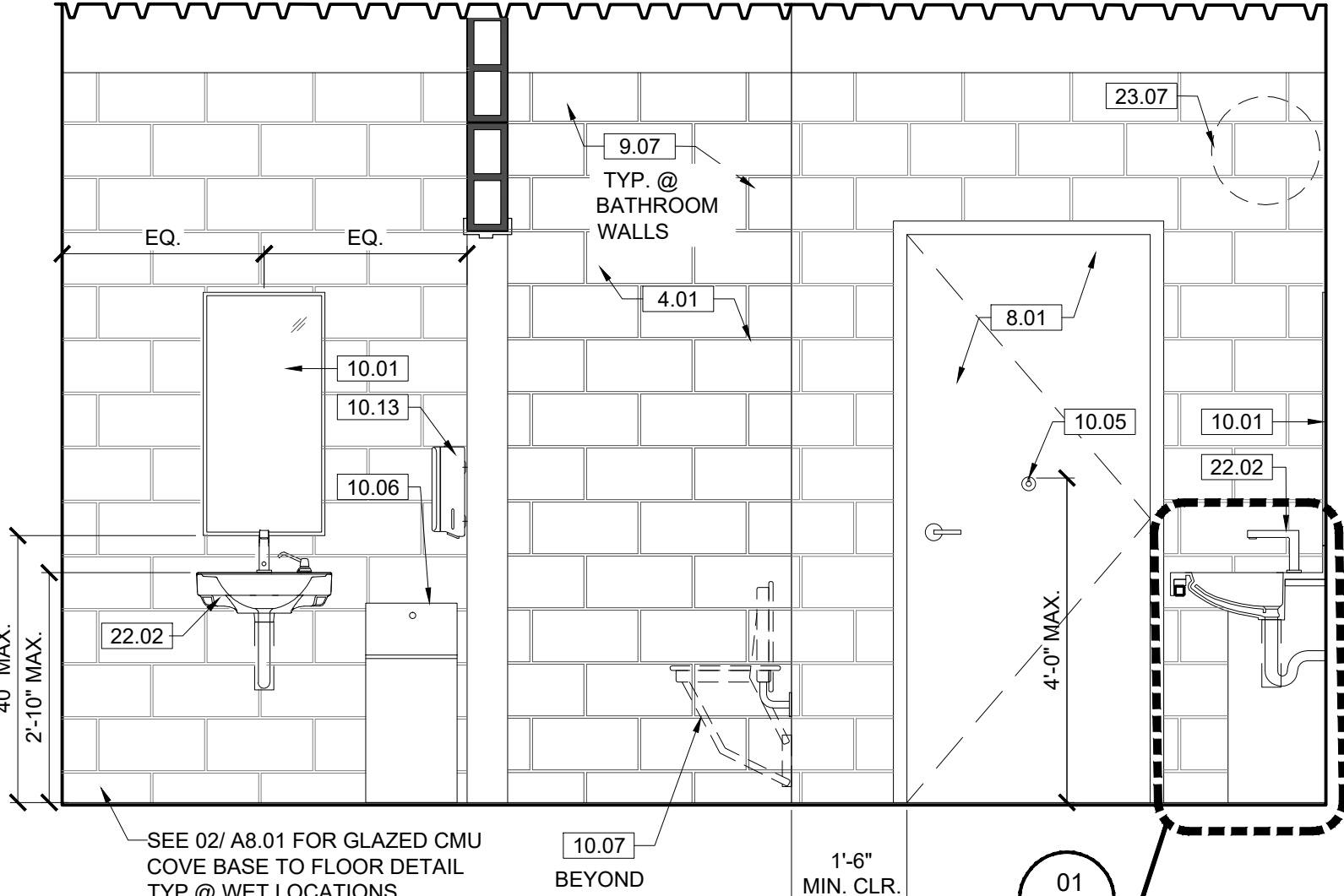
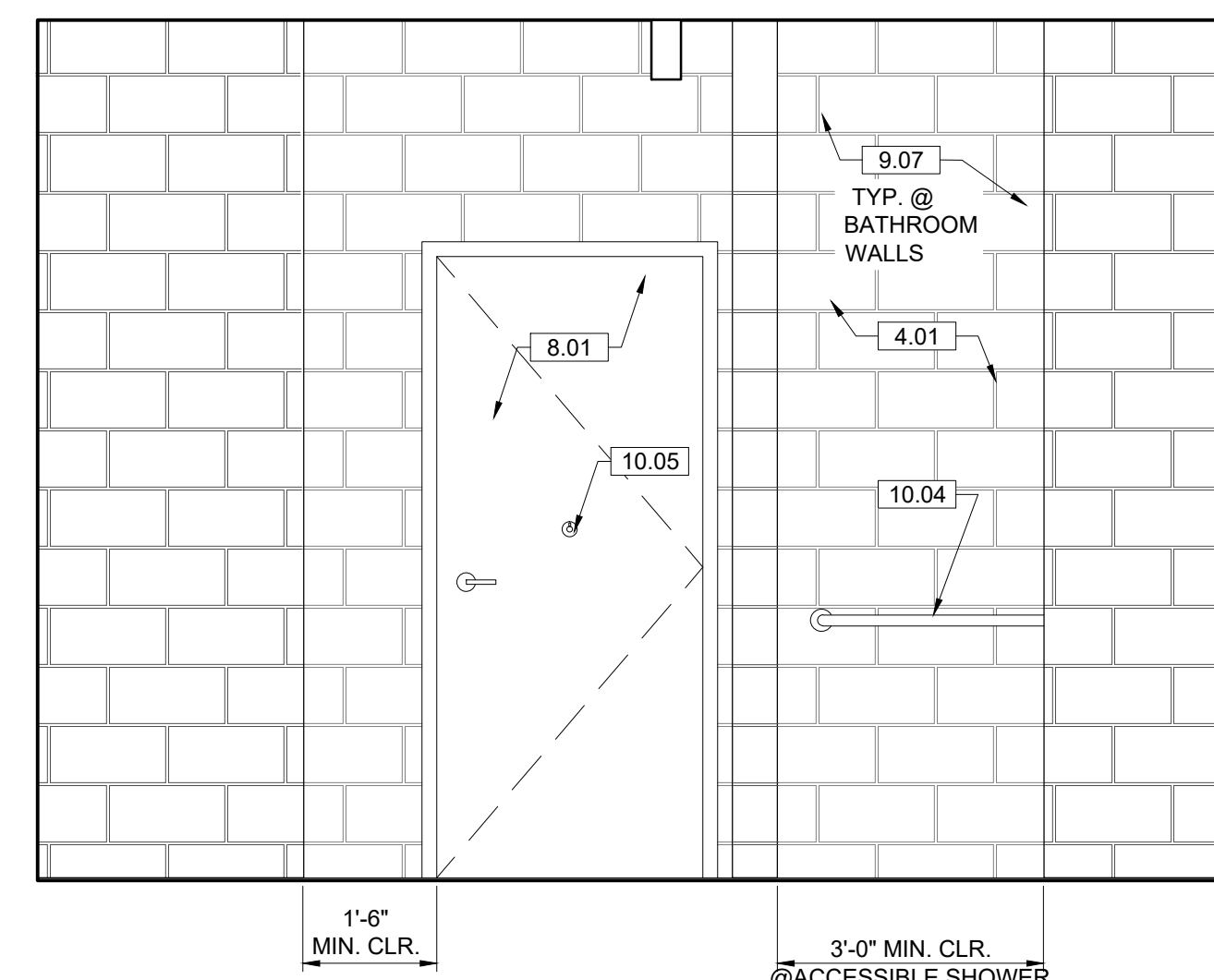
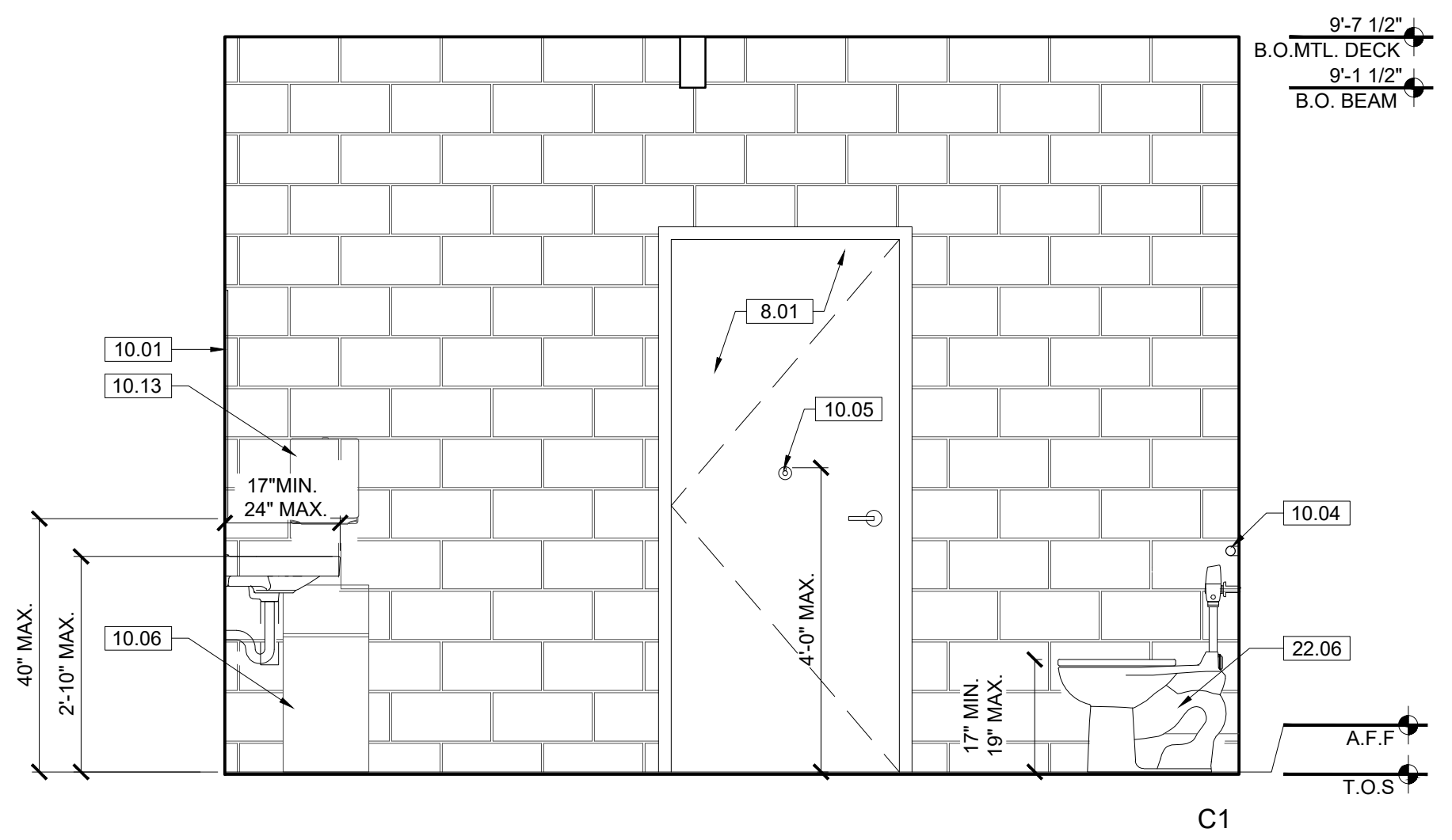
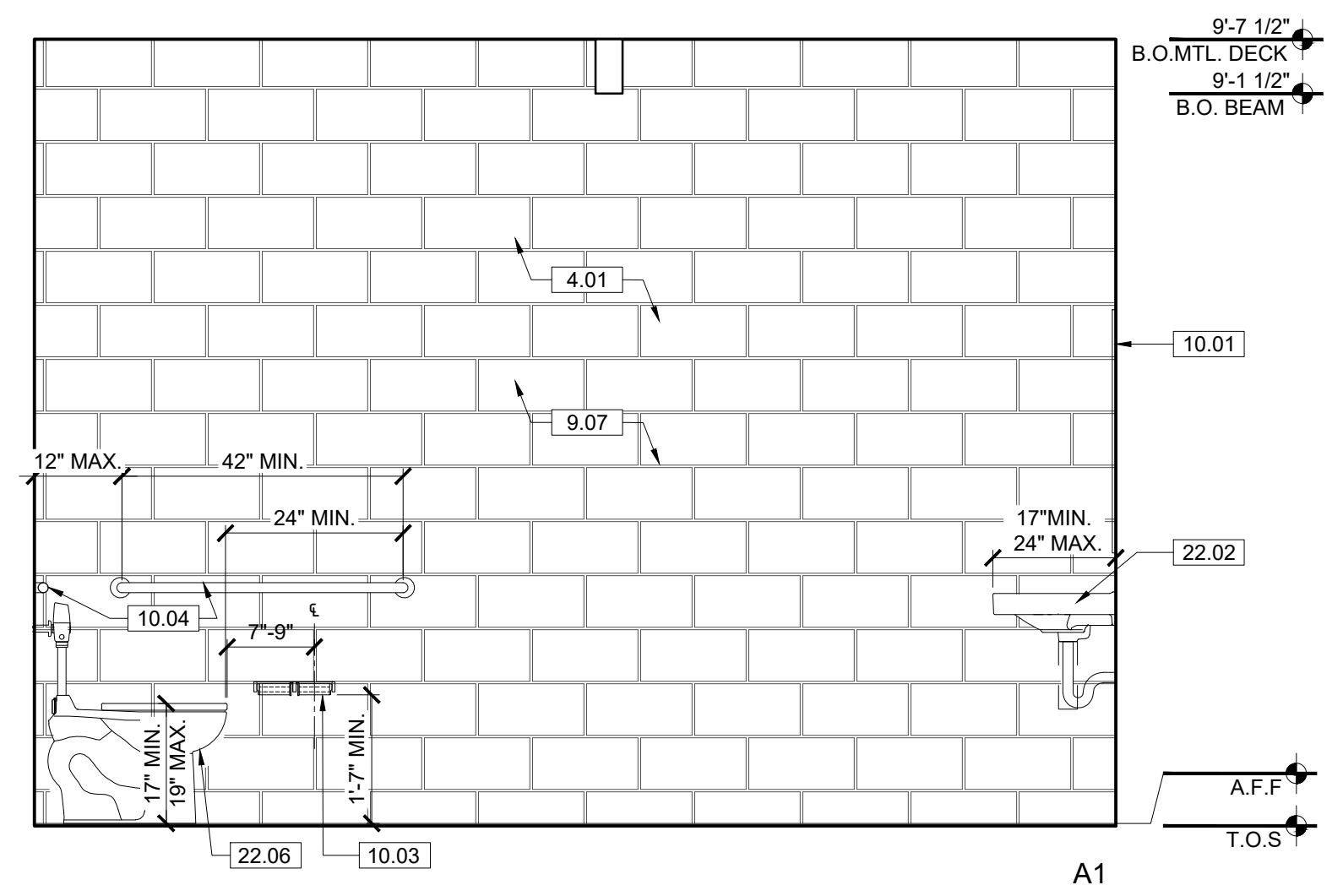
LICENSED ARCHITECT
LAWRENCE SORRA
C 21812
REN. 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING
VERTICAL CONTROL:
HORIZONTAL CONTROL:
SHEET TITLE:
PROJECT:
ADDRESS:

INTERIOR ELEVATIONS
RESEDA SKATE FACILITY
18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
DATE: BY:
NO. REVISIONS:
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:
WORK ORDER NO. E170121B
SHEET X OF X SHEETS

CITY OF LOS ANGELES



INTERIOR ELEVATIONS AT SHARED BATHROOM

REF: 01 / A4.40 SCALE: 1/2" = 1'-0"

- KEYNOTES**
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.
- 01 - GENERAL REQUIREMENTS**
 - 02 - NOT USED
 - 03 - CONCRETE**
 - 3.01 CONC. SLAB ON GRADE PER STRUCTL.
 - 3.02 CONC. O/MTL. DECK PER STRUCTL.
 - 3.03 CONC. CURB
 - 3.04 CONC. FOOTING PER STRUCTL.
 - 3.05 CONC. PAVING PER CIVIL DWGS.
 - 3.06 CONC. SIDEWALK PER CIVIL DWGS.
 - 3.07 CONC. PAD
 - 04 - MASONRY**
 - 4.01 CMU BLDNG. WALL
 - 4.02 CMU SITE WALL W/ 2" CMU CAP.
 - 05 - METALS**
 - 5.01 STL. COLUMN PER STRUCTL. PTD.
 - 5.02 STL. BEAM PER STRUCTL. PTD.
 - 5.03 HSS POST PER STRUCTL. PTD.
 - 5.04 HSS BEAM PER STRUCTL. PTD.
 - 5.05 MEMBRANE STRUCTURE I BEAM.
 - 5.06 MTL. DECK.
 - 5.07 MTL. GUARD RAILING.
 - 5.08 MTL. STUD WALL.
 - 06 - WOOD AND PLASTICS**
 - 6.01 W.P. MEMBRANE PER DETL. & SPECS.
 - 6.02 SINGLE PLY PVC ROOFING PER SPECS.
 - 6.03 R-21 RIGID INSULATION @ WALLS.
 - 6.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 - 6.05 ROOF DRAIN AND OVERFLOW.
 - 07 - THERMAL & MOISTURE PROTECTION**
 - 7.01 W.P. MEMBRANE PER DETL. & SPECS.
 - 7.02 SINGLE PLY PVC ROOFING PER SPECS.
 - 7.03 R-21 RIGID INSULATION @ WALLS.
 - 7.04 UNDERSLAB MOISTURE VAPOR BARRIER.
 - 7.05 ROOF DRAIN AND OVERFLOW.
 - 08 - OPENINGS (SEE DOOR/WINDOW SCHED)**
 - 8.01 STL. DOOR & FRAME, PAINTED.
 - 8.02 CLR. ANODIZED ALUM. STOREFRONT DOOR.
 - 8.03 CLR. ANODIZED ALUM. STOREFRONT WINDOW.
 - 8.04 DOOR HARDWARE SET PER SCHED.
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 - 8.06 EXTERIOR WALL VENT WITH CAP.
 - 8.07 ROLLING STL. DOOR & FRAME.
 - 8.08 ICE RINK GATES
 - 8.09 OVERHEAD GLASS DOOR.
 - 8.10 ACCESS PANEL, COLOR TO MATCH ADJACENT MATERIAL.
 - 8.11 ROOF ACCESS HATCH.
 - 09 - FINISHES (SEE FIN. SCHED)**
 - 9.01 5/8" TYPE 'X' GYP. BD., PROVIDE 'WET RATED' AT BATHROOMS. PAINT. CONC. FLR. SEAL PER FIN. SCHED.
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 - 9.03 PAINT PER SPECS.
 - 9.04 GRAFFITI COATING, TYP. @ ALL EXTERIOR SOLID WALLS.
 - 9.05 GLAZED FINISH ON CMU.
 - 9.06 CERAMIC TILE.
 - 10 - SPECIALTIES**
 - 10.01 MIRROR PER SPECS.
 - 10.02 SIGNAGE
 - 10.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
 - 10.04 GRAB BAR.
 - 10.05 COAT HOOK.
 - 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)**
 - 11.01 MIRROR PER SPECS.
 - 11.02 SIGNAGE
 - 11.03 TOILET PAPER ROLL HOLDER PER ACCESSORY SCHED.
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 - 12 - FURNISHINGS**
 - 12.01 BICYCLE RACKS FOR SHORT-TERM BIKE PARKING.
 - 12.02 DASHBOARD NIC.
 - 12.03 BENCH NIC.
 - 13 - SPECIAL CONSTRUCTION**
 - 13.01 MEMBRANE STRUCTURE.
 - 14 - CONVEYING EQUIPMENT (NOT USED)**
 - 21 - FIRE SUPPRESSION**
 - 21.01 FIRE EXTINGUISHER.
 - 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
 - 21.03 FIRE SPRINKLER VALVE ASSEMBLY
 - 21.04 FIRE DEPT. MAIN CONNECTION @ FRONT OF PROJECT. LAFD SHALL APPROVE FINAL LOCATION.
 - 21.05 FIRE SPRINKLER HEAD.
 - 22 - PLUMBING**
 - 23 - HEATING, VENTILATING, AND AIR-CONDITIONING**
 - 23.01 HVAC UNIT PER MECH.
 - 23.02 AIR REGISTER WALL MOUNTED.
 - 23.03 CEILING AIR REGISTER.
 - 23.04 MAKE UP AIR LOUVER PER MECH. DWGS
 - 25 - BATHRM EXHAUST FAN PER SPECS.**
 - 26 - ELECTRICAL**
 - 26.01 ELEC. PANEL PER PLANS & SCHED.
 - 26.02 EXTERIOR LIGHT PER SCHED.
 - 26.03 INTERIOR LIGHT PER SCHED.
 - 27 - COMMUNICATION**
 - 28 - ELECTRONIC SAFETY AND SECURITY**
 - 28.01 SMOKE ALARM.
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 - 28.03 FIRE ALARM MAIN PANEL.
 - 29 - EARTHWORK**
 - 29.01 APPROVED COMPACT FILL PER GEO & SOIL ENGINEER REPORT.
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 - 32.11 (N) CONCRETE SIDEWALK, CURB.
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ENGINEERING
CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE SORRA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL:
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SHEET TITLE:
INTERIOR ELEVATIONS

PROJECT:
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ADDRESS:
18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE: BY:

NO. REVISIONS:

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP

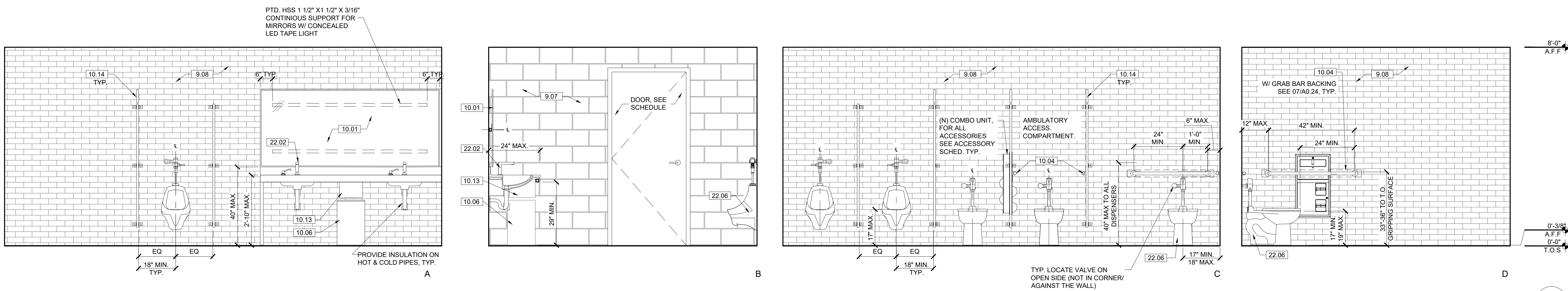
ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

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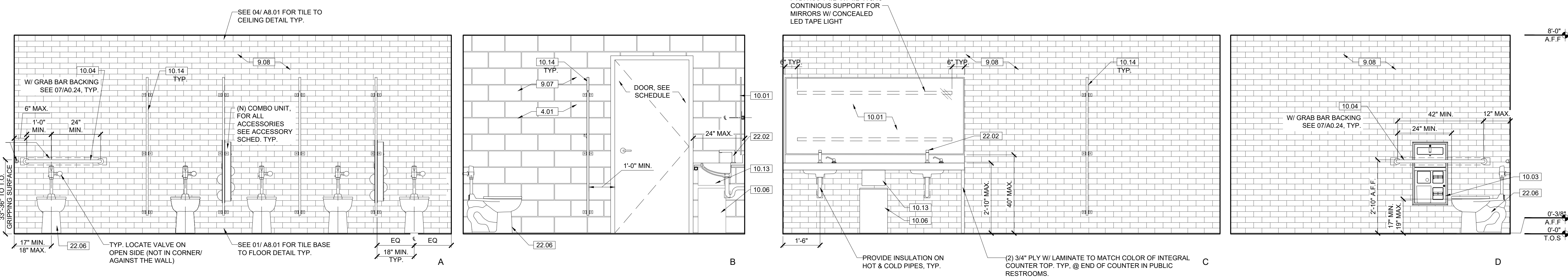
SHEET NAME:
A7.13

SHEET X OF X SHEETS

REVISION DATES (DESIGN STAGE ONLY)



INTERIOR ELEVATIONS AT MEN'S RESTROOM
 REF: 01 / A4.10 SCALE: 1/2" = 1'-0"



INTERIOR ELEVATIONS AT WOMEN'S RESTROOM
 REF: 01 / A4.10 SCALE: 1/2" = 1'-0"

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ENGINEERING
 CITY OF LOS ANGELES

LICENSED ARCHITECT
 LAWRENCE SOMPA
 C21812
 REN. 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES
 GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

INTERIOR ELEVATIONS
 RESEDA SKATE FACILITY

18210 SHERMAN WAY, RESEDA CA 91335

DATE: BY: INDEX NO. CIP NO.

DATE: BY: INDEX NO. CIP NO.

ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

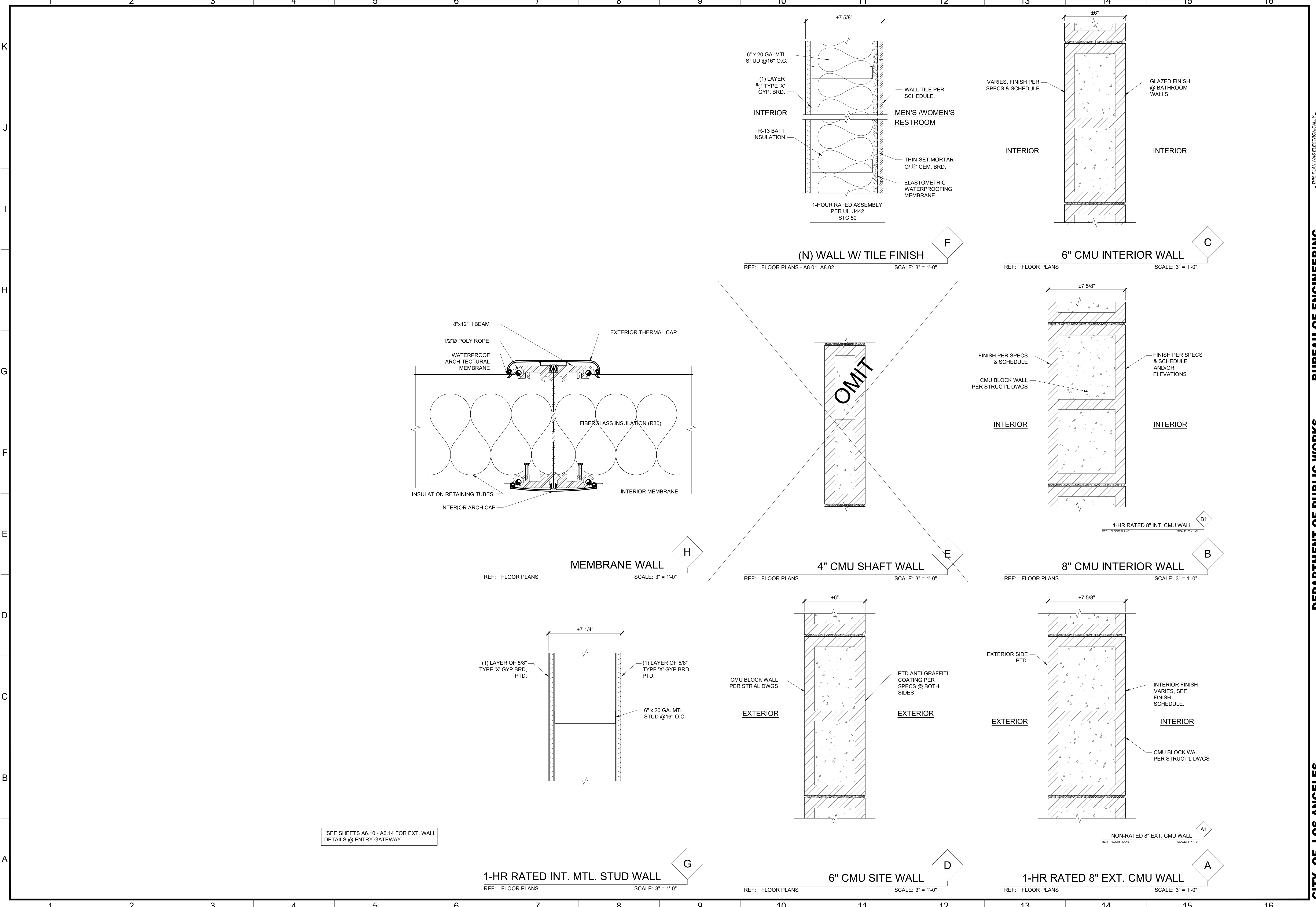
WORK ORDER NO. E170121B

SHEET NAME: **A7.14**
 SHEET X OF X SHEETS

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SEE SHEETS A6.10 - A6.14 FOR EXT. WALL DETAILS @ ENTRY GATEWAY

ENGINEERING
CITY OF LOS ANGELES
Environmental Engineering Division

LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN. 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING
VERTICAL CONTROL: _____
HORIZONTAL CONTROL: _____
SHEET TITLE: WALL TYPES
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
NO. _____ REVISIONS: _____
DATE: _____ BY: _____
CIP NO. _____

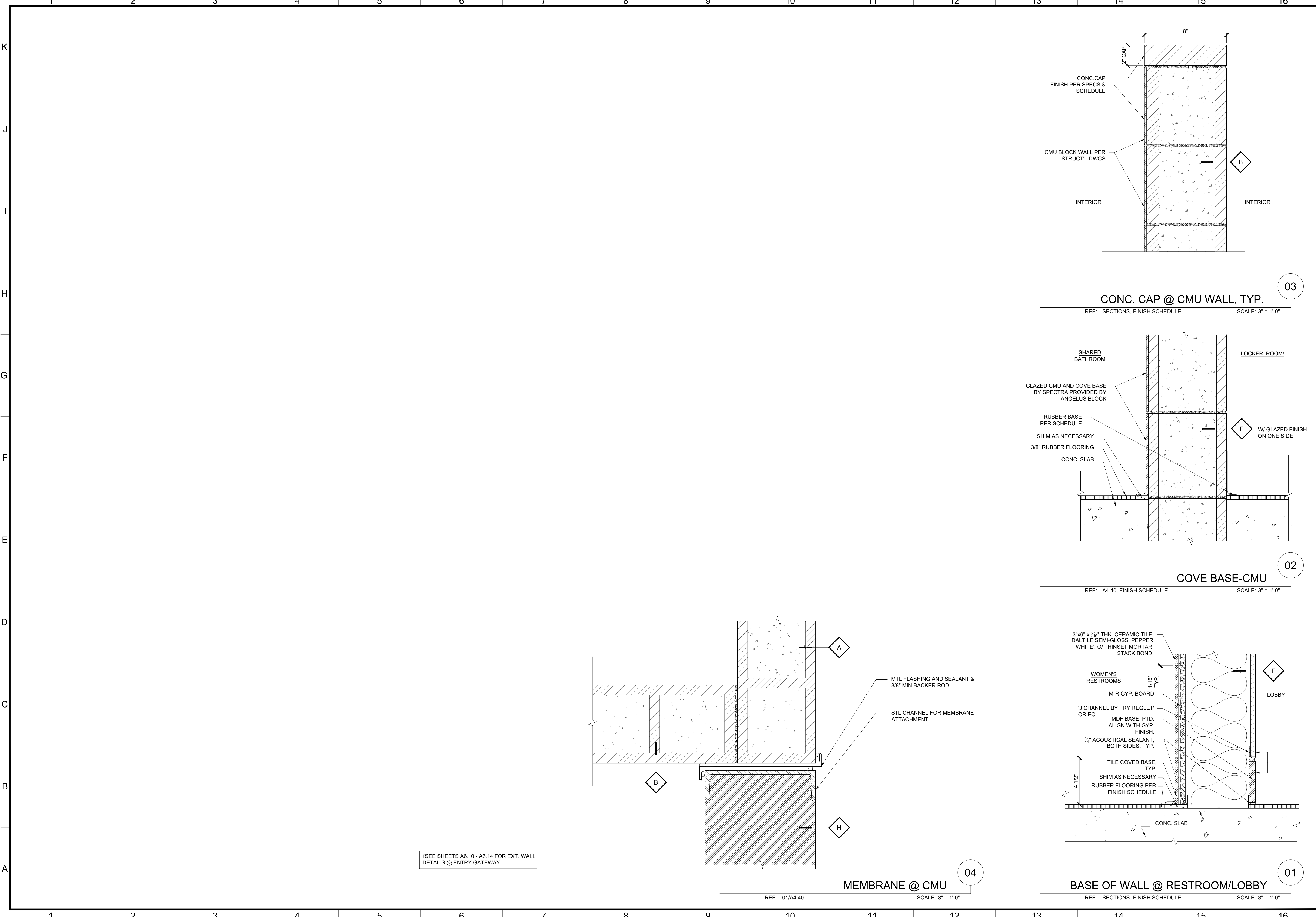
CITY OF LOS ANGELES
CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B
SHEET NAME: **A8.00**
SHEET X OF X SHEETS

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SEE SHEETS A6.10 - A6.14 FOR EXT. WALL DETAILS @ ENTRY GATEWAY



BUREAU OF ENGINEERING

VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

SHEET TITLE: WALL DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

NO. _____ REVISIONS: _____
 DATE: _____ BY: _____

INDEX NO. _____ CIP NO. _____

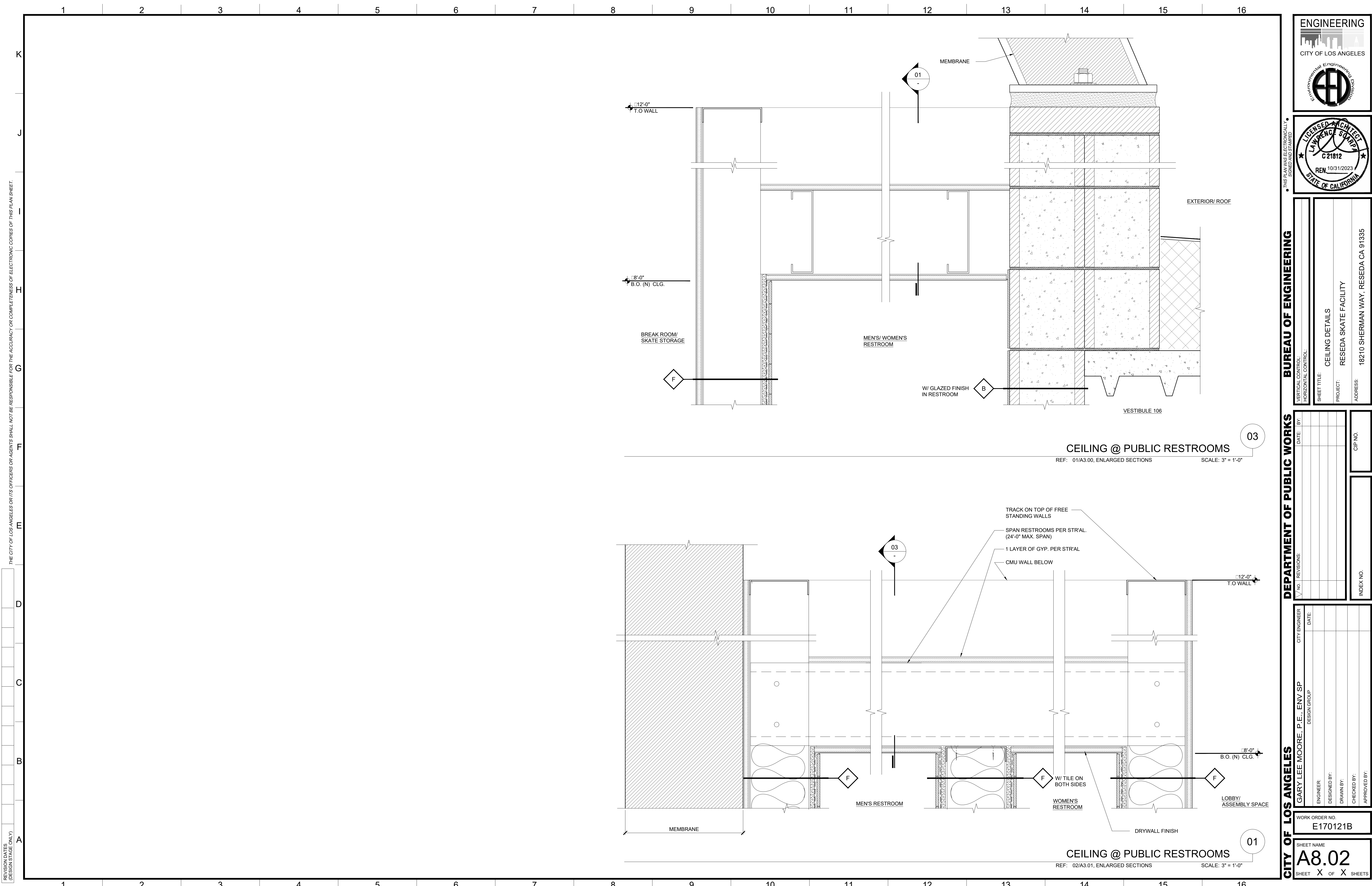
CITY OF LOS ANGELES

CITY ENGINEER: _____ DATE: _____
 ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP: _____

ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A8.01
SHEET X OF X SHEETS



CEILING @ PUBLIC RESTROOMS

REF: 01/A3.00, ENLARGED SECTIONS SCALE: 3" = 1'-0"

CEILING @ PUBLIC RESTROOMS

REF: 02/A3.01, ENLARGED SECTIONS SCALE: 3" = 1'-0"

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BUREAU OF ENGINEERING
 HORIZONTAL CONTROL:
 SHEET TITLE: CEILING DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE:	BY:
NO. REVISIONS:	INDEX NO.

CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP
 ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

WORK ORDER NO. E170121B

SHEET NAME: **A8.02**
 SHEET X OF X SHEETS



INFORMATION BULLETIN / PUBLIC - BUILDING CODE
 REFERENCE NO.: LABC 1803.5.3 Effective: 01-01-2017
 DOCUMENT NO.: P/BC 2017-116 Revised:
 Previously Issued As: P/BC 2014-116

FOUNDATION DESIGN FOR EXPANSIVE SOILS

Foundation systems for buildings on expansive soils shall be designed and constructed in a manner that will minimize damage to the structure from movement of the soil. The following guidelines are intended to provide the required mitigation:

I. NEW CONSTRUCTION

In order to mitigate the potential for expansive soils, either a soils report shall be submitted to the Grading Division for review and approval or the building footings shall be designed in accordance with the following requirements:

- Depth of footings below the natural and finish grades shall not be less than 24 inches for exterior and 18 inches for interior footings.
- Exterior walls and interior bearing walls shall be supported on continuous footings.
- Footings shall be reinforced with four 1/2-inch-diameter deformed reinforcing bars. Two bars shall be placed within 4 inches of the bottom of the footings and two bars within 4 inches of the top of the footing with a minimum concrete cover per ACI 318, Section 20.6.1.3.
- On-grade concrete floor slabs shall be placed on a 4-inch fill of coarse aggregate or on a 2-inch sand bed over a moisture barrier membrane. The slabs shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch-diameter deformed reinforcing bars. Reinforcing bars shall be spaced at intervals not exceeding 16 inches each way.
- The soil below an interior concrete slab shall be pre-saturated to a depth of 18 inches prior to placing the concrete.
- All drainage adjacent to footings shall be conducted away from the structure by a minimum 3-foot-wide apron sloped at no less than 2 percent and draining into an approved non-erosive device.
- Allowable foundation and lateral pressures for footing design shall not exceed the values shown in Table 1806.2.

Construction in accordance with these requirements does not prevent the building/grading inspector from requiring a soils report at any time, based upon site conditions.

II. SLAB-ON-GROUND FOUNDATIONS

Slab-on-ground foundations such as a post-tensioned mat or raft will require a soils report and they shall be designed in accordance with Code Section 1808.6.2.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.
 Page 1 of 2



P/BC 2014-116

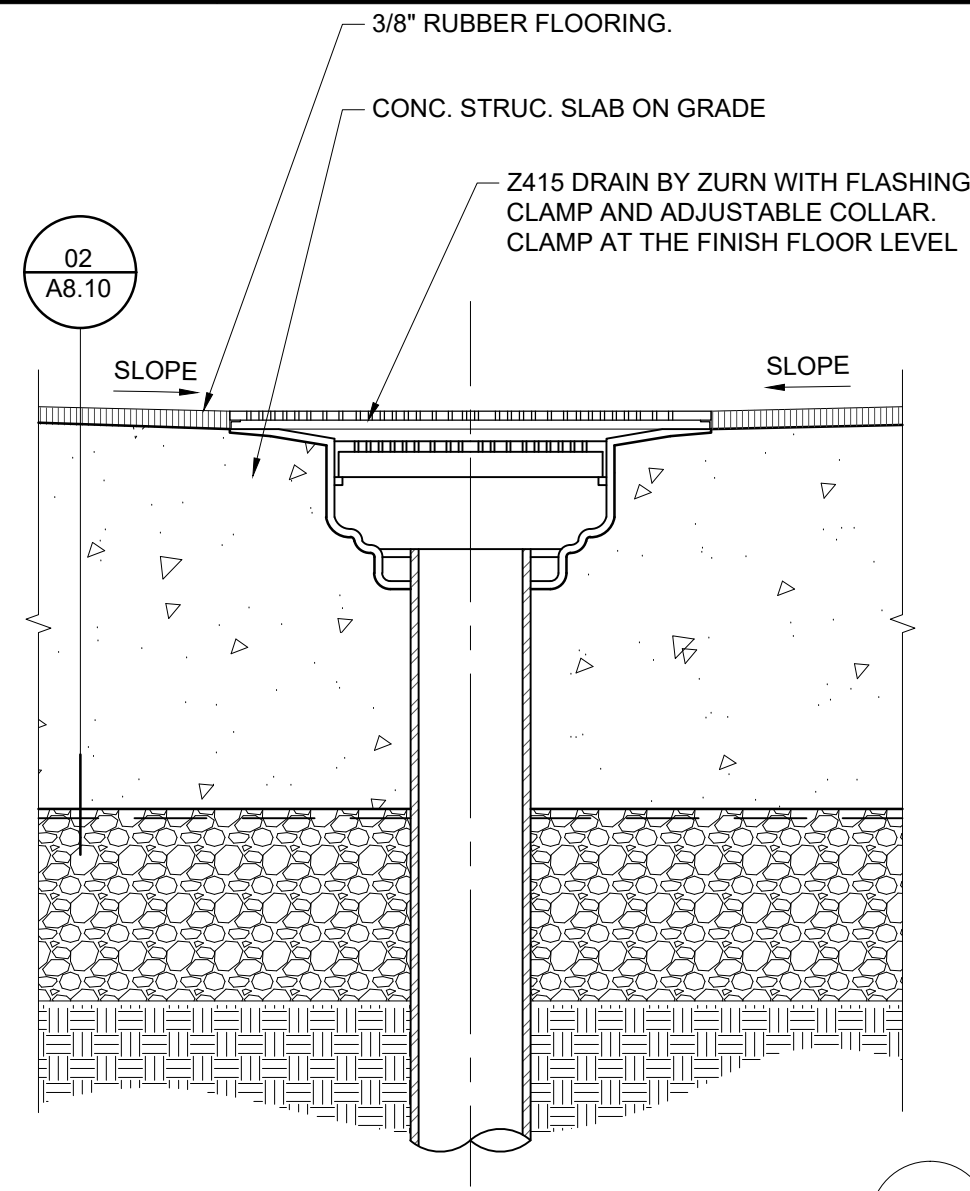
III. EXISTING FOOTINGS

Existing residential buildings which are being remodeled or added onto may utilize the existing footings to support the proposed construction in lieu of compliance with the requirements specified above provided the following conditions are met:

- The total value of the remodeling project, including any additions, must not exceed 50% of the replacement value of the existing building.
- The project shall be limited to the existing single family dwellings being enlarged or remodeled using the existing footings. All new footings must comply with all requirements contained in this information bulletin.
- For other than one-story additions, the civil or structural engineer of record shall prepare a statement to be included on the plans, stating that the engineer has inspected the supporting soils on the site and is knowledgeable of the soils in the area. The statement shall also include the following information:
 - The type of soil on the site and the estimated classification of expansiveness.
 - The structural adequacy and condition of existing footings.
- All drainage adjacent to existing footings shall be conducted away from the structure.

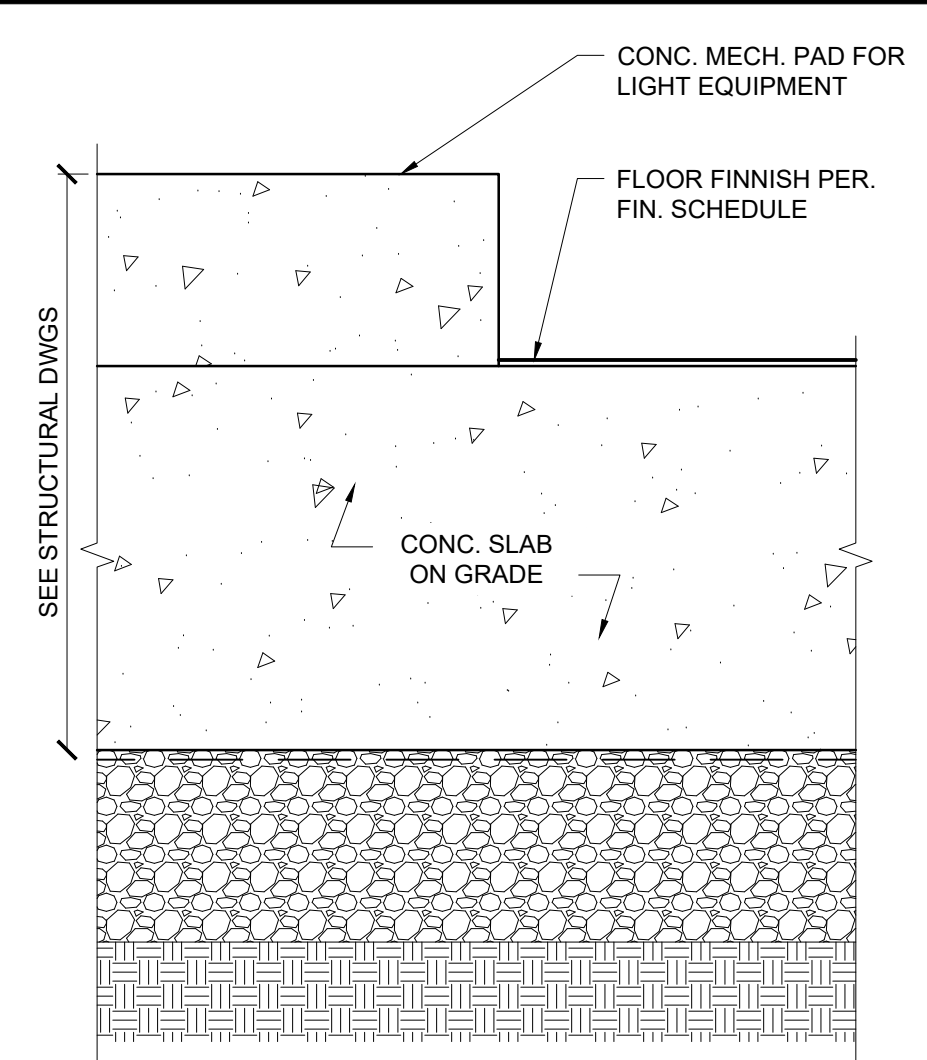
NOTE:
FOR ICE RINK FLOOR DETAILS SEE REFRIGERANT
DRAWINGS, SHEET R5.01.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.
 Page 2 of 2



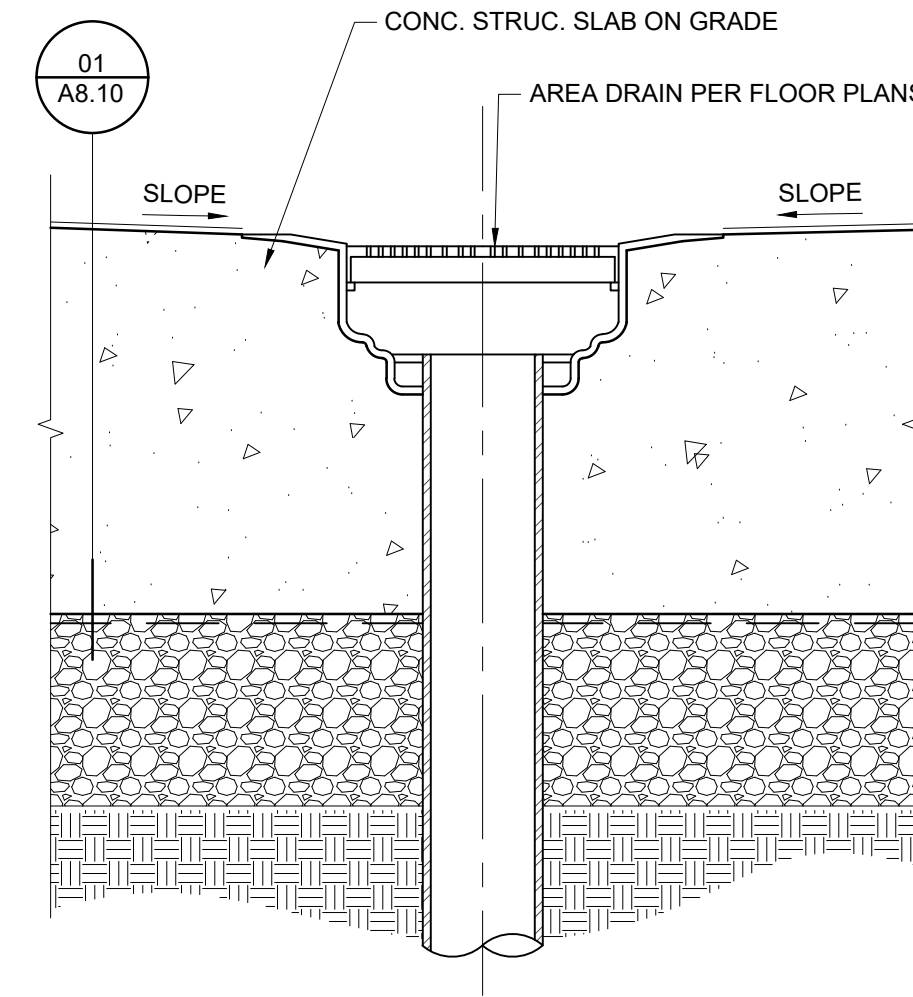
FLOOR DRAIN @ RUBBER FLOOR

REF: ENLARGED PLANS SCALE: 3" = 1'-0"



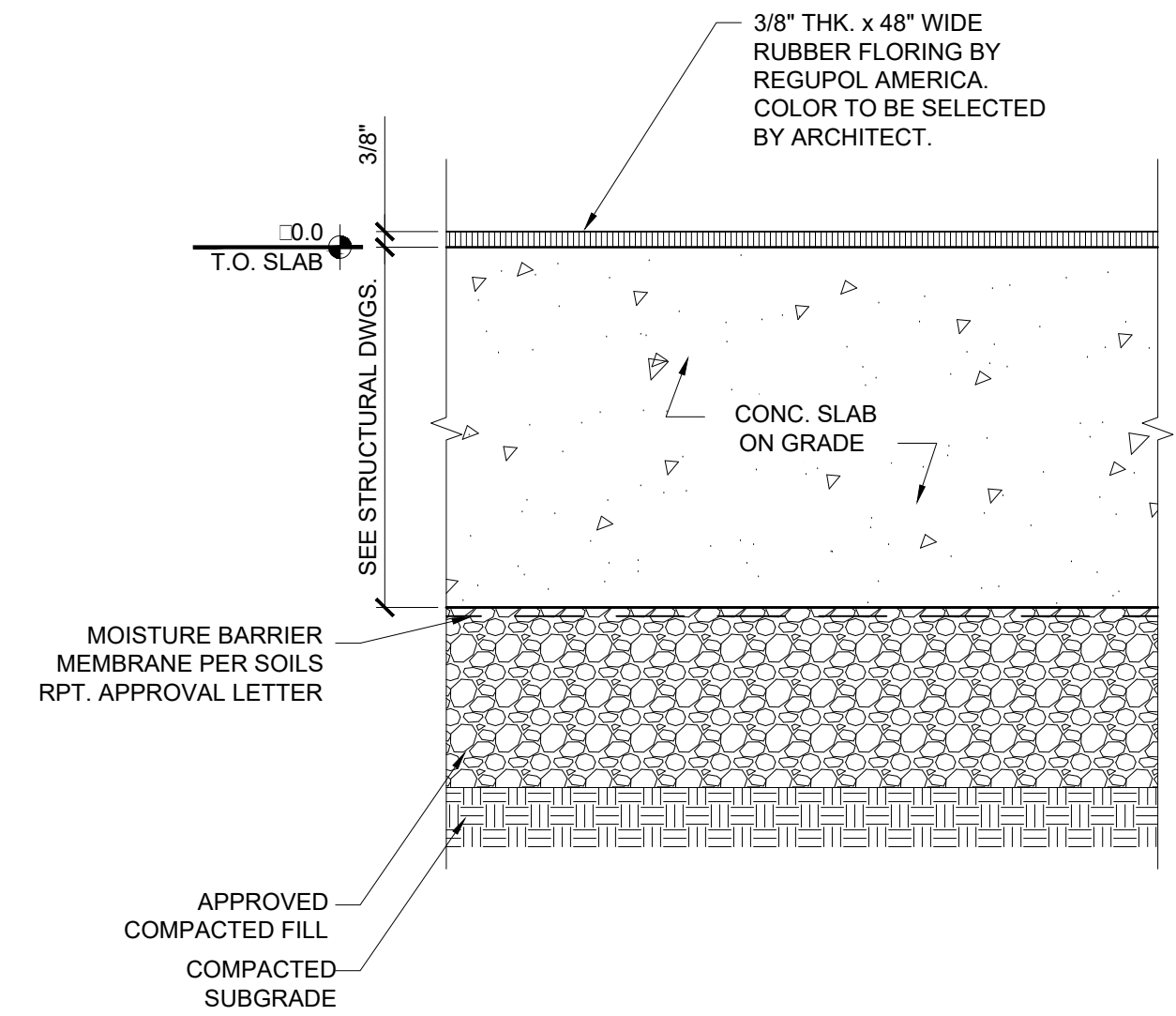
CONC. MECHANICAL PAD

REF: A3.11, A4.20, A0.35 SCALE: 3" = 1'-0"



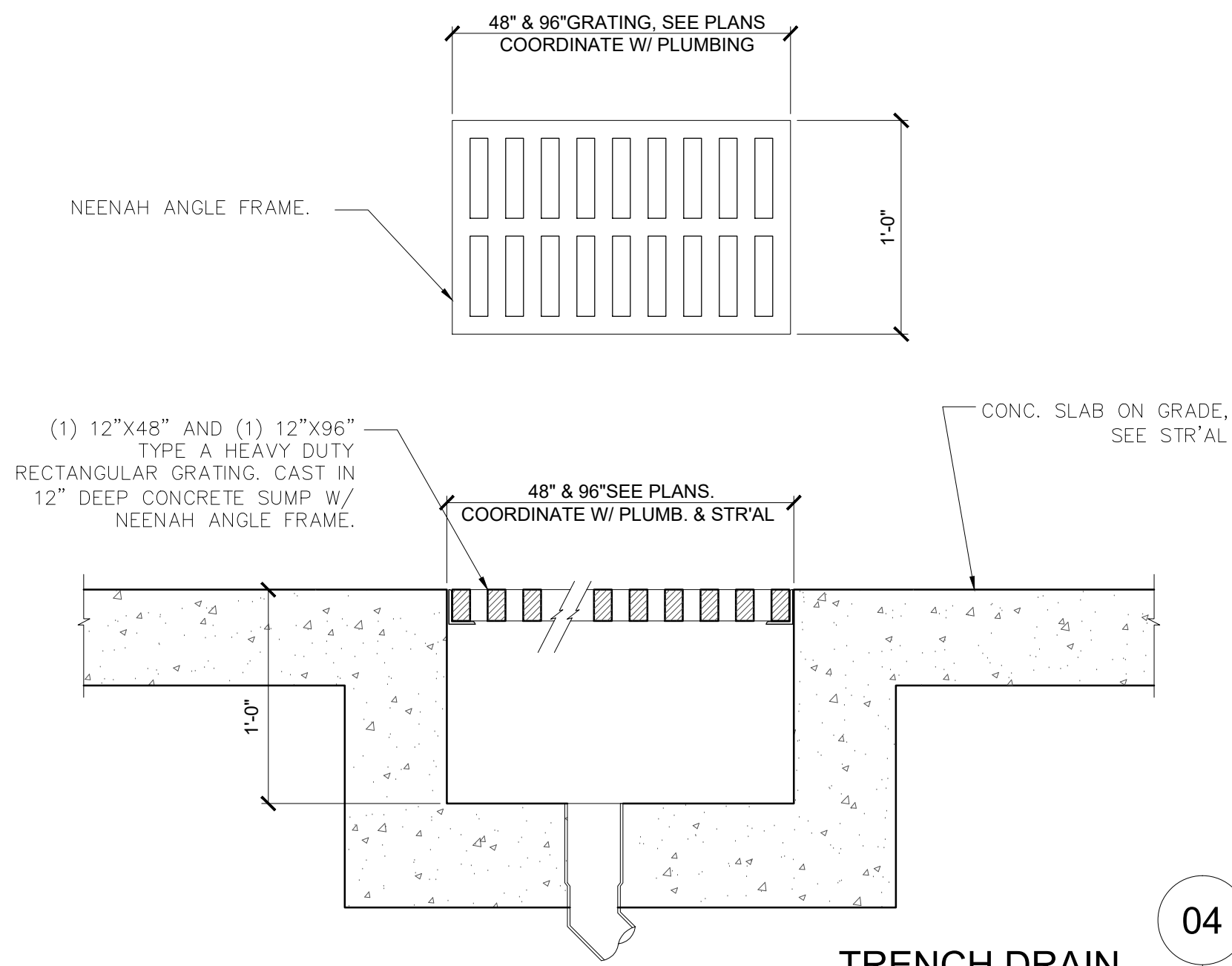
FLR DRAIN @ SLAB-ON-GRADE

REF: A4.20, A4.40 SCALE: 3" = 1'-0"



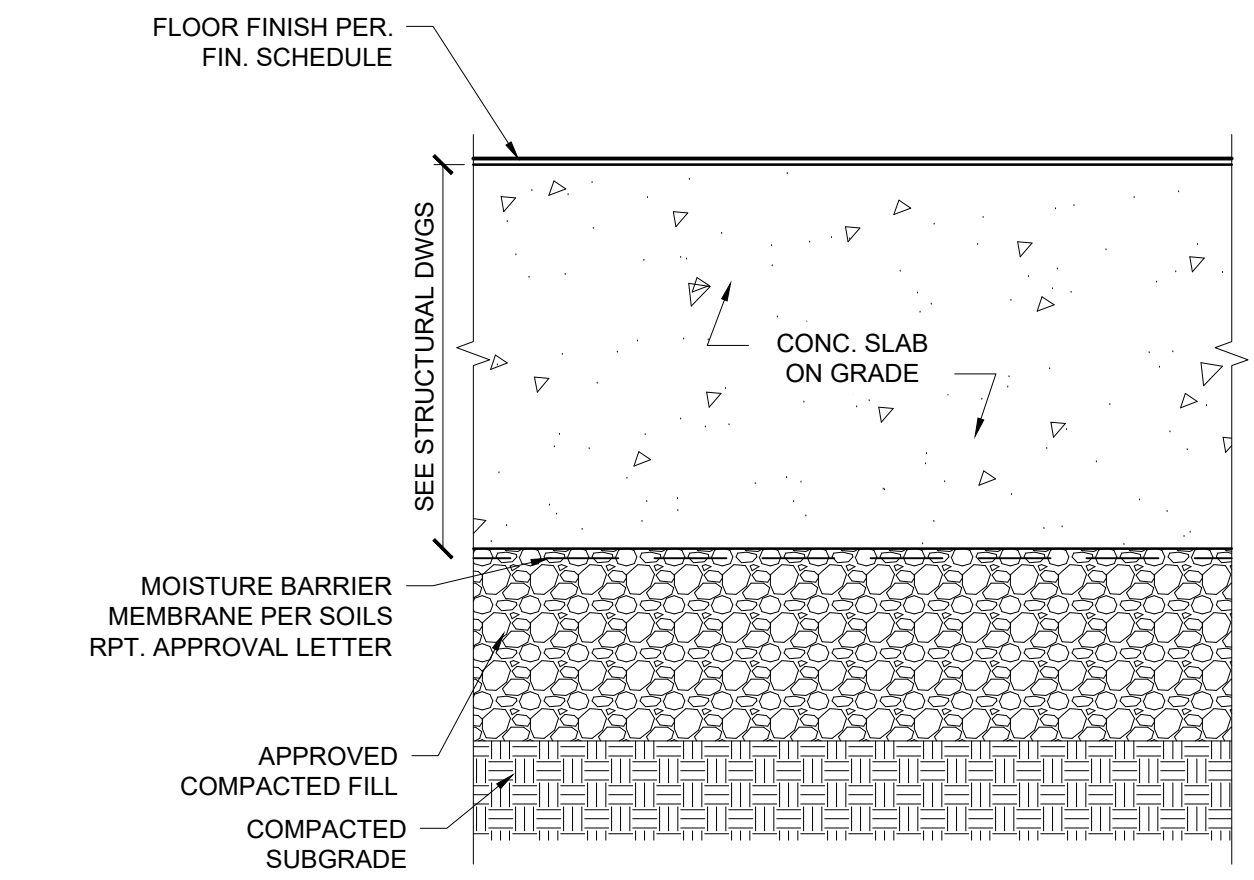
RUBBER FLOORING

REF: SECTIONS, A0.35 SCALE: 3" = 1'-0"



TRENCH DRAIN

REF: SECTIONS, A4.00 SCALE: 1 1/2" = 1'-0"



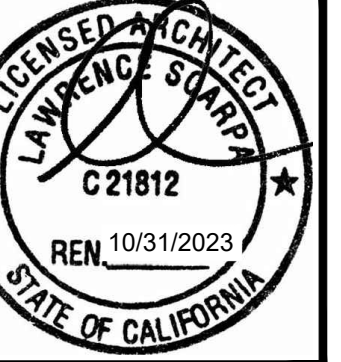
SEALED CONC. FLOOR

REF: SECTIONS, A0.35 SCALE: 3" = 1'-0"

NOTE: SEE A0.35 FOR SOILS RPT. APPROVAL LETTER AND SOILS REPORT DATED 11/08/19 & 03/25/21 FOR MORE INFORMATION.

ENGINEERING

CITY OF LOS ANGELES



BUREAU OF ENGINEERING
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

NO.	REVISIONS	DATE	BY

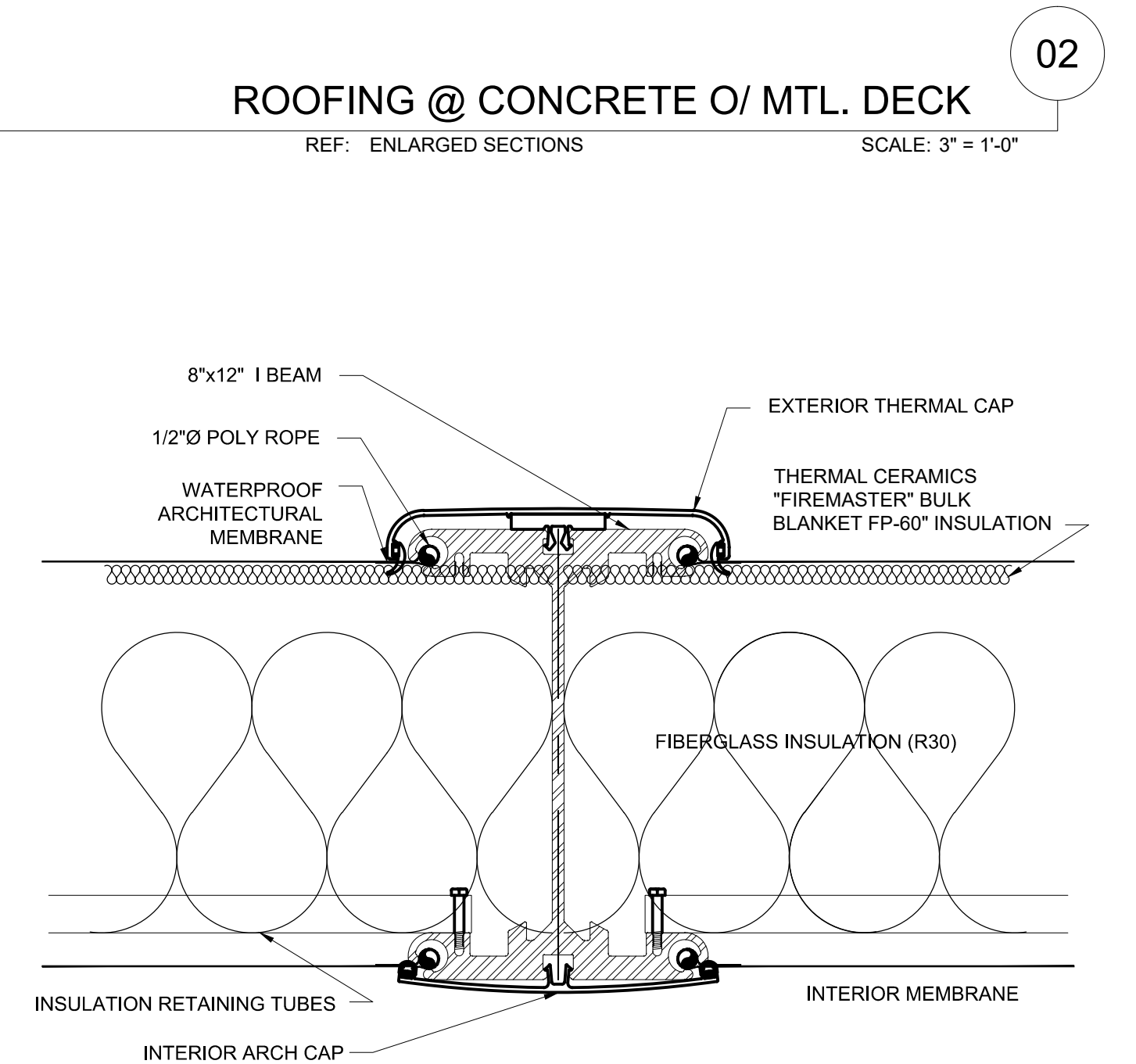
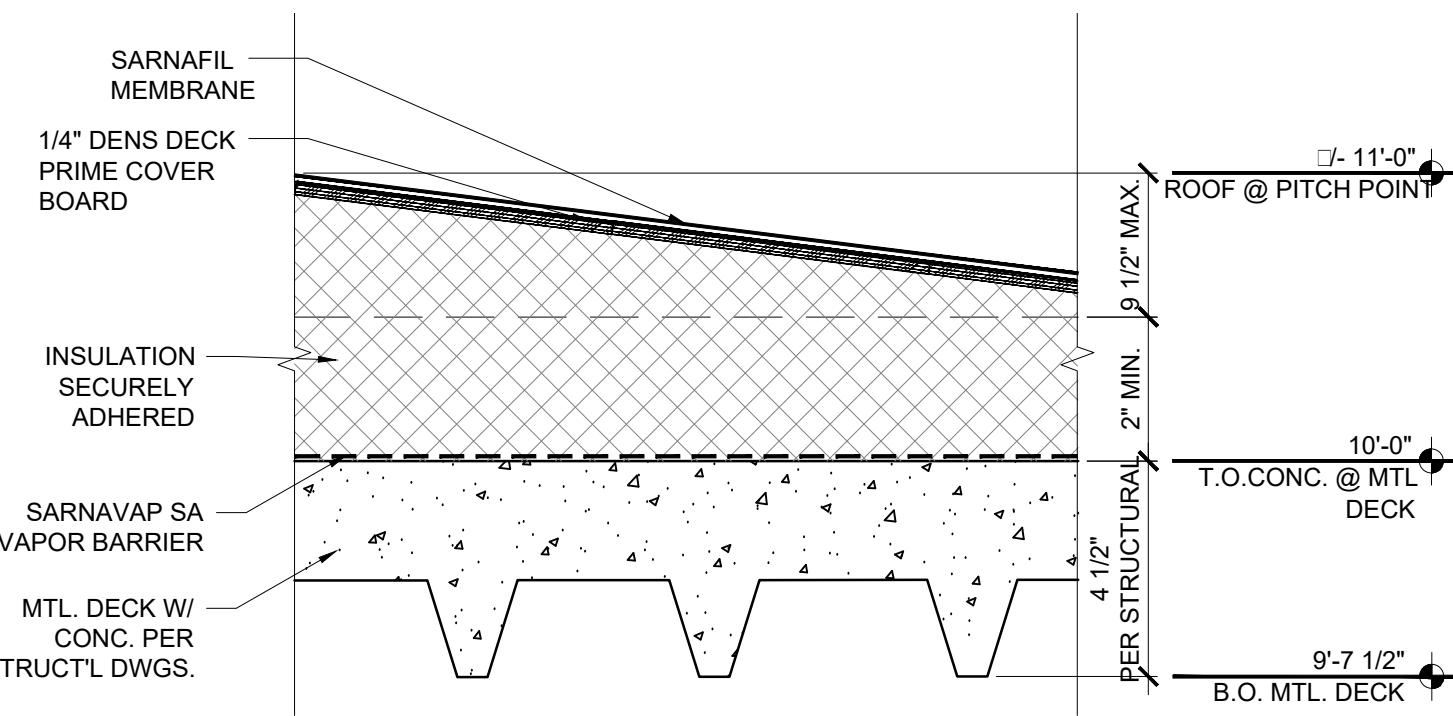
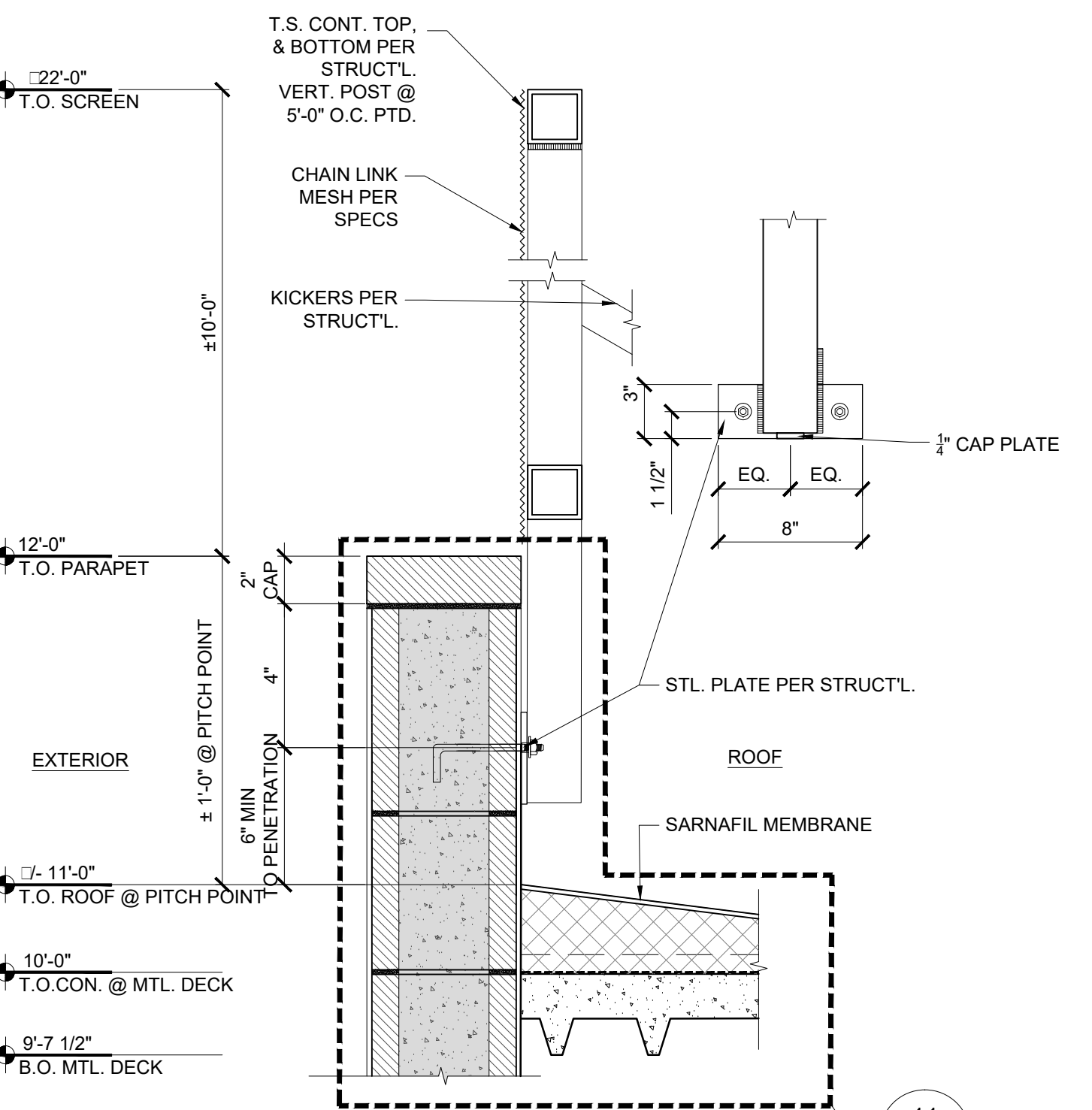
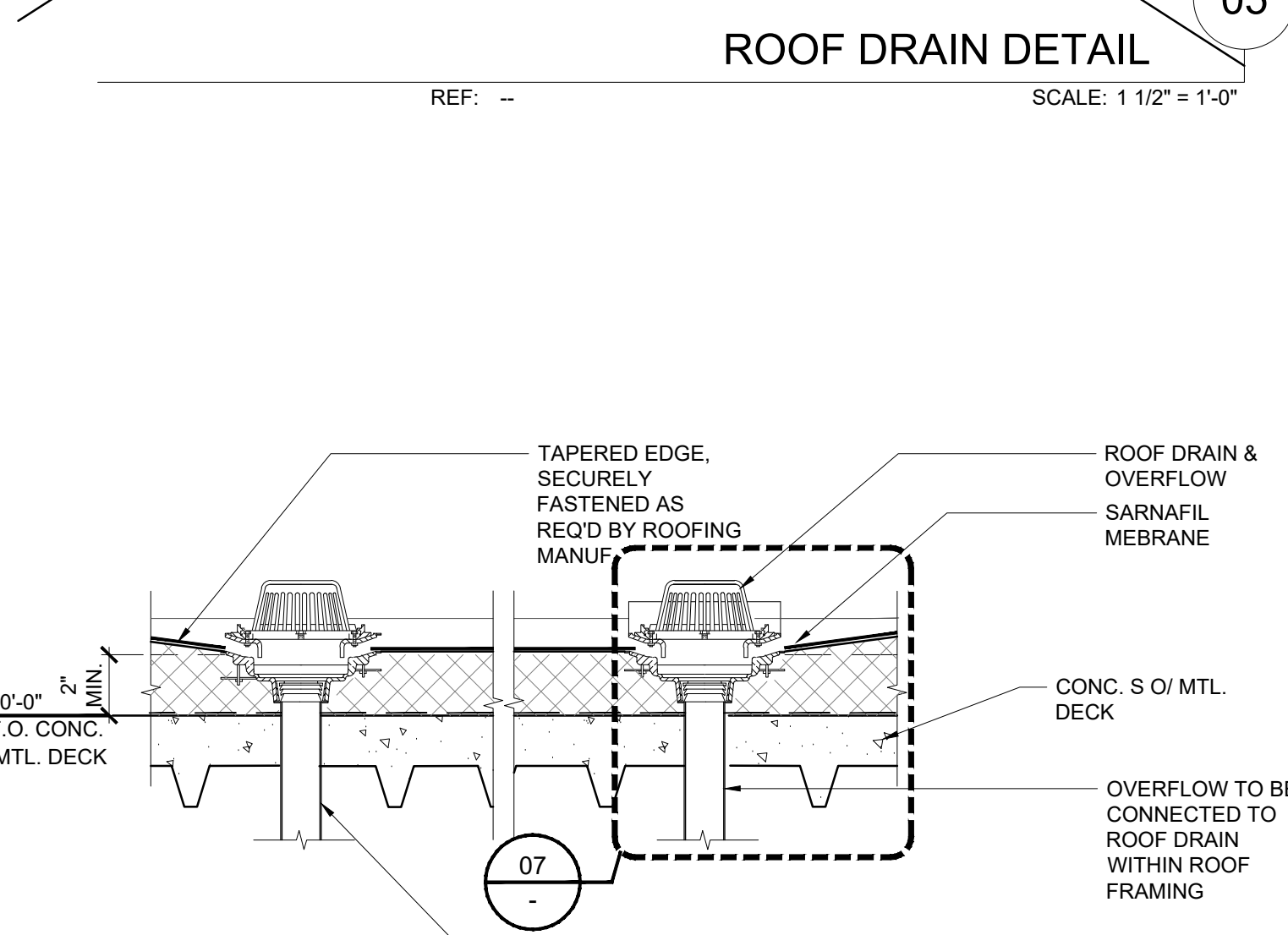
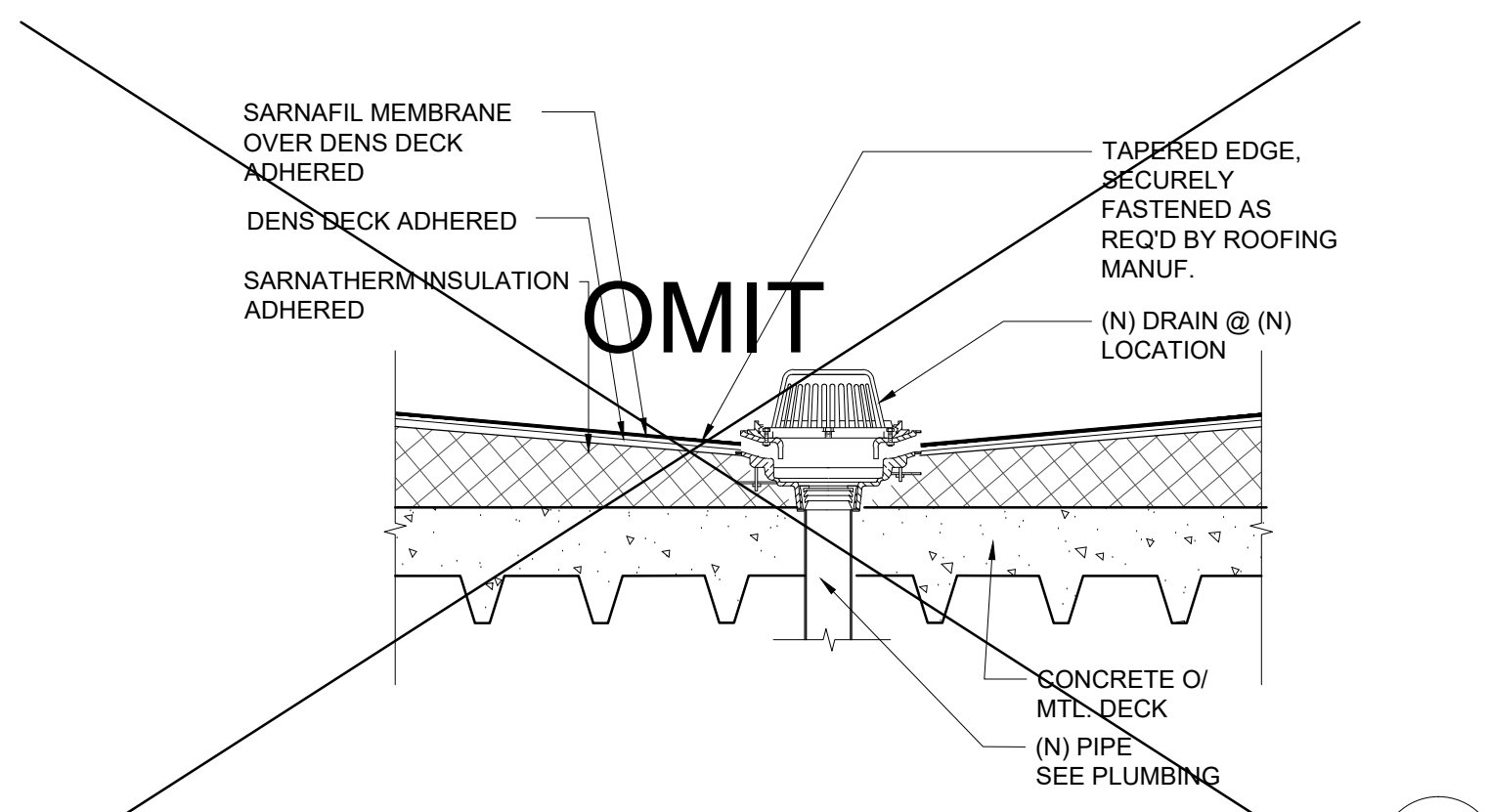
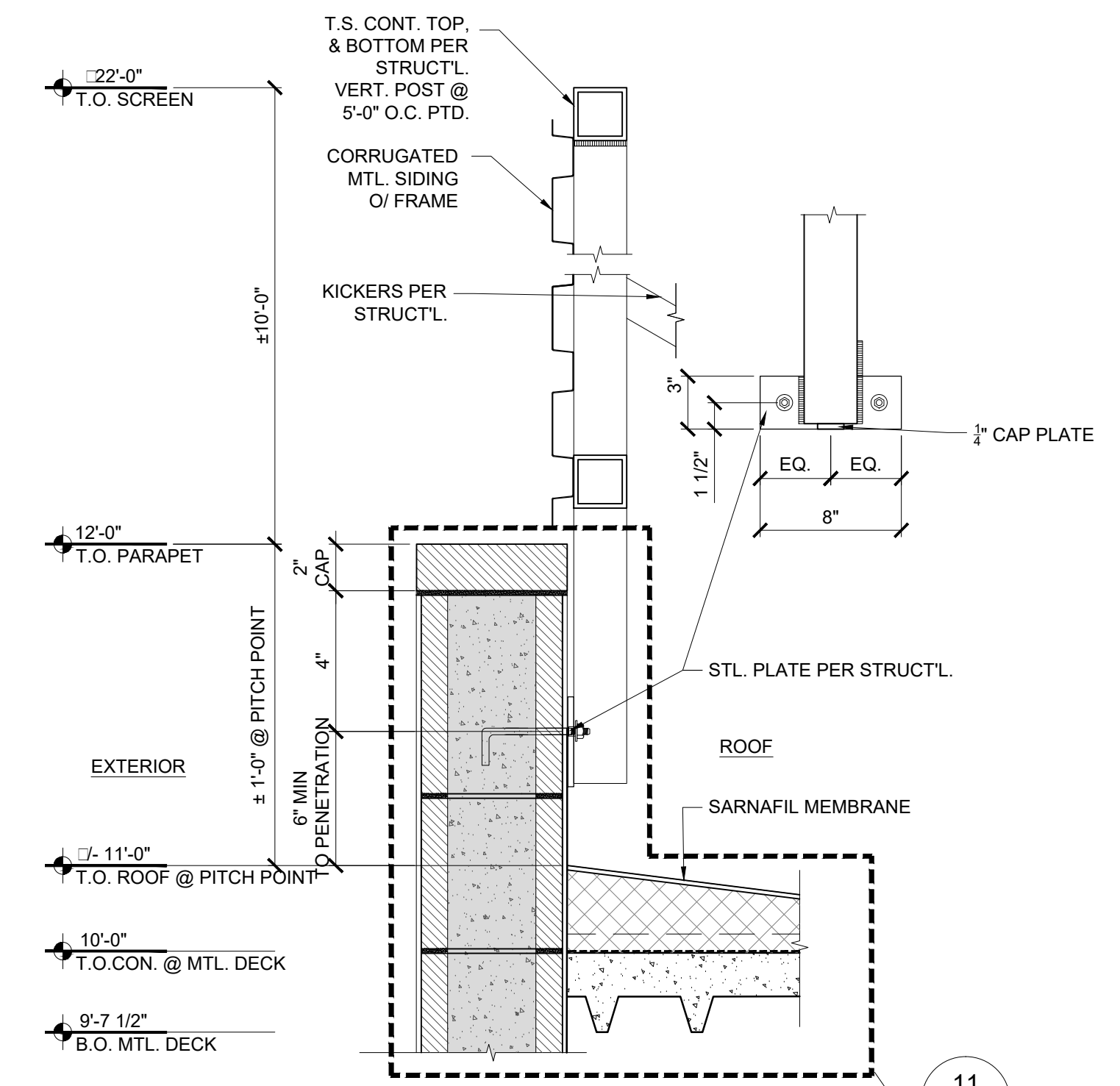
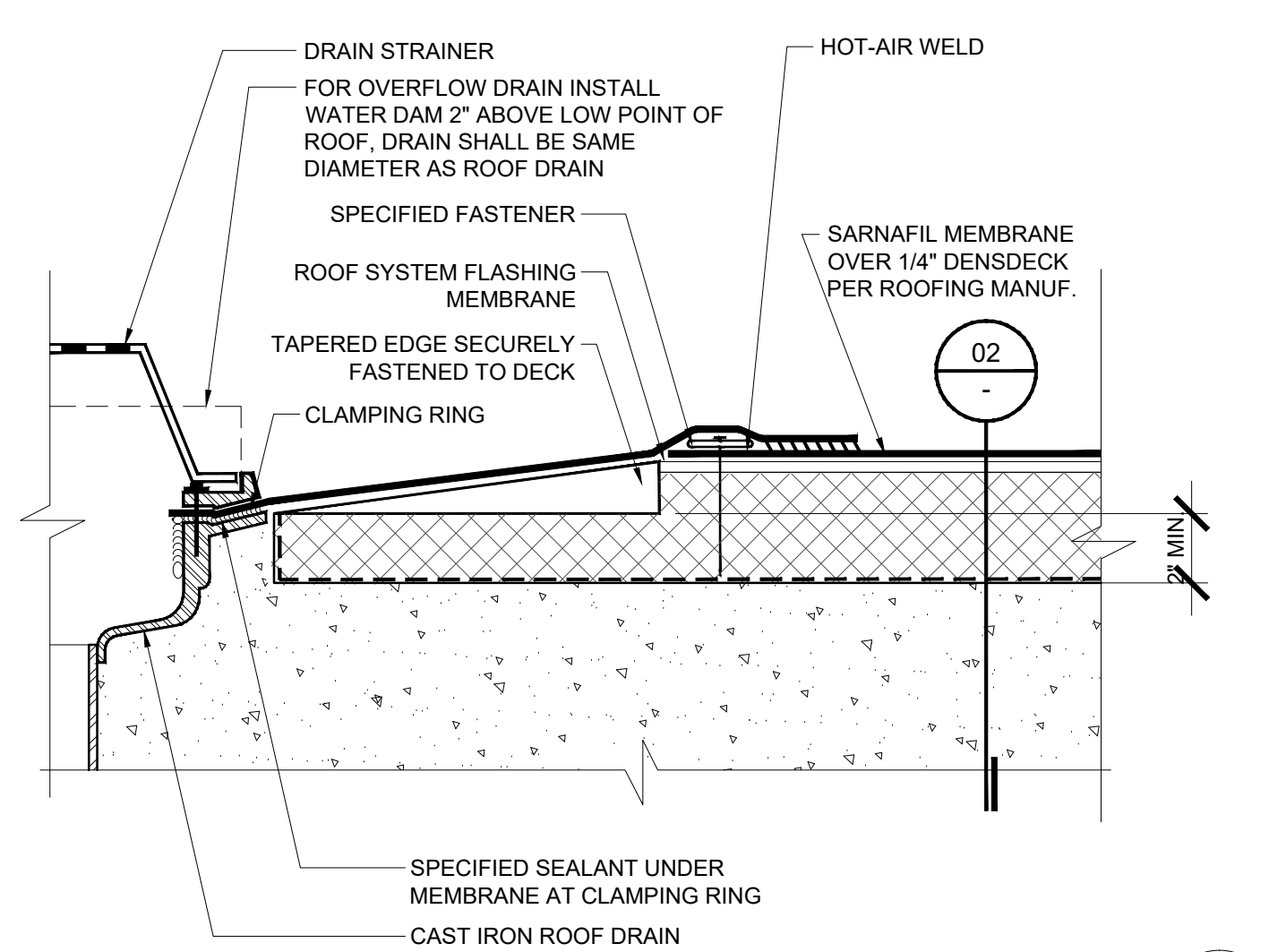
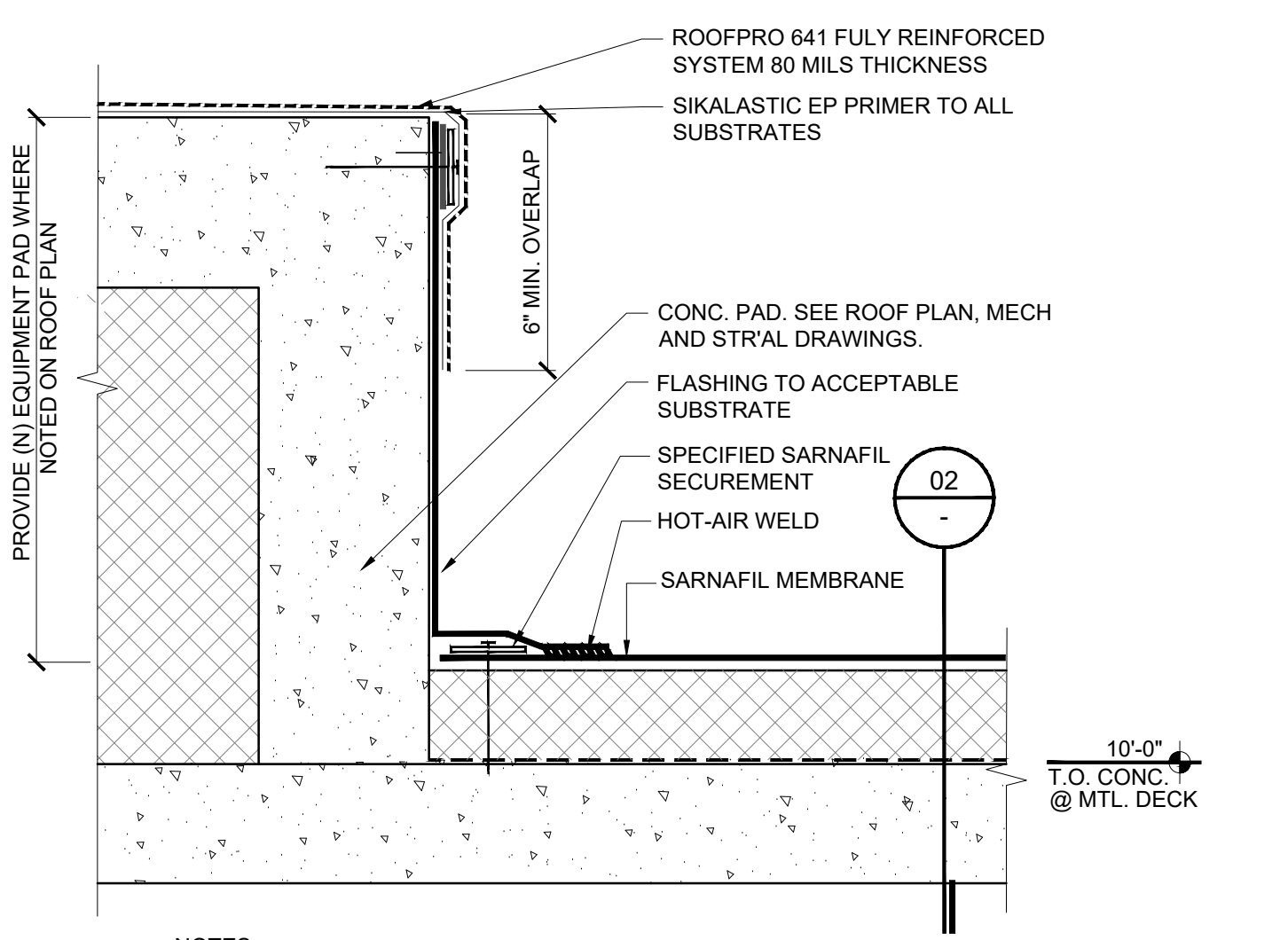
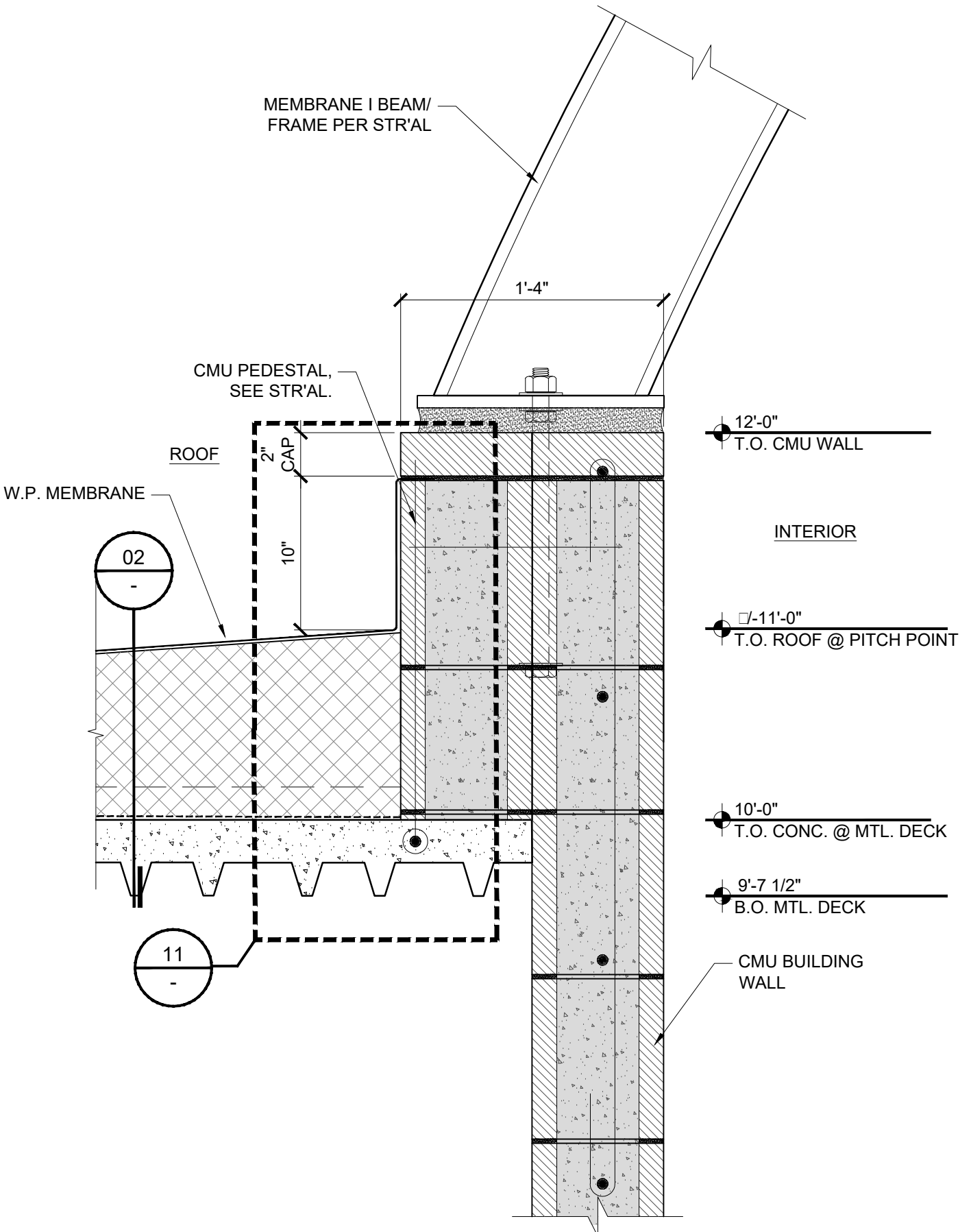
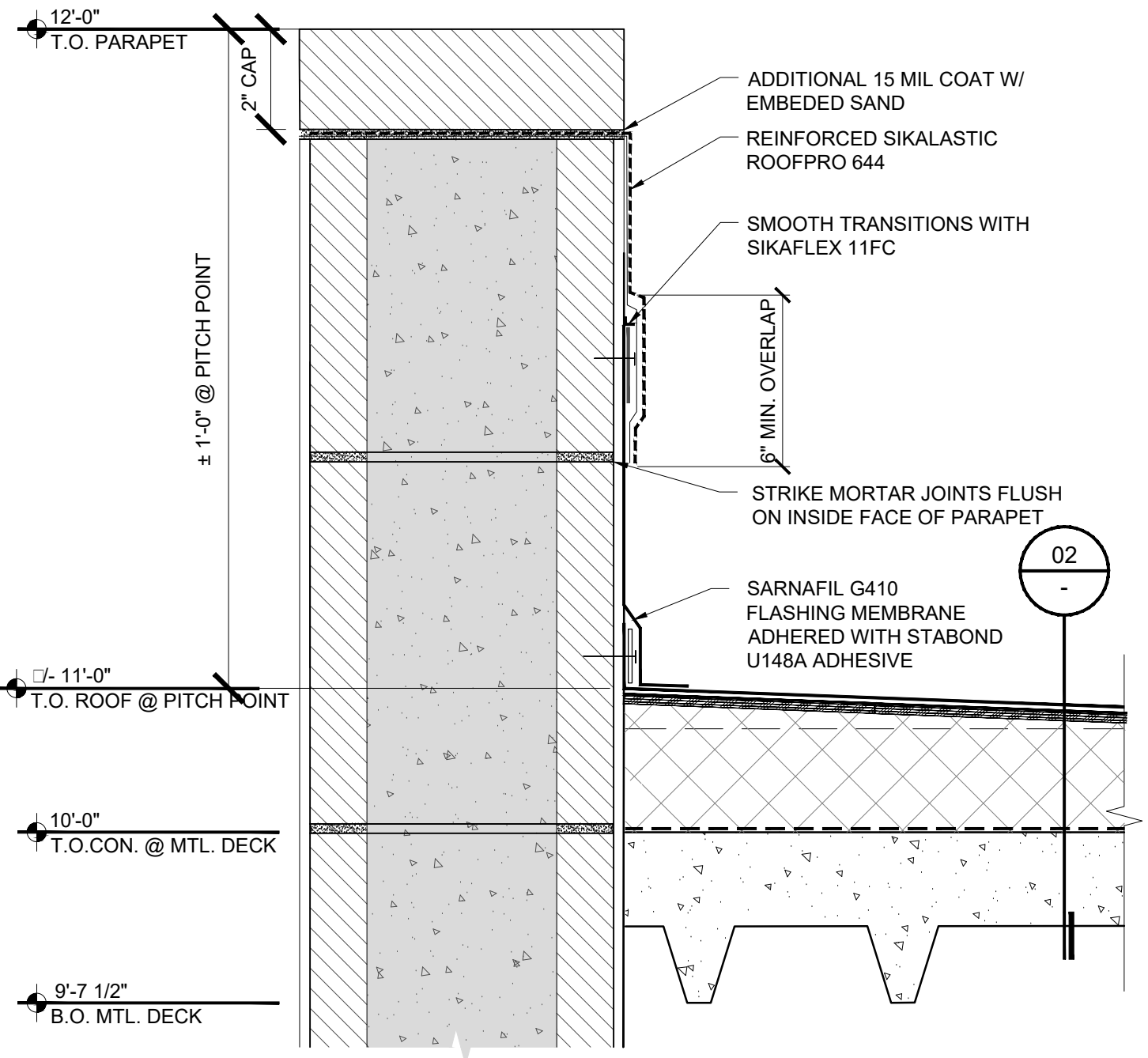
CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

WORK ORDER NO. E170121B

SHEET NAME: A8.10
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NOTE: ROOF DETAILS ARE BASED ON THE SIKA-SARNAFIL SYSTEM, TYP.



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ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division
LICENSED ARCHITECT
 LAWRENCE SORRA
 C 21812
 REN 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 VERTICAL CONTROL:
 HORIZONTAL CONTROL:
 SHEET TITLE: ROOF DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
 DATE: BY:
 REVISIONS:
 INDEX NO.
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CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
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 ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:

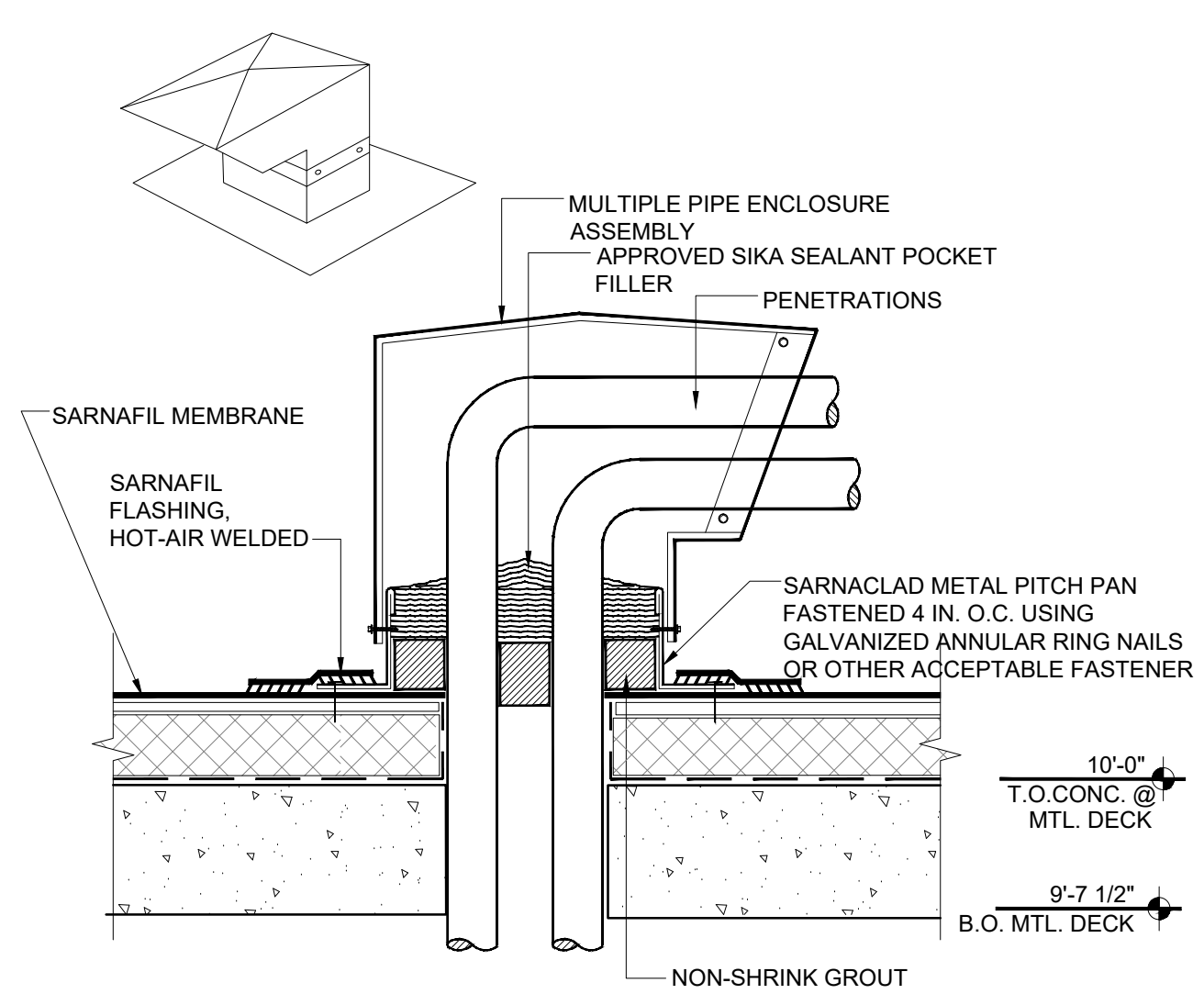
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 SHEET NAME: A8.20
 SHEET X OF X SHEETS

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REVISION DATES (DESIGN STAGE ONLY)

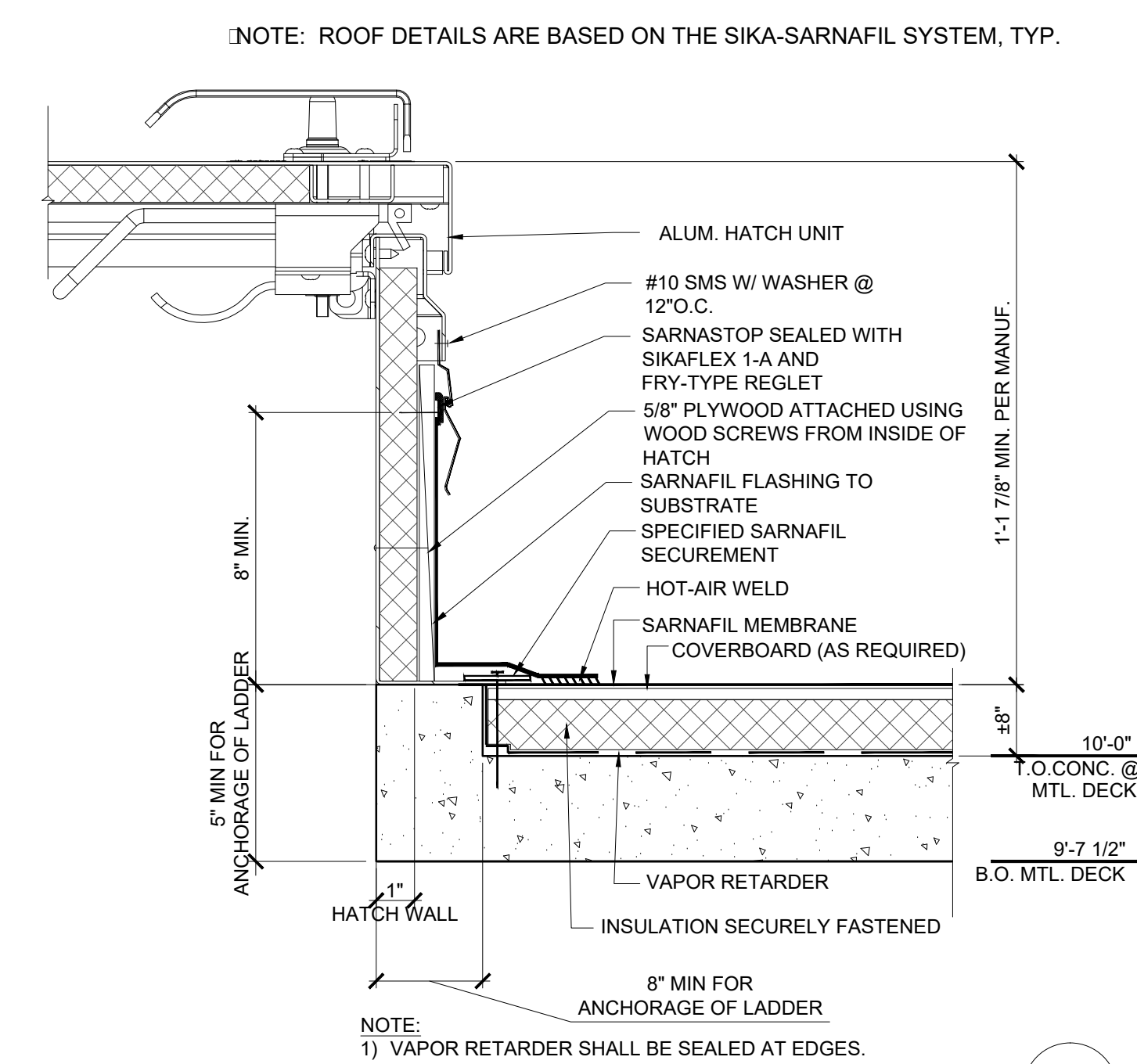
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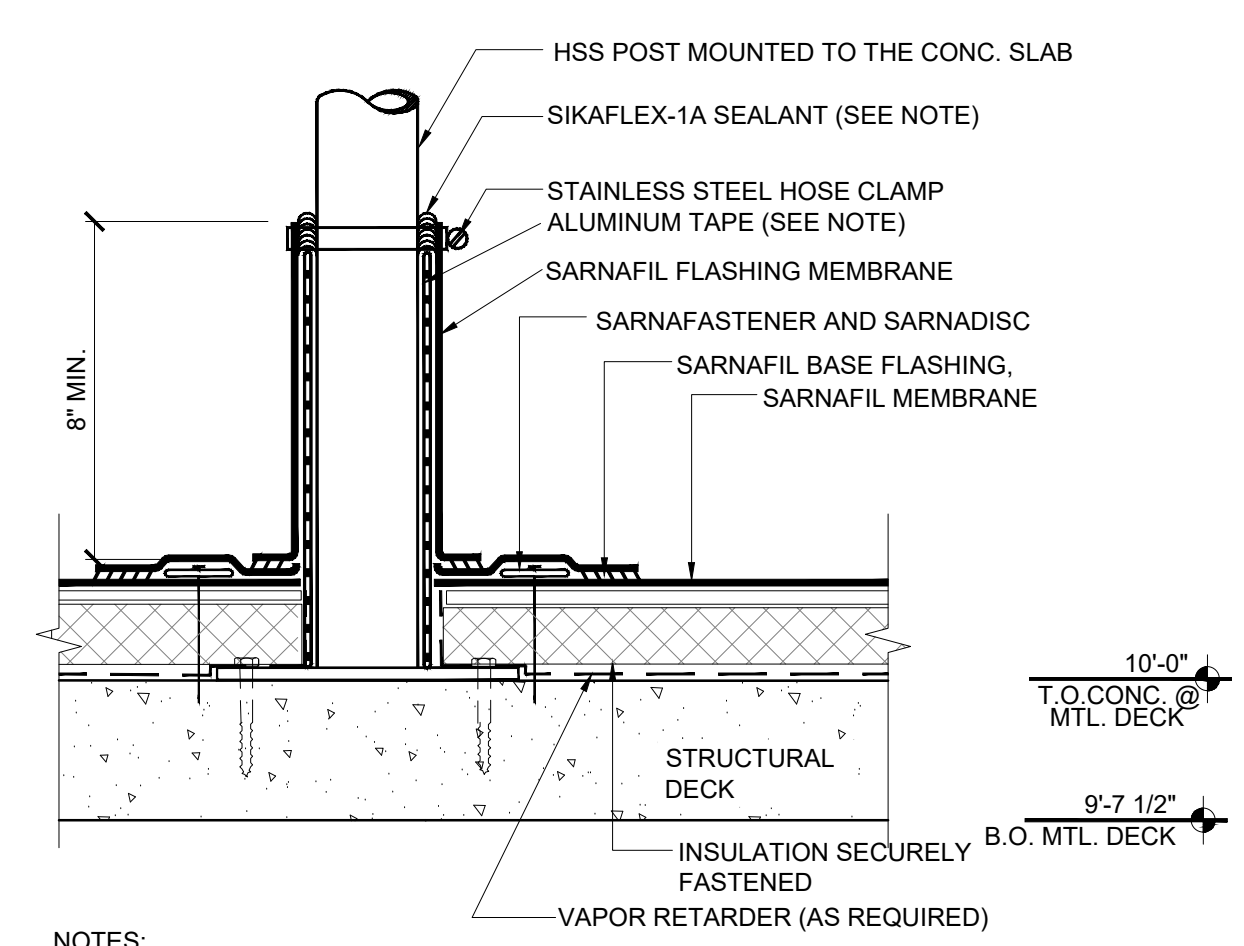
NOTES:
 1) PITCH POCKETS ARE TO BE ELIMINATED WHERE POSSIBLE.
 2) SEALANT IS A MAINTENANCE ITEM. MAINTENANCE IS NOT COVERED UNDER THE SIKA SARNAFIL WARRANTY.

MULTIPLE PIPE PENETRATION DETAIL 06
 REF: 01/A4.50 SCALE: 3" = 1'-0"



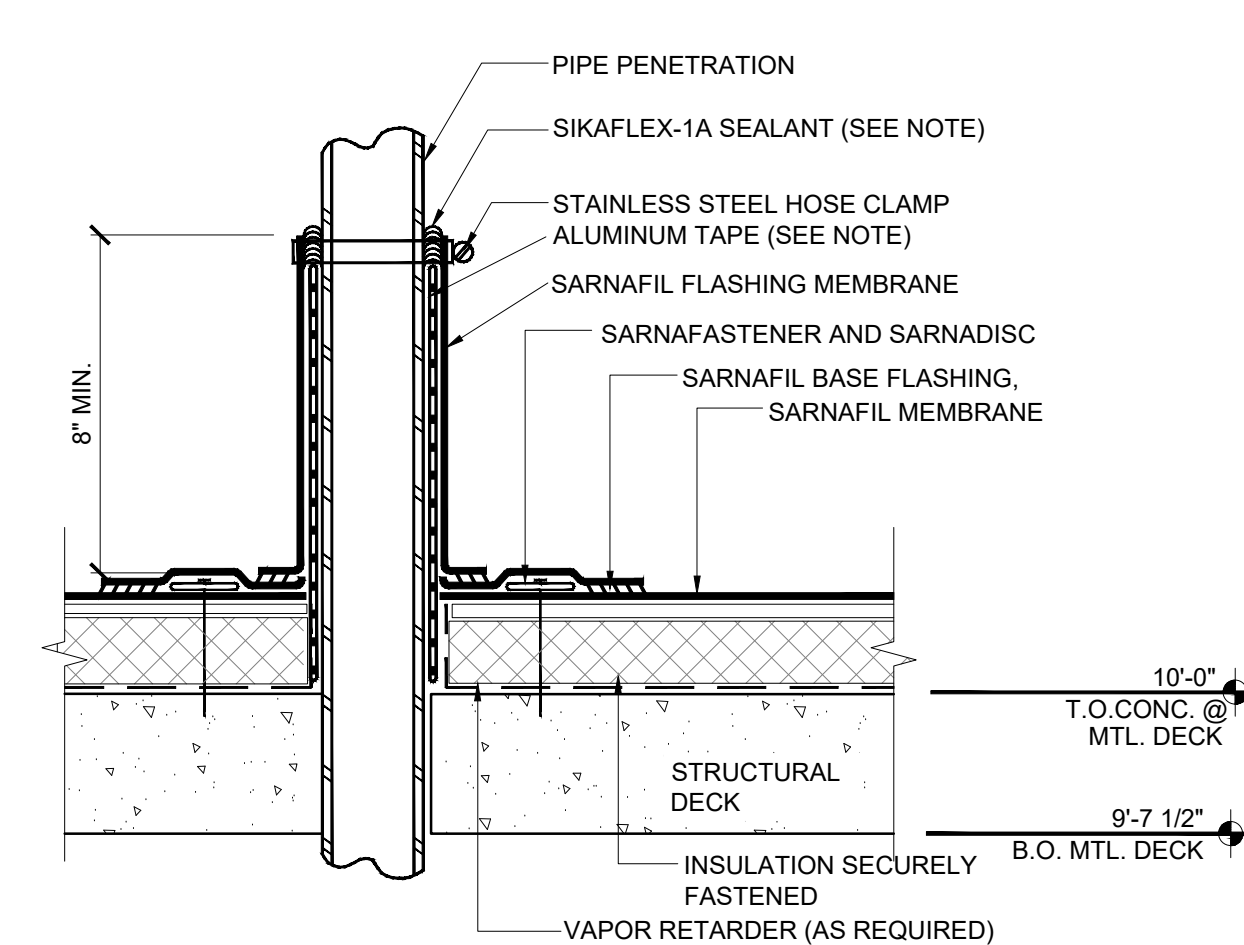
NOTE: ROOF DETAILS ARE BASED ON THE SIKA-SARNAFIL SYSTEM, TYP.

ROOF HATCH FLASHING DETAIL 03
 REF: 01/A4.50, ENLARGED SECTIONS SCALE: 3" = 1'-0"



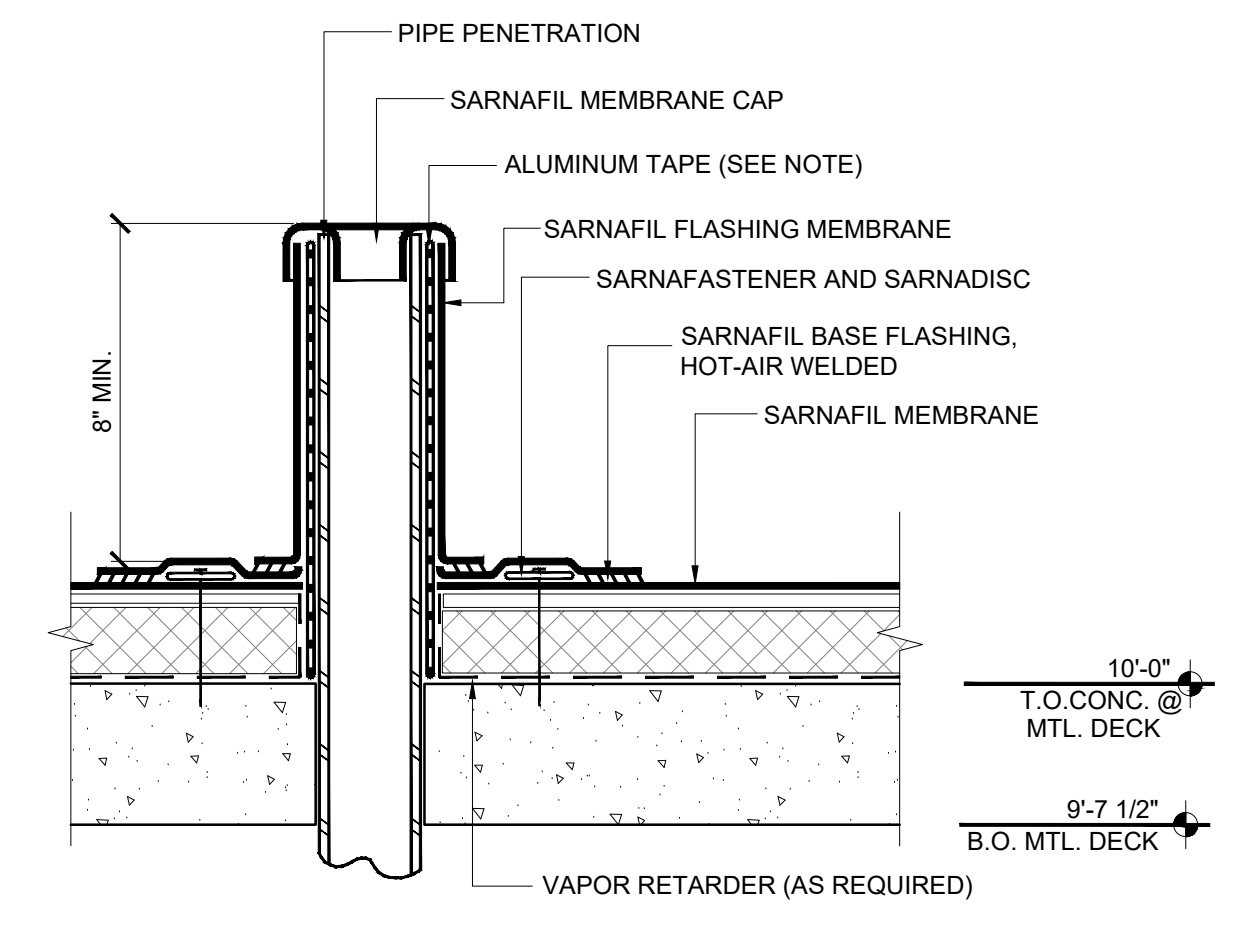
NOTES:
 1) ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.
 2) SEALANT IS A MAINTENANCE ITEM. MAINTENANCE IS NOT COVERED UNDER THE SARNAFIL WARRANTY
 3) VAPOR RETARDER SHALL BE SEALED AT EDGES.

DETAIL@ FENCE POST 08
 REF: 01/A4.50 SCALE: 3" = 1'-0"



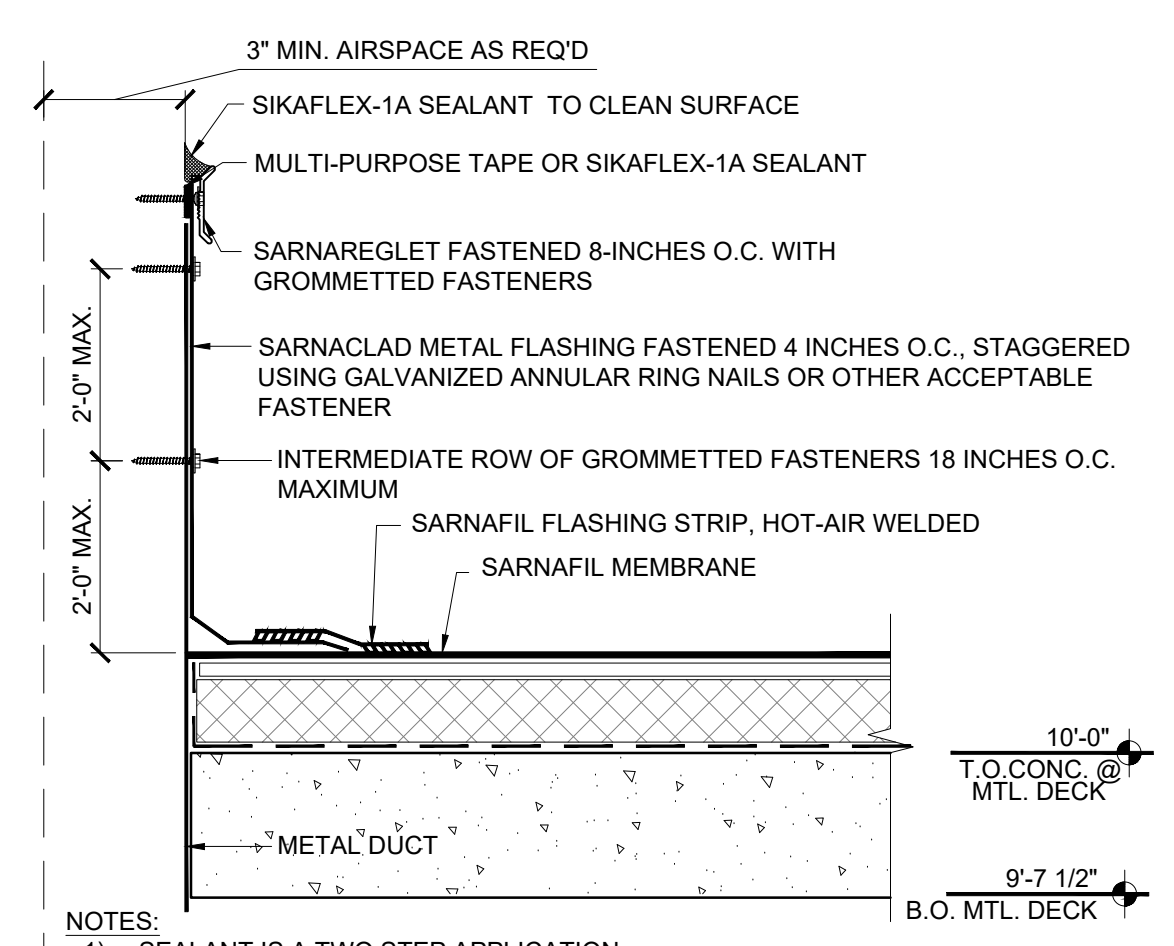
NOTES:
 1) ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.
 2) SEALANT IS A MAINTENANCE ITEM. MAINTENANCE IS NOT COVERED UNDER THE SARNAFIL WARRANTY
 3) VAPOR RETARDER SHALL BE SEALED AT EDGES.

PIPE PENETRATION DETAIL 05
 REF: 01/A4.50 SCALE: 3" = 1'-0"



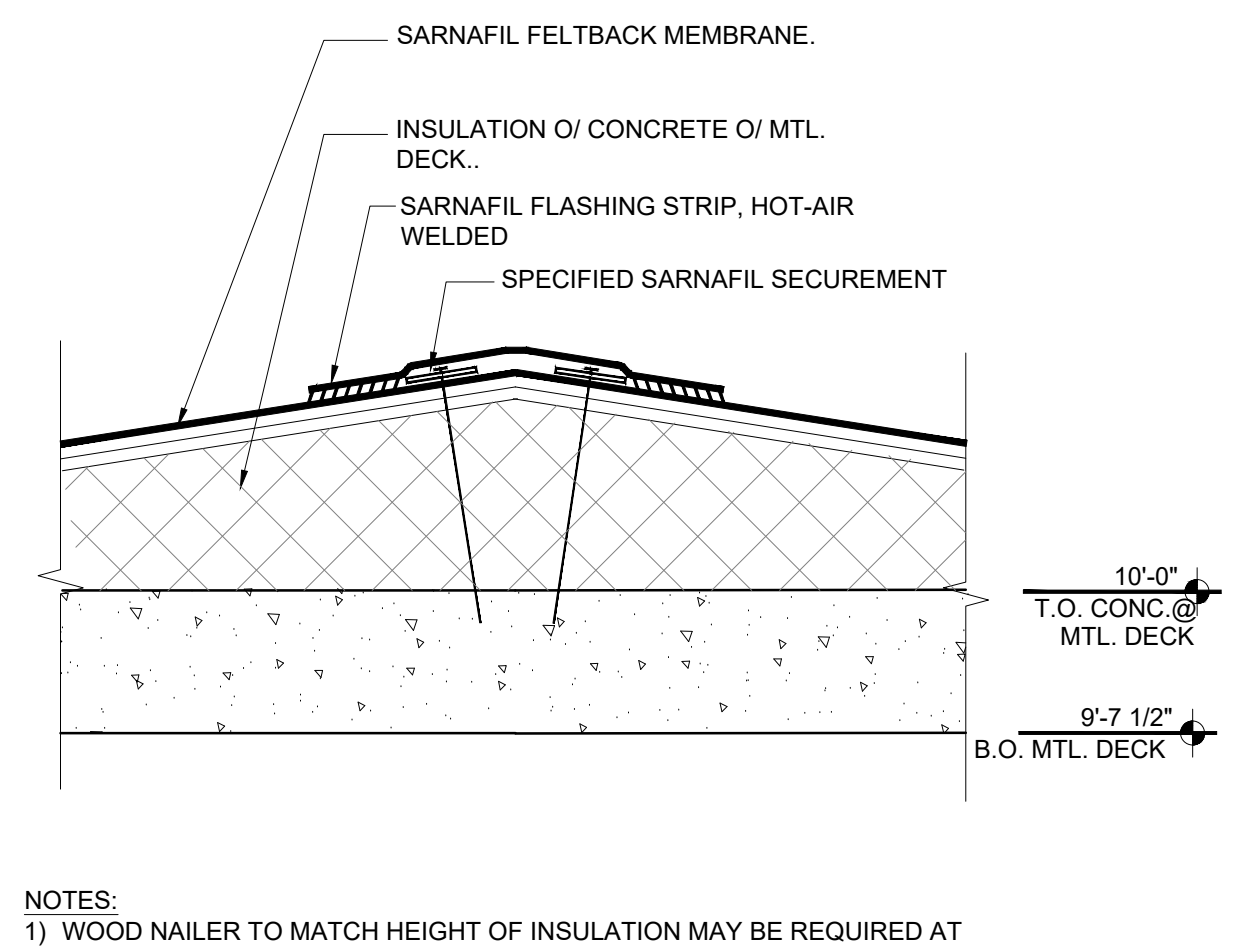
NOTES:
 1) ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.
 2) VAPOR RETARDER SHALL BE SEALED AT EDGES.

VENT DETAIL 02
 REF: A1.20, 01/A4.50 SCALE: 3" = 1'-0"



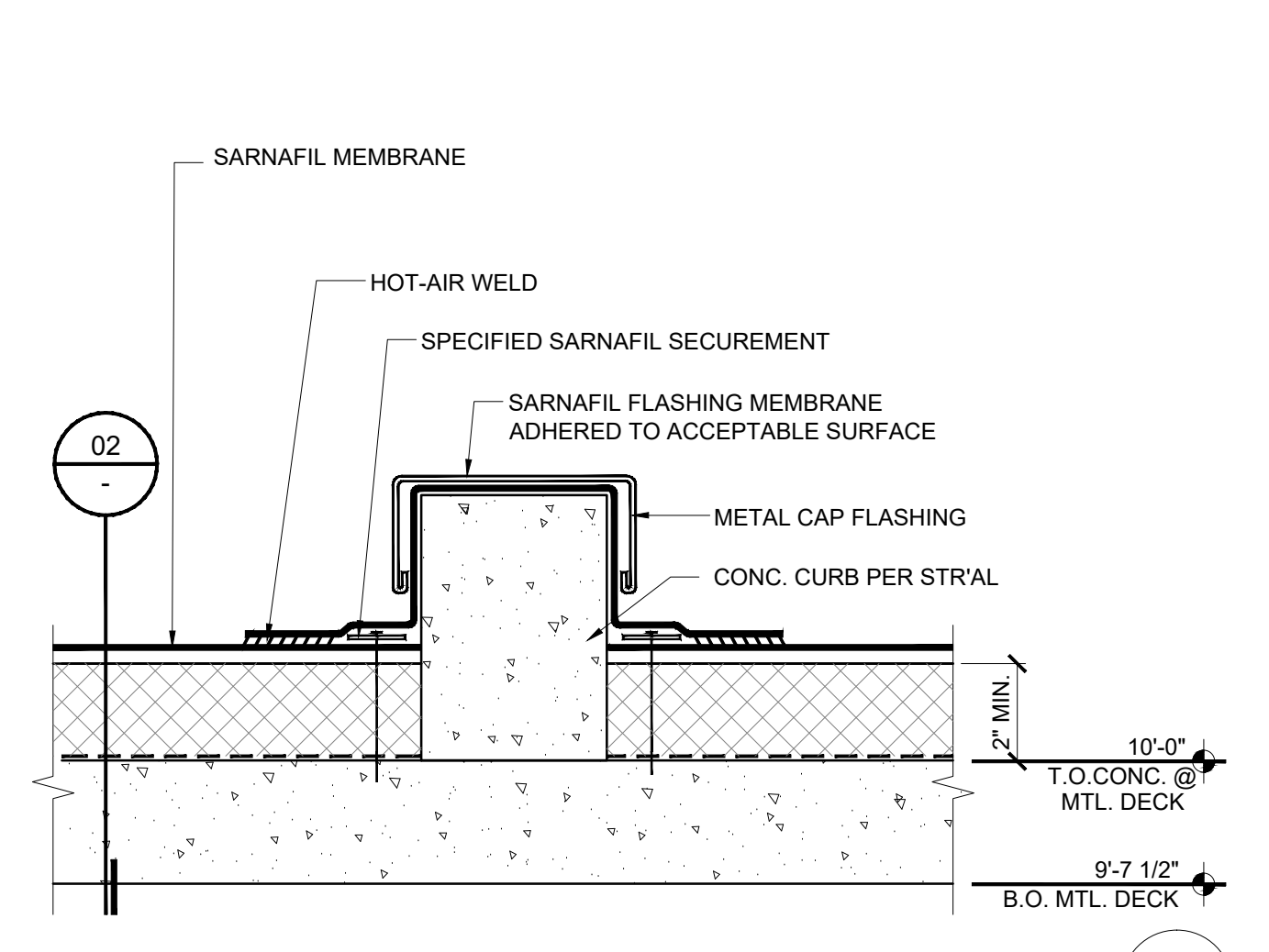
NOTES:
 1) SEALANT IS A TWO STEP APPLICATION:
 A) BEHIND TOP OF SARNAFIL FLASHING.
 B) AT TOP OF SARNAREGLET.
 2) SEALANT IS A MAINTENANCE ITEM, MAINTENANCE IS NOT COVERED UNDER SIKA SARNAFIL WARRANTY.

DETAIL@ EXHAUST FAN 07
 REF: 01/A4.50 SCALE: 3" = 1'-0"



NOTES:
 1) WOOD NAILER TO MATCH HEIGHT OF INSULATION MAY BE REQUIRED AT PEAK IF INSULATION THICKNESS EXCEEDS 2 INCHES.
 2) OPTION DETAIL USING SARNAFASTENERS AND SARNADISC SPACING MAY VARY. CONSULT SIKA SARNAFIL TECHNICAL DEPARTMENT.

TYP. PEAK RIDGE DETAIL 04
 REF: 01/A4.50 SCALE: 3" = 1'-0"



EQUIPMENT SUPPORT DETAIL 01
 REF: 01/A4.50 SCALE: 3" = 1'-0"

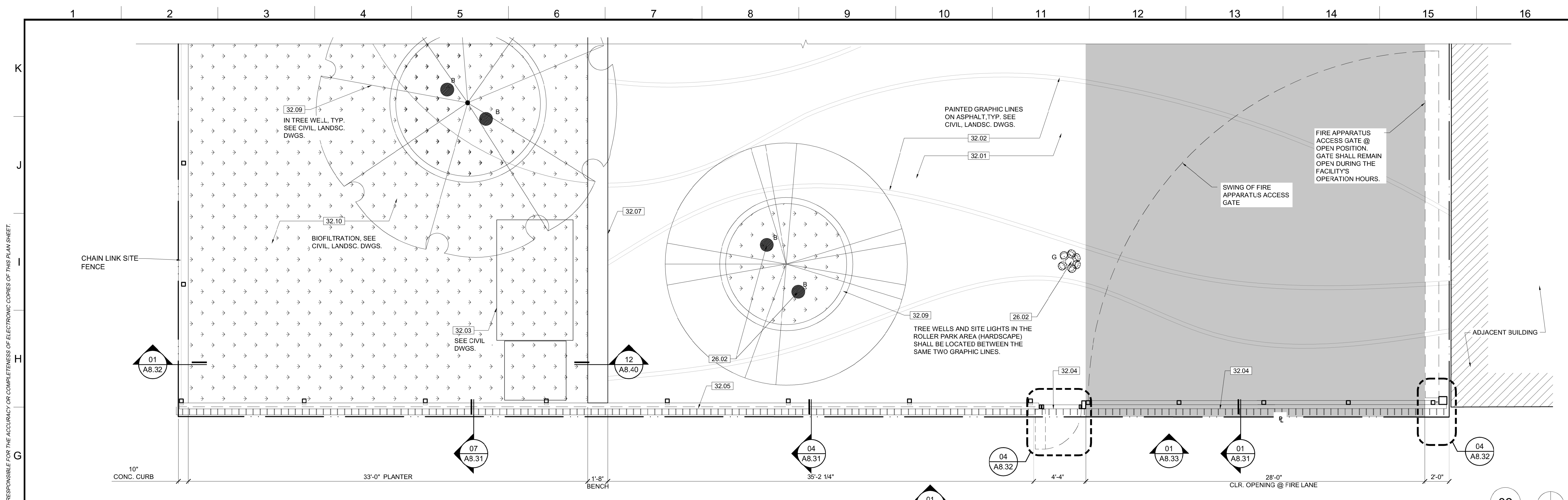
ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE S. MOORE
 C21812
 REN. 10/31/2023
 STATE OF CALIFORNIA

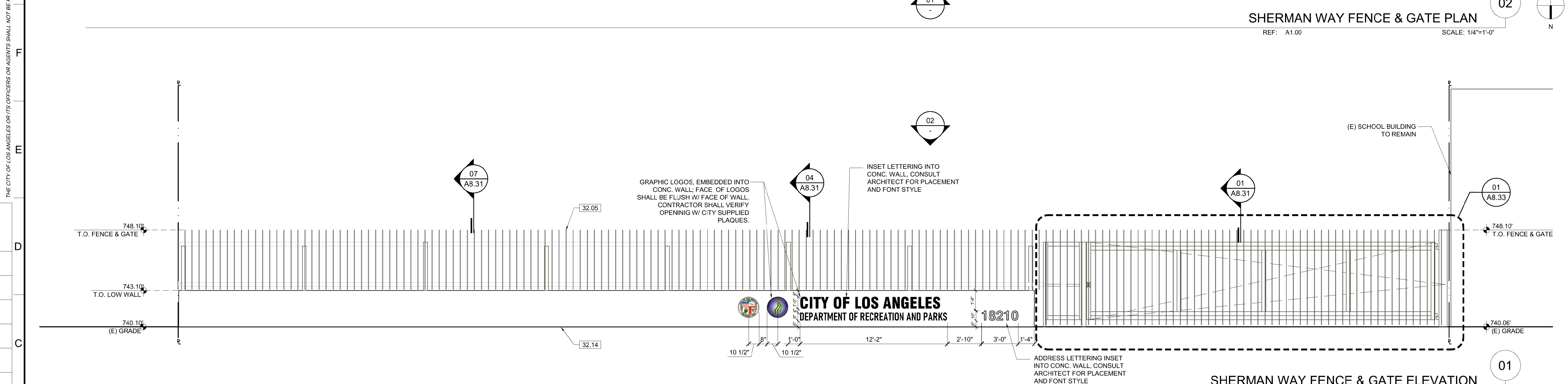
BUREAU OF ENGINEERING
 HORIZONTAL CONTROL:
 SHEET TITLE: ROOF DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS
 VERTICAL CONTROL:
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 NO. REVISIONS:

CITY OF LOS ANGELES
 CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
 ENGINEER: DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY:
 WORK ORDER NO. E170121B
 SHEET NAME: A8.21
 SHEET X OF X SHEETS



SHERMAN WAY FENCE & GATE PLAN
 REF: A1.00 SCALE: 1/4"=1'-0"



SHERMAN WAY FENCE & GATE ELEVATION
 REF: A1.00 SCALE: 1/4"=1'-0"

KEYNOTES	05 - METALS	06 - WOOD AND PLASTICS	07 - THERMAL & MOISTURE PROTECTION	08 - OPENINGS (SEE DOOR/WINDOW SCHED)	09 - FINISHES (SEE FIN. SCHED)	10 - SPECIALTIES	11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)	12 - FURNISHINGS	13 - SPECIAL CONSTRUCTION	14 - CONVEYING EQUIPMENT (NOT USED)	15 - FIRE SUPPRESSION	16 - PLUMBING	17 - HEATING, VENTILATING, AND AIR-CONDITIONING	18 - ELECTRICAL	19 - COMMUNICATION	20 - ELECTRONIC SAFETY AND SECURITY	21 - EARTHWORK	22 - EXTERIOR IMPROVEMENTS	23 - UTILITIES			
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE.	5.01 STL. COLUMN PER STRUCT'L. PTD.	5.02 STL. BEAM PER STRUCT'L. PTD.	5.03 HSS POST PER STRUCT'L. PTD.	5.04 HSS BEAM PER STRUCT'L. PTD.	5.05 MEMBRANE STRUCTURE I BEAM.	5.06 MTL. DECK.	5.07 MTL. GUARD RAILING.	5.08 MTL. STUD WALL.	5.09 MTL. STUD WALL.	5.10 MTL. STUD WALL.	5.11 MTL. STUD WALL.	5.12 MTL. STUD WALL.	5.13 MTL. STUD WALL.	5.14 MTL. STUD WALL.	5.15 MTL. STUD WALL.	5.16 MTL. STUD WALL.	5.17 MTL. STUD WALL.	5.18 MTL. STUD WALL.	5.19 MTL. STUD WALL.	5.20 MTL. STUD WALL.		
01 - GENERAL REQUIREMENTS	02 - NOT USED	03 - CONCRETE	04 - MASONRY	05 - METALS	06 - WOOD AND PLASTICS	07 - THERMAL & MOISTURE PROTECTION	08 - OPENINGS (SEE DOOR/WINDOW SCHED)	09 - FINISHES (SEE FIN. SCHED)	10 - SPECIALTIES	11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHED)	12 - FURNISHINGS	13 - SPECIAL CONSTRUCTION	14 - CONVEYING EQUIPMENT (NOT USED)	15 - FIRE SUPPRESSION	16 - PLUMBING	17 - HEATING, VENTILATING, AND AIR-CONDITIONING	18 - ELECTRICAL	19 - COMMUNICATION	20 - ELECTRONIC SAFETY AND SECURITY	21 - EARTHWORK	22 - EXTERIOR IMPROVEMENTS	23 - UTILITIES

ENGINEERING
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 Environmental Engineering Division

LICENSED ARCHITECT
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 C 21812
 REN 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
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VERTICAL CONTROL:
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 PROJECT:
 ADDRESS:

SITE DETAILS
 RESEDA SKATE FACILITY
 18210 SHERMAN WAY, RESEDA CA 91335

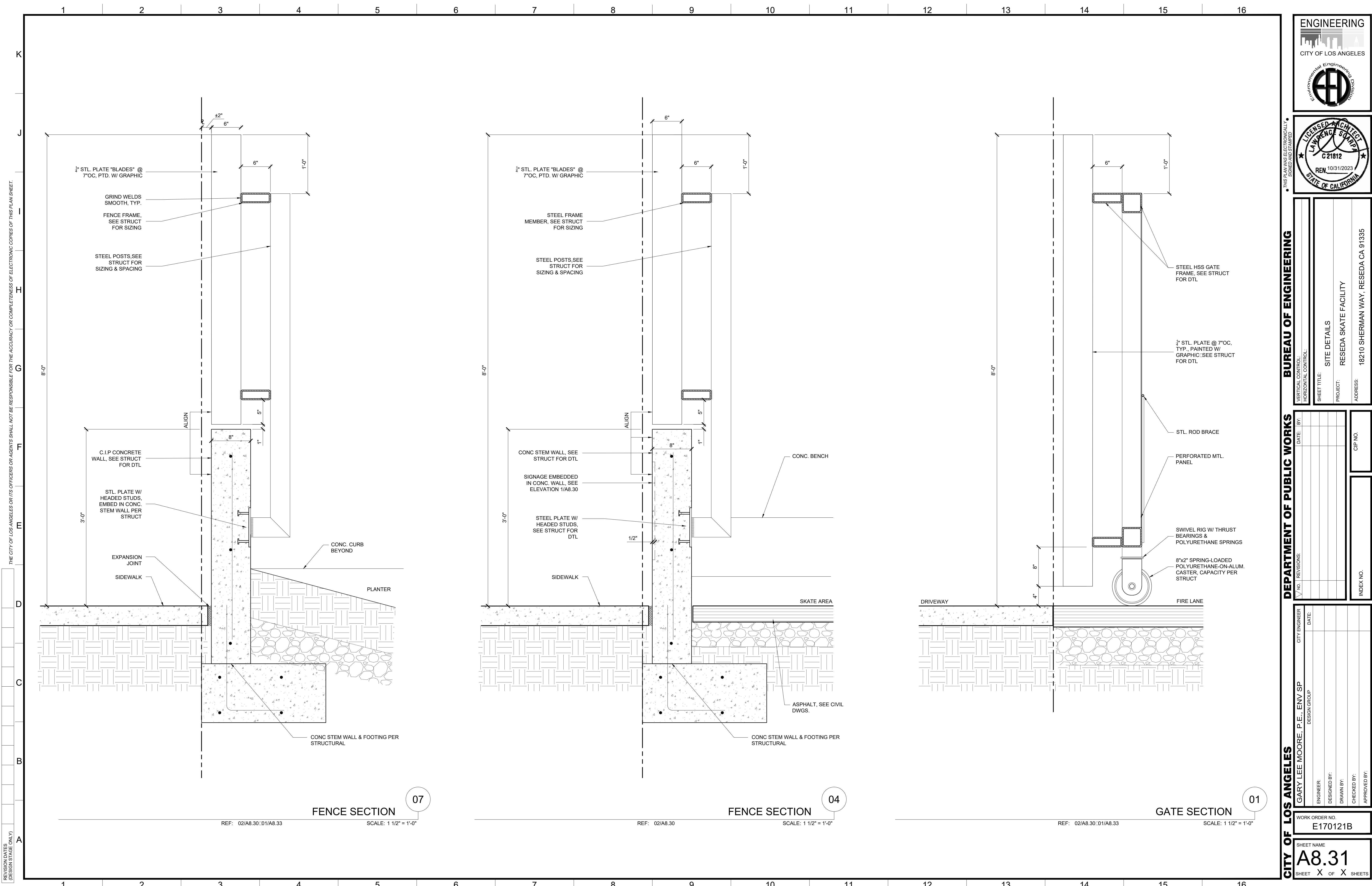
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 CITY ENGINEER: DATE:
 DESIGN GROUP: ENV SP
 GARY LEE MOORE, P.E., ENV SP

WORK ORDER NO.
 E170121B

SHEET NAME
A8.30
 SHEET X OF X SHEETS

INDEX NO.
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BUREAU OF ENGINEERING

VERTICAL CONTROL:
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SHEET TITLE: SITE DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

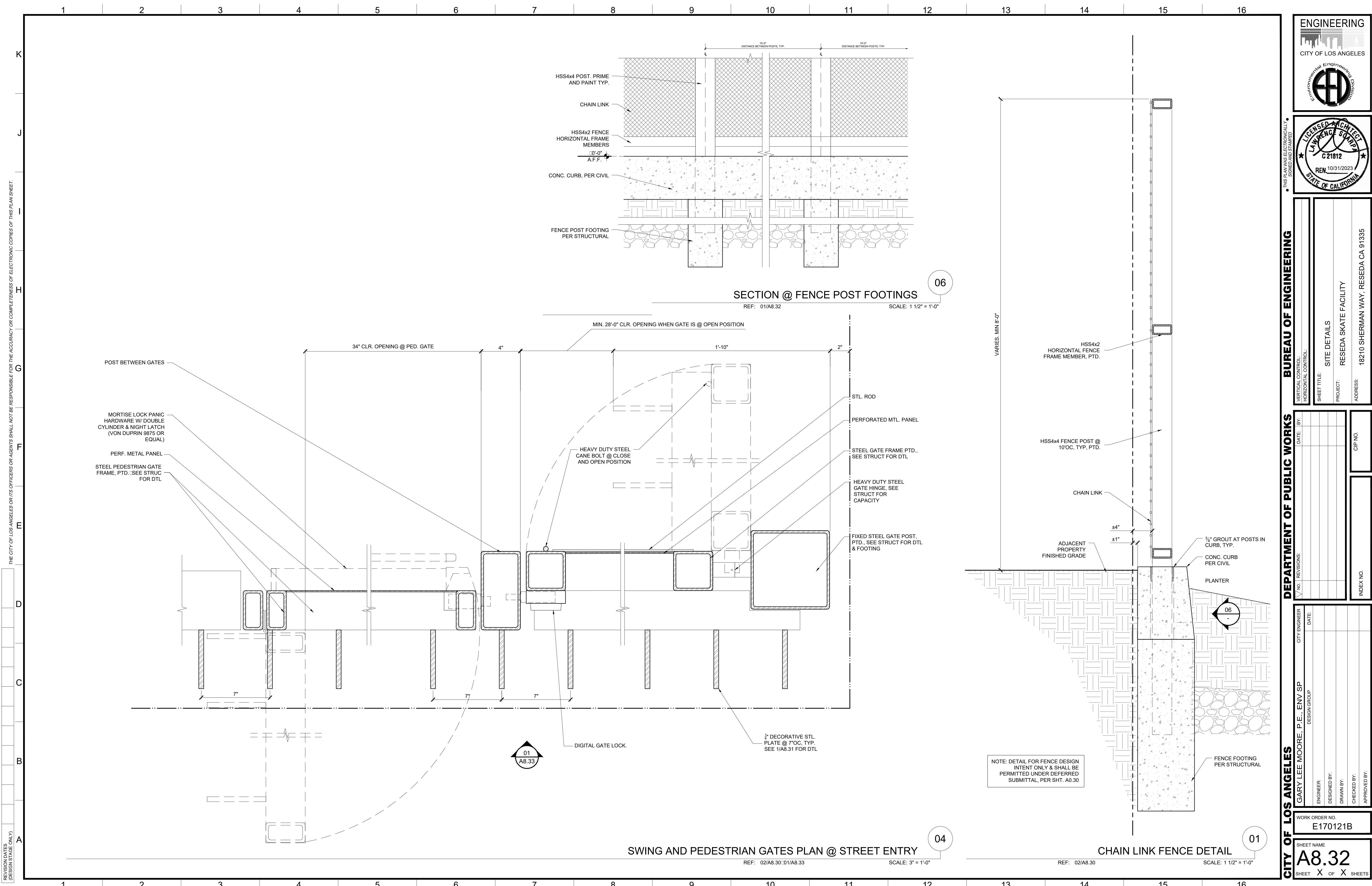
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NO. REVISIONS:	
CIP NO.	INDEX NO.

CITY OF LOS ANGELES

CITY ENGINEER	DATE:
GARY LEE MOORE, P.E., ENV SP	
DESIGN GROUP	
ENGINEER	DESIGNED BY:
	DRAWN BY:
	CHECKED BY:
	APPROVED BY:

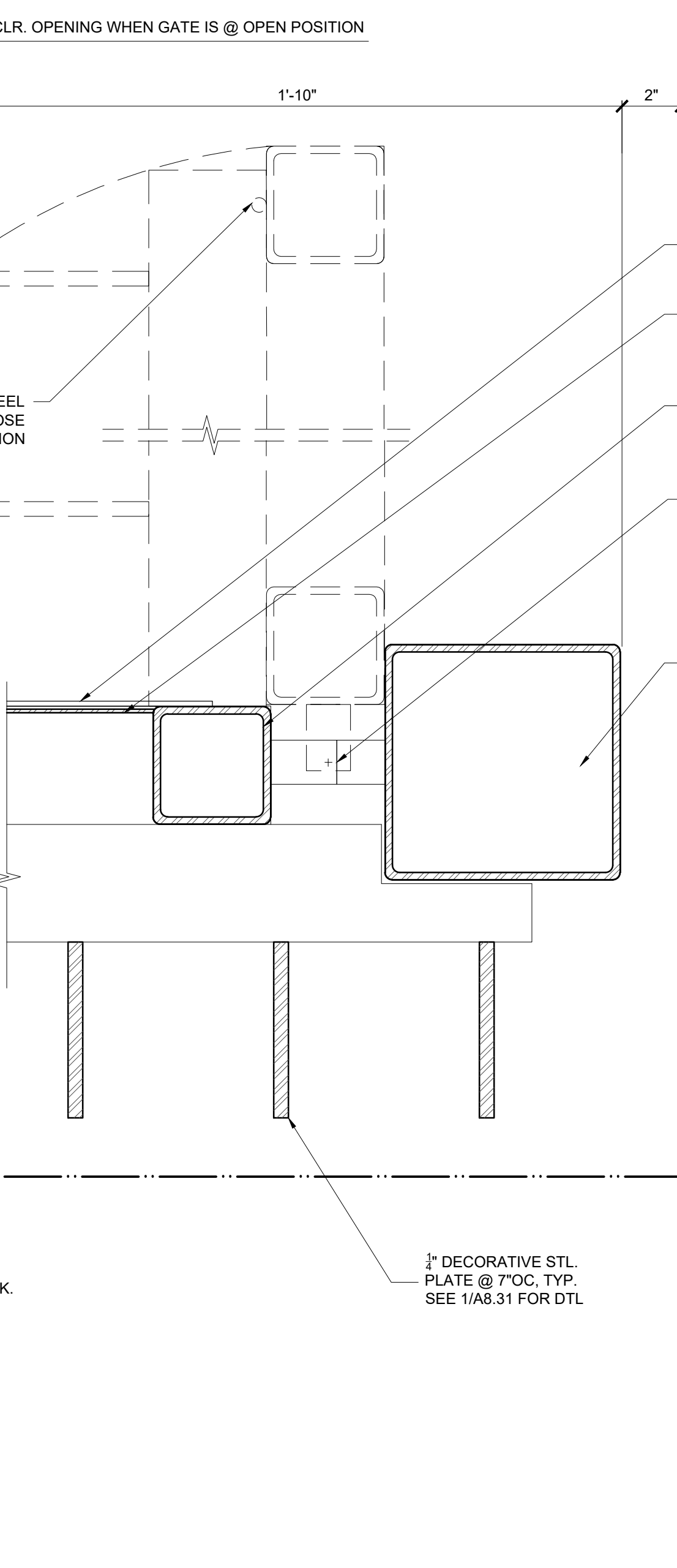
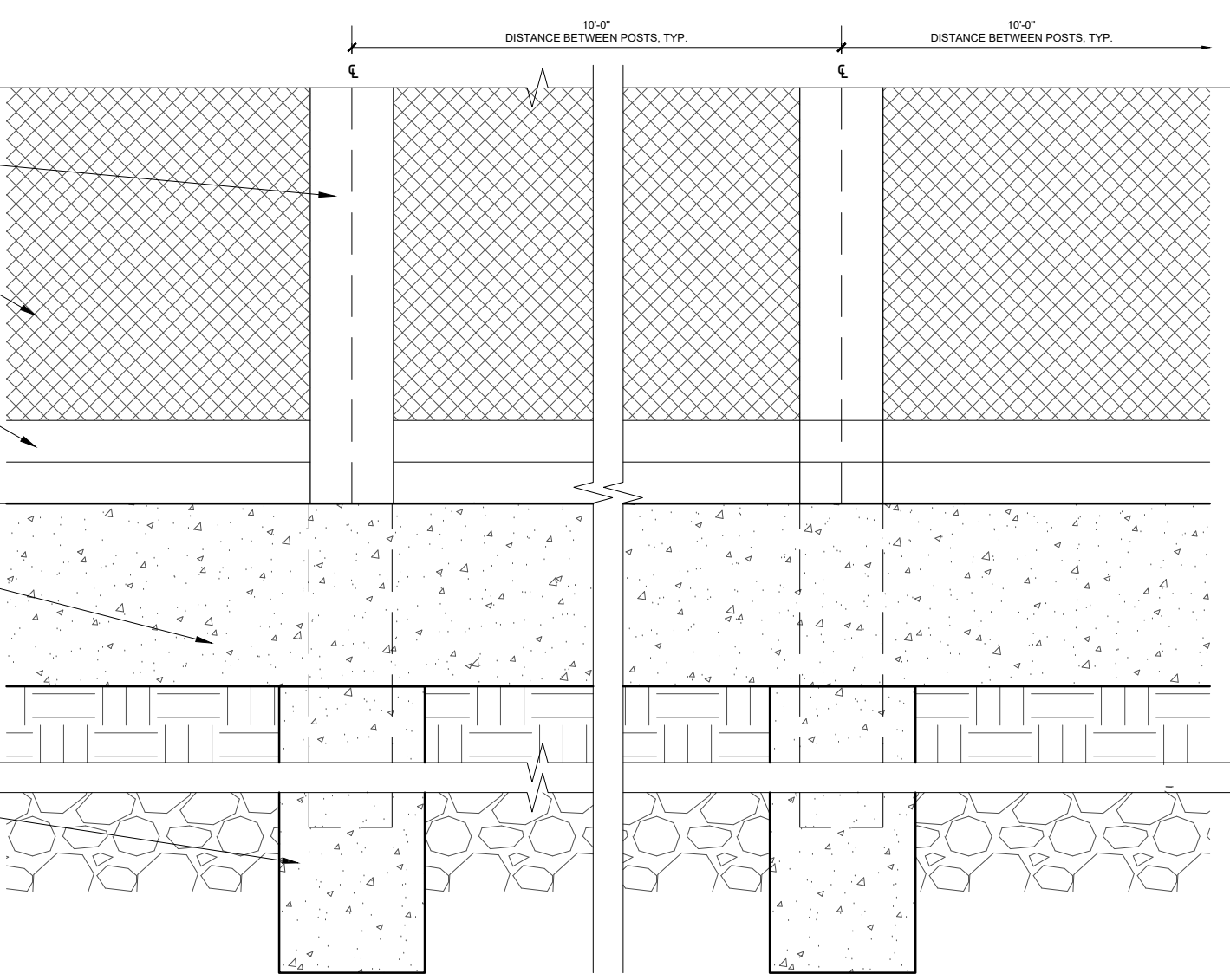
WORK ORDER NO. E170121B

SHEET NAME: A8.31
 SHEET X OF X SHEETS



SECTION @ FENCE POST FOOTINGS

REF: 01/A8.32 SCALE: 1 1/2" = 1'-0"



SWING AND PEDESTRIAN GATES PLAN @ STREET ENTRY

REF: 02/A8.30; 01/A8.33 SCALE: 3" = 1'-0"

CHAIN LINK FENCE DETAIL

REF: 02/A8.30 SCALE: 1 1/2" = 1'-0"

NOTE: DETAIL FOR FENCE DESIGN INTENT ONLY & SHALL BE PERMITTED UNDER DEFERRED SUBMITTAL, PER SHT. A0.30

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REVISION DATES (DESIGN STAGE ONLY)

Sheet Version 4.0

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CITY OF LOS ANGELES

BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

ENVIRONMENTAL ENGINEERING DIVISION

LICENSED ARCHITECT
LAWRENCE SORRA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

VERTICAL CONTROL: HORIZONTAL CONTROL: _____

SHEET TITLE: SITE DETAILS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

NO.	REVISIONS	DATE	BY

CIP NO. _____

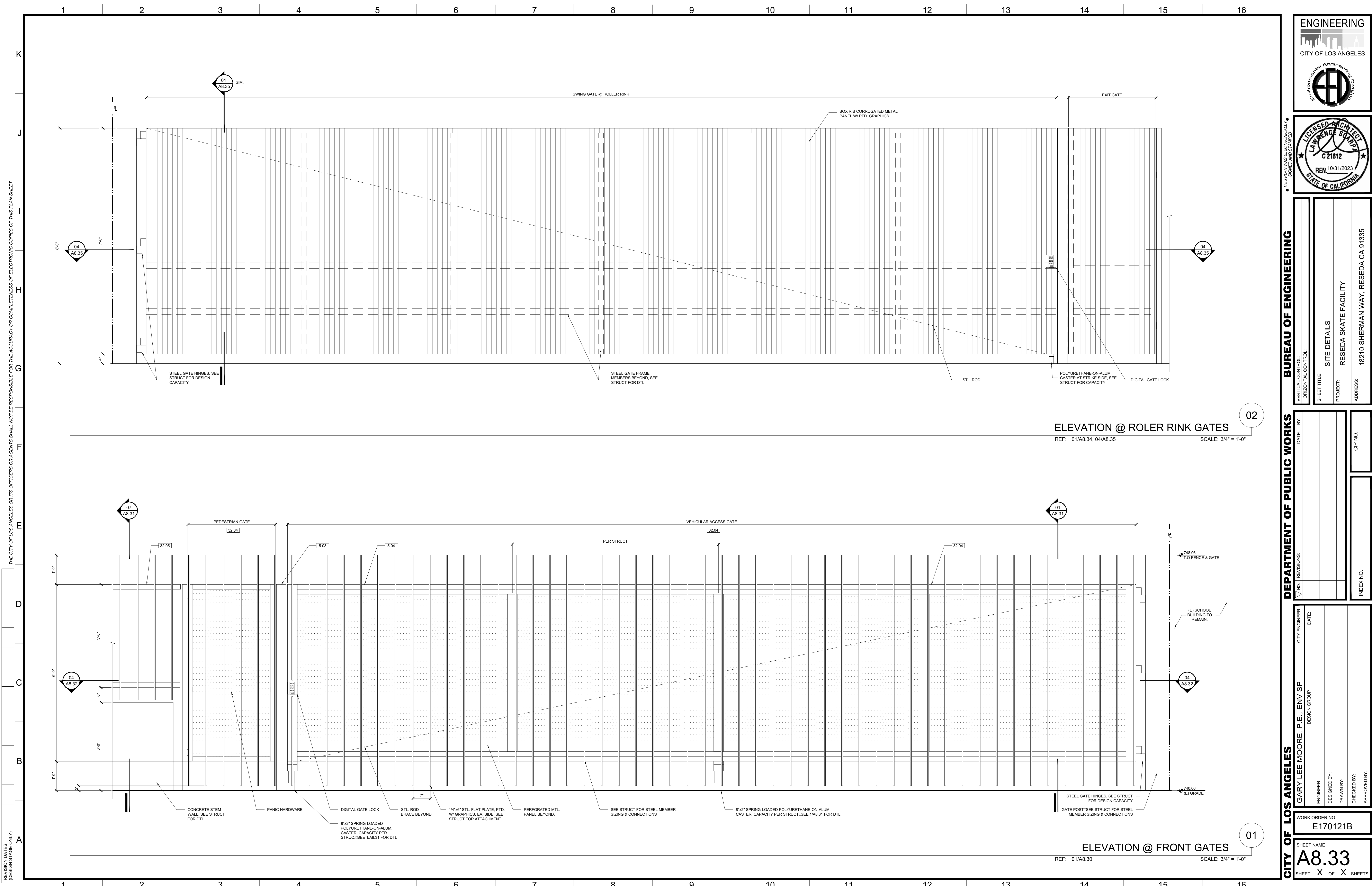
INDEX NO. _____

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
DATE: _____

ENGINEER: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

WORK ORDER NO. E170121B

SHEET NAME: A8.32
SHEET X OF X SHEETS



ELEVATION @ ROLER RINK GATES
 REF: 01/A8.34, 04/A8.35 SCALE: 3/4" = 1'-0"

ELEVATION @ FRONT GATES
 REF: 01/A8.30 SCALE: 3/4" = 1'-0"

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VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____

SHEET TITLE: SITE DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

DATE: _____ BY: _____
 NO. REVISIONS: _____

INDEX NO. _____
 CIP NO. _____

CITY OF LOS ANGELES

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP: _____

ENGINEER: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____

WORK ORDER NO. E170121B

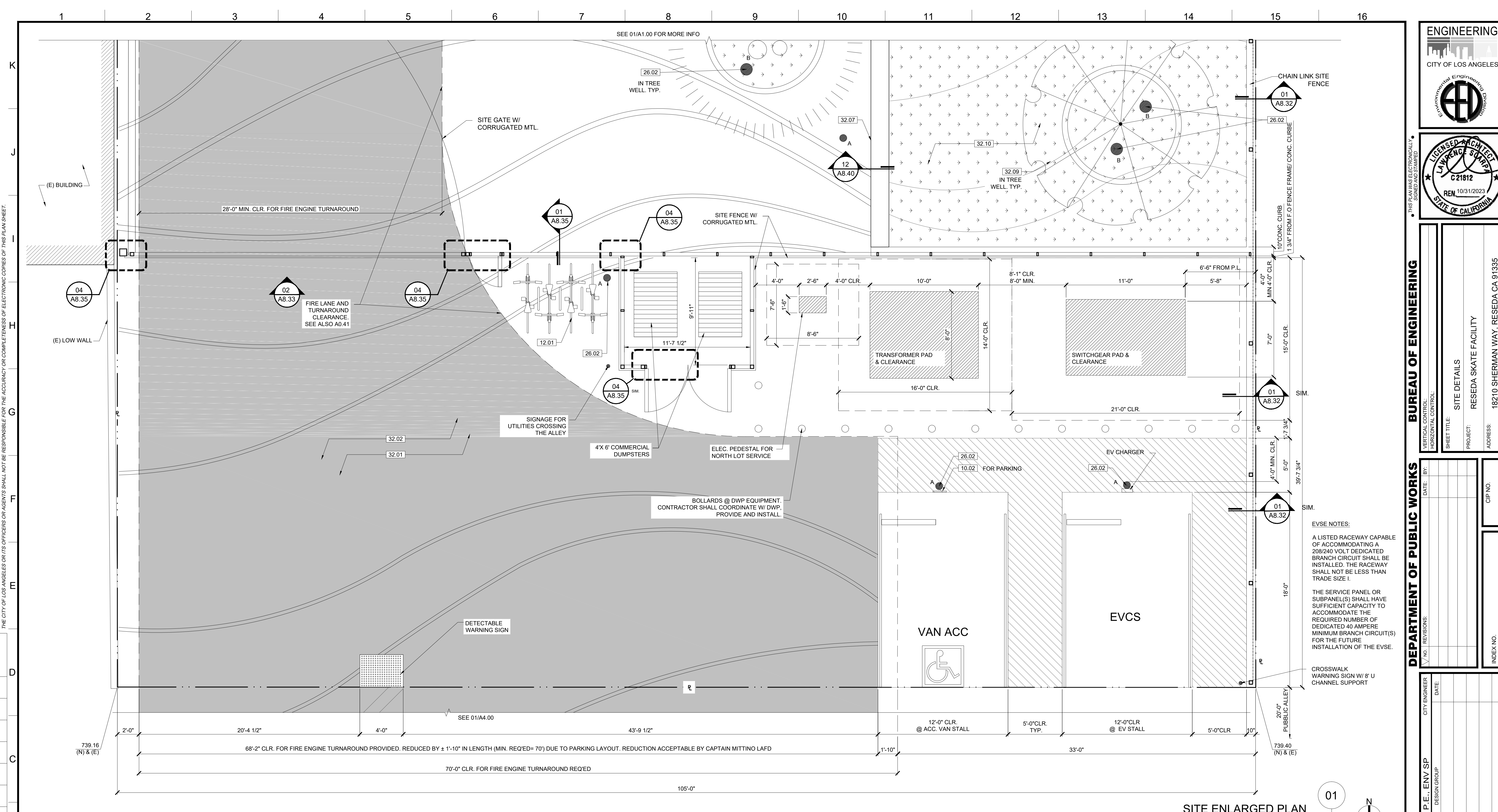
SHEET NAME: A8.33

SHEET X OF X SHEETS

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED

02

01



ENGINEERING
 CITY OF LOS ANGELES
 Environmental Engineering Division

LICENSED ARCHITECT
 LAWRENCE S. MOORE
 C 21812
 REN. 10/31/2023
 STATE OF CALIFORNIA

BUREAU OF ENGINEERING
 VERTICAL CONTROL: _____
 HORIZONTAL CONTROL: _____
 SHEET TITLE: SITE DETAILS
 PROJECT: RESEDA SKATE FACILITY
 ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

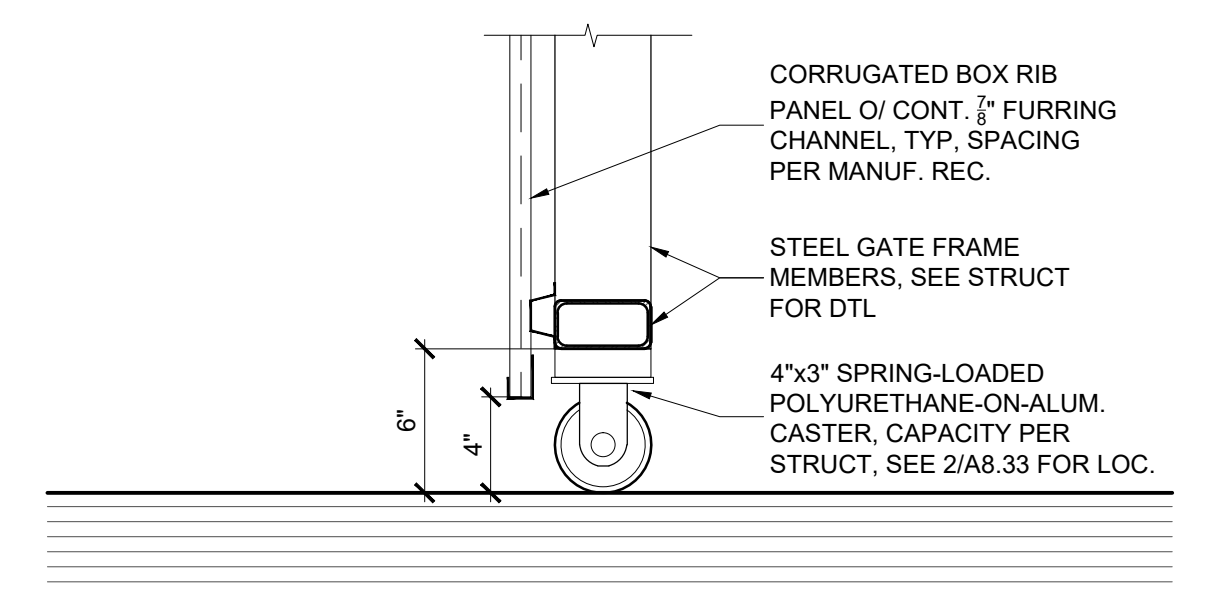
DEPARTMENT OF PUBLIC WORKS
 DATE: _____ BY: _____
 NO. REVISIONS: _____

CITY ENGINEER
 GARY LEE MOORE, P.E., ENV SP
 DESIGN GROUP

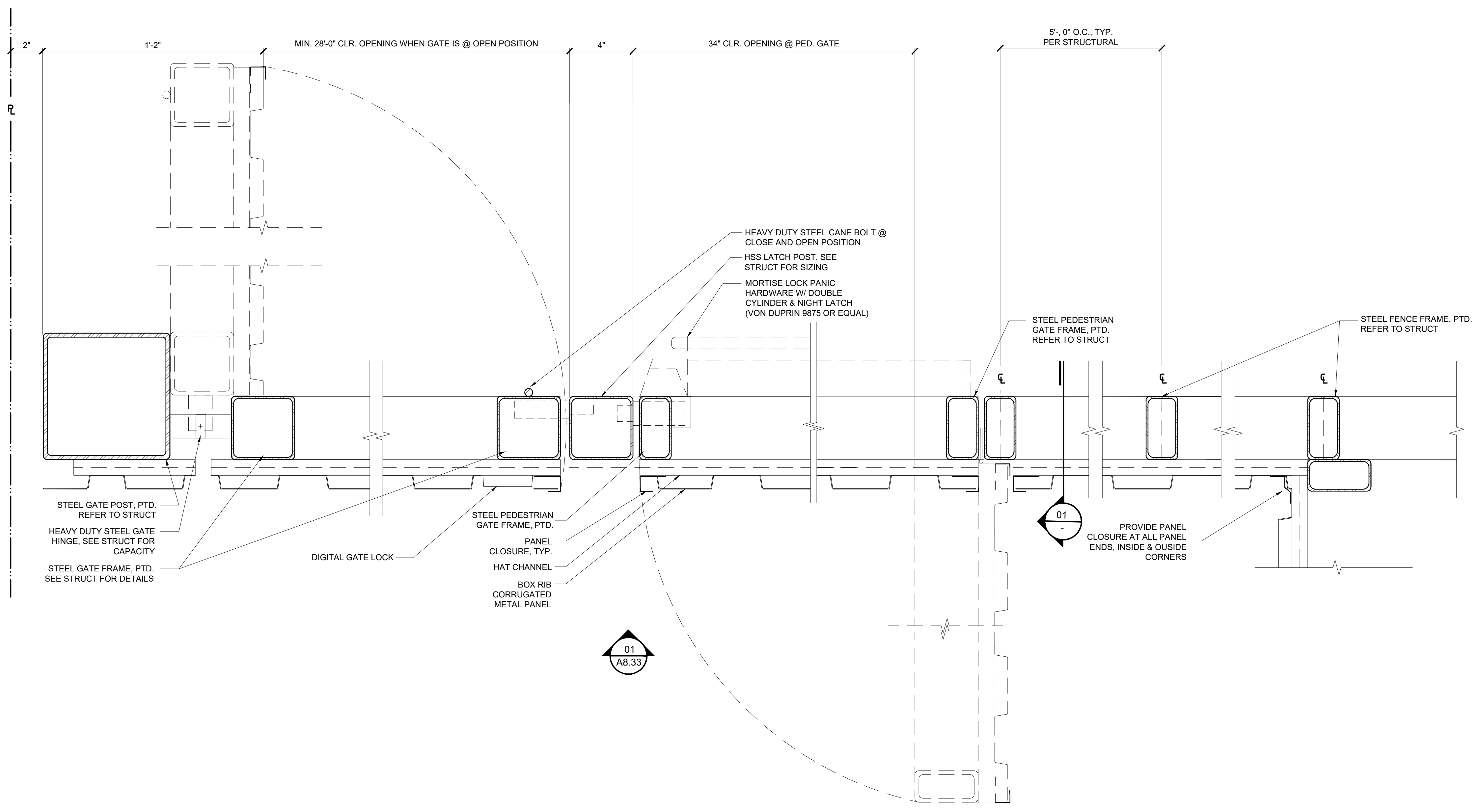
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SHEET NAME: A8.34
 SHEET X OF X SHEETS

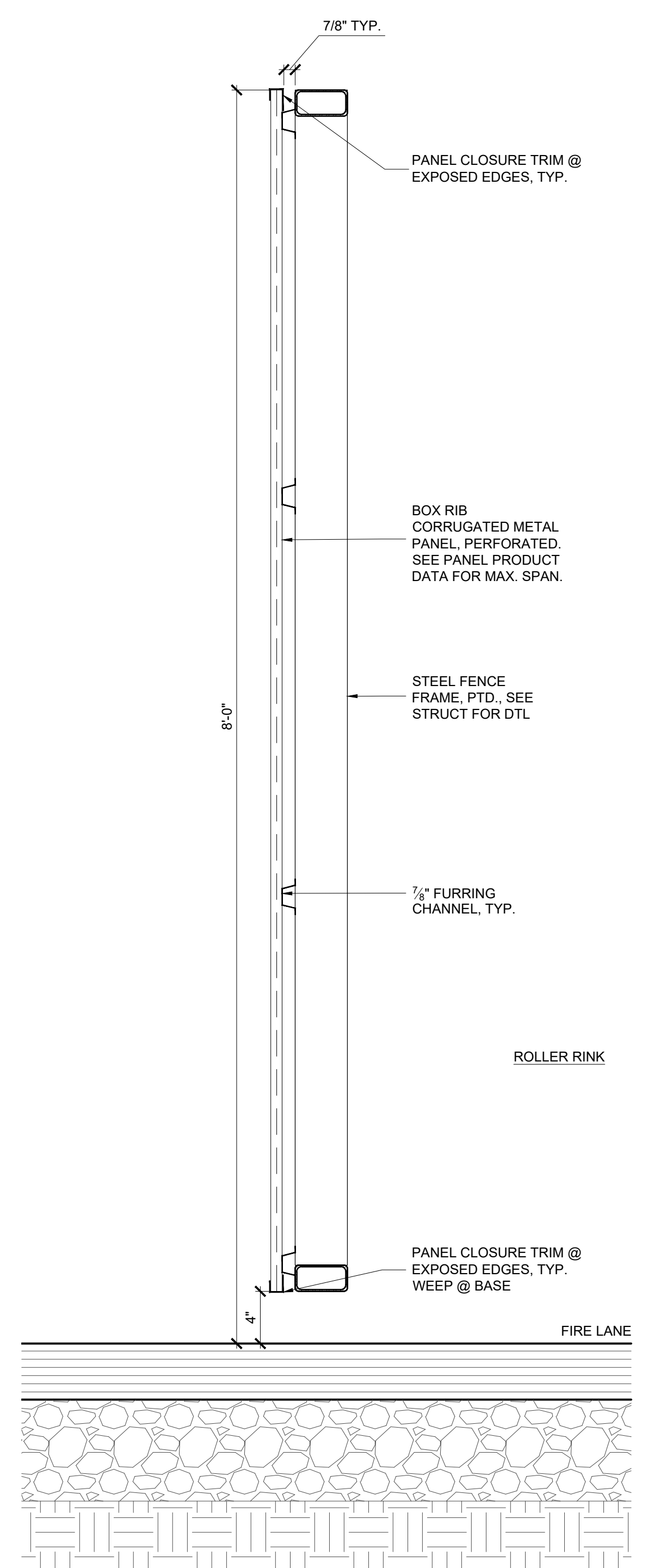
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GATE W/ CORRUGATION WHEEL DETAIL
REF: 01/A8.34, 04/A8.35 SCALE: 1 1/2" = 1'-0"



SWING AND PEDESTRIAN GATES PLAN @ ROLLER RINK
REF: 01/A8.34 SCALE: 3" = 1'-0"



FENCE W/ CORRUGATION @ ROLLER RINK
REF: 01/A8.34, 04/A8.35 SCALE: 1 1/2" = 1'-0"

ENGINEERING
CITY OF LOS ANGELES

Environmental Engineering Division

LICENSED ARCHITECT
LAWRENCE SOMPA
C 21812
REN 10/31/2023
STATE OF CALIFORNIA

BUREAU OF ENGINEERING

VERTICAL CONTROL:
HORIZONTAL CONTROL:

SHEET TITLE: SITE DETAILS
PROJECT: RESEDA SKATE FACILITY
ADDRESS: 18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS

NO. REVISIONS: DATE: BY:

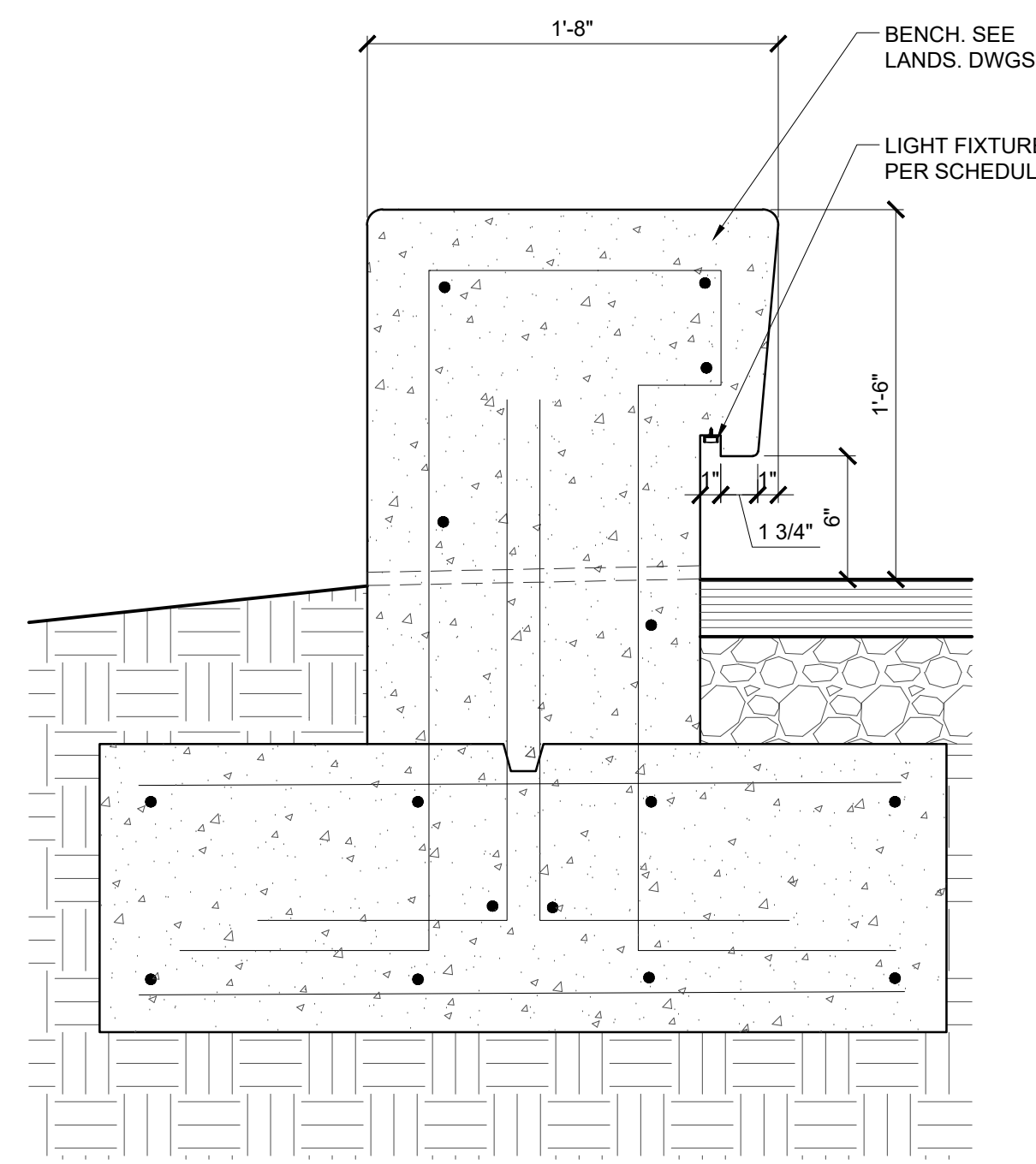
INDEX NO. CIP NO.

CITY ENGINEER: GARY LEE MOORE, P.E., ENV SP DESIGN GROUP
ENGINEER: DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:

WORK ORDER NO. E170121B
SHEET NAME: A8.35
SHEET X OF X SHEETS

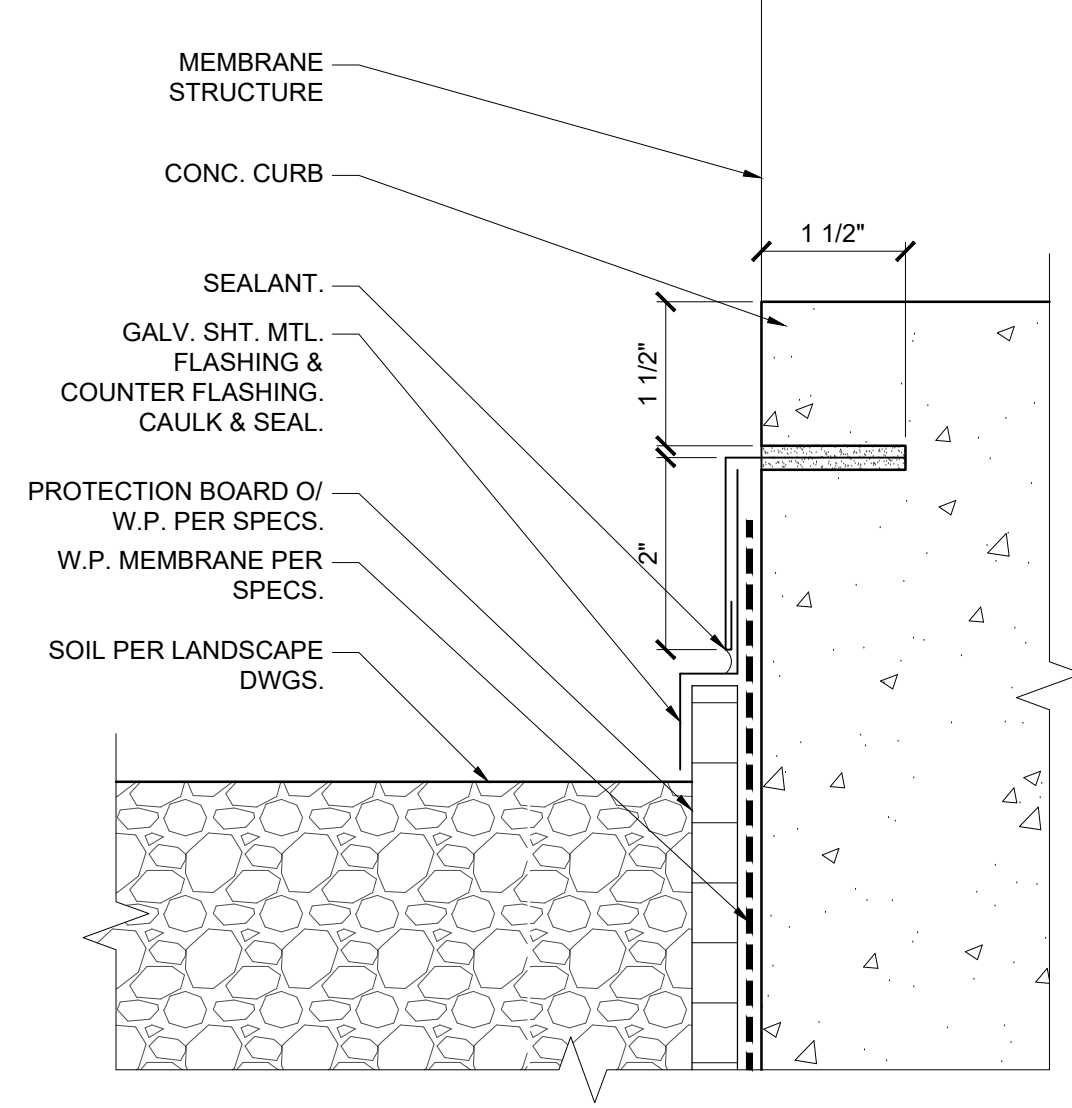
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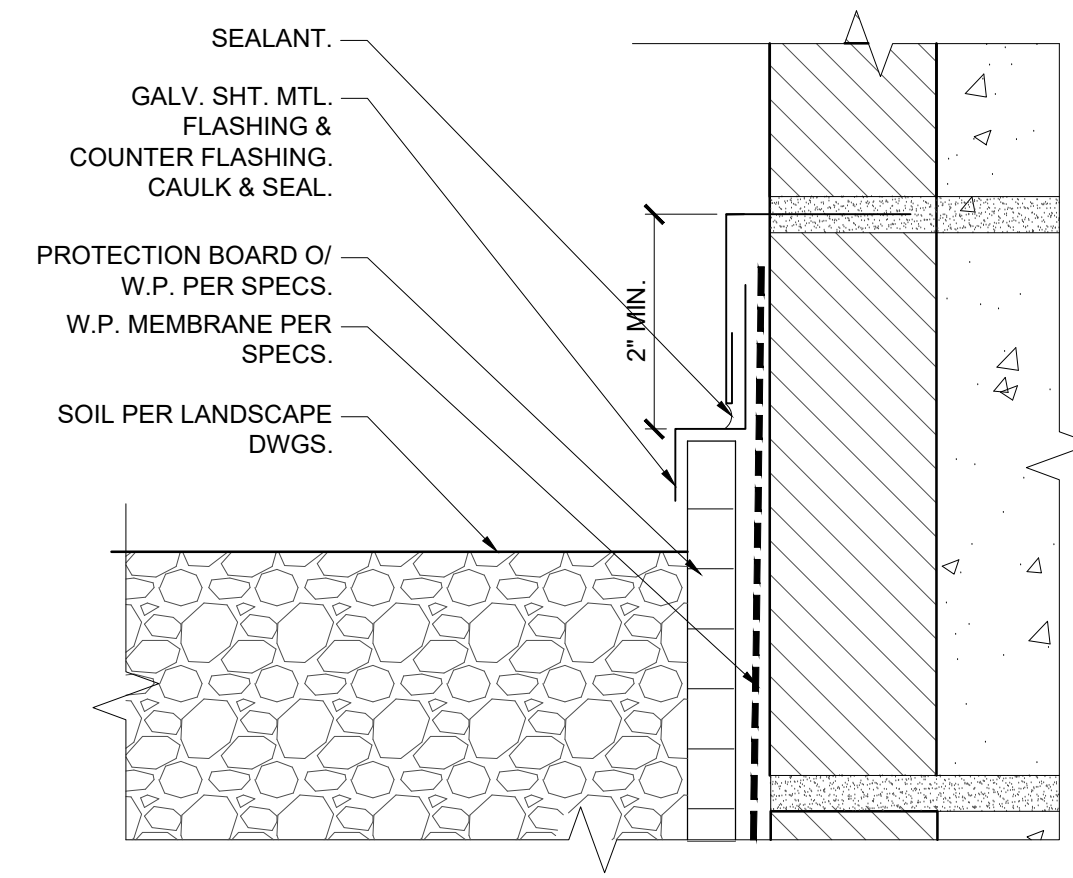
CONC. BENCH @ BIOSWALE

REF: 01/A1.00, 01/A8.30 SCALE: 1 1/2" = 1'-0"



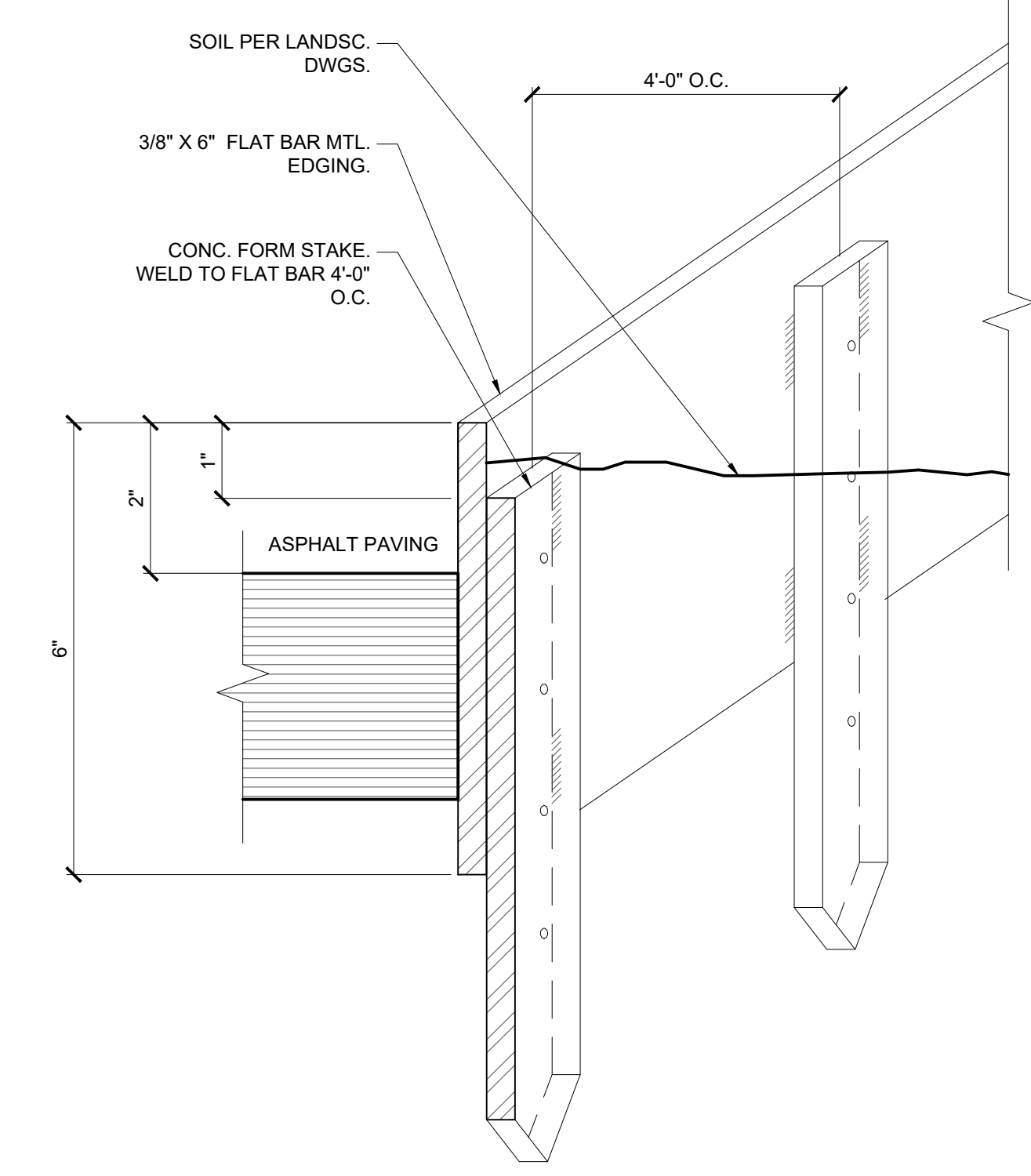
FLASHING DETAIL @ CONC. CURB TO LANDSCAPING

REF: 09/- SCALE: 6" = 1'-0"



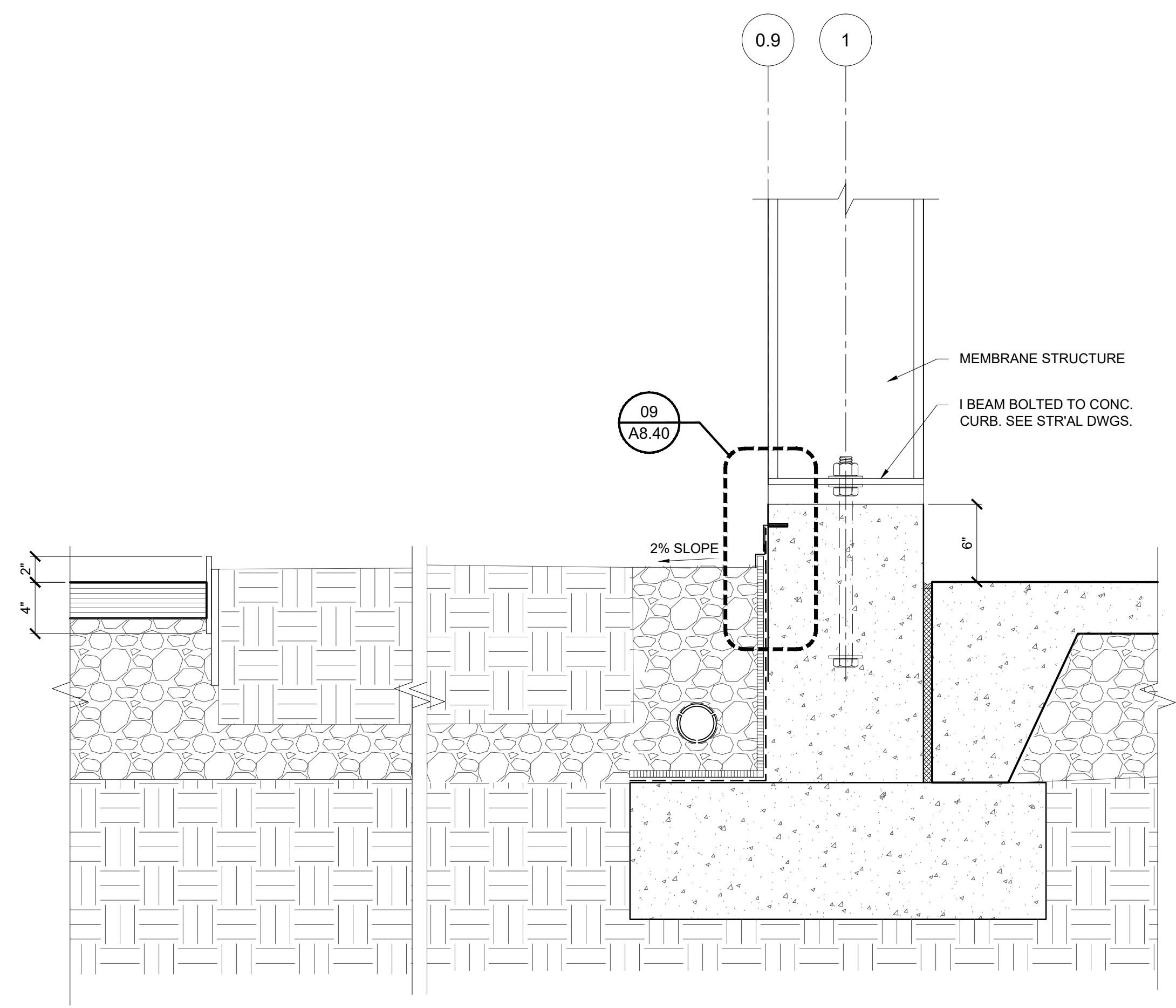
TYP. FLASHING DETAIL @ CMU BUILDING WALL TO LANDSCAPING

REF: 07/- SCALE: 6" = 1'-0"



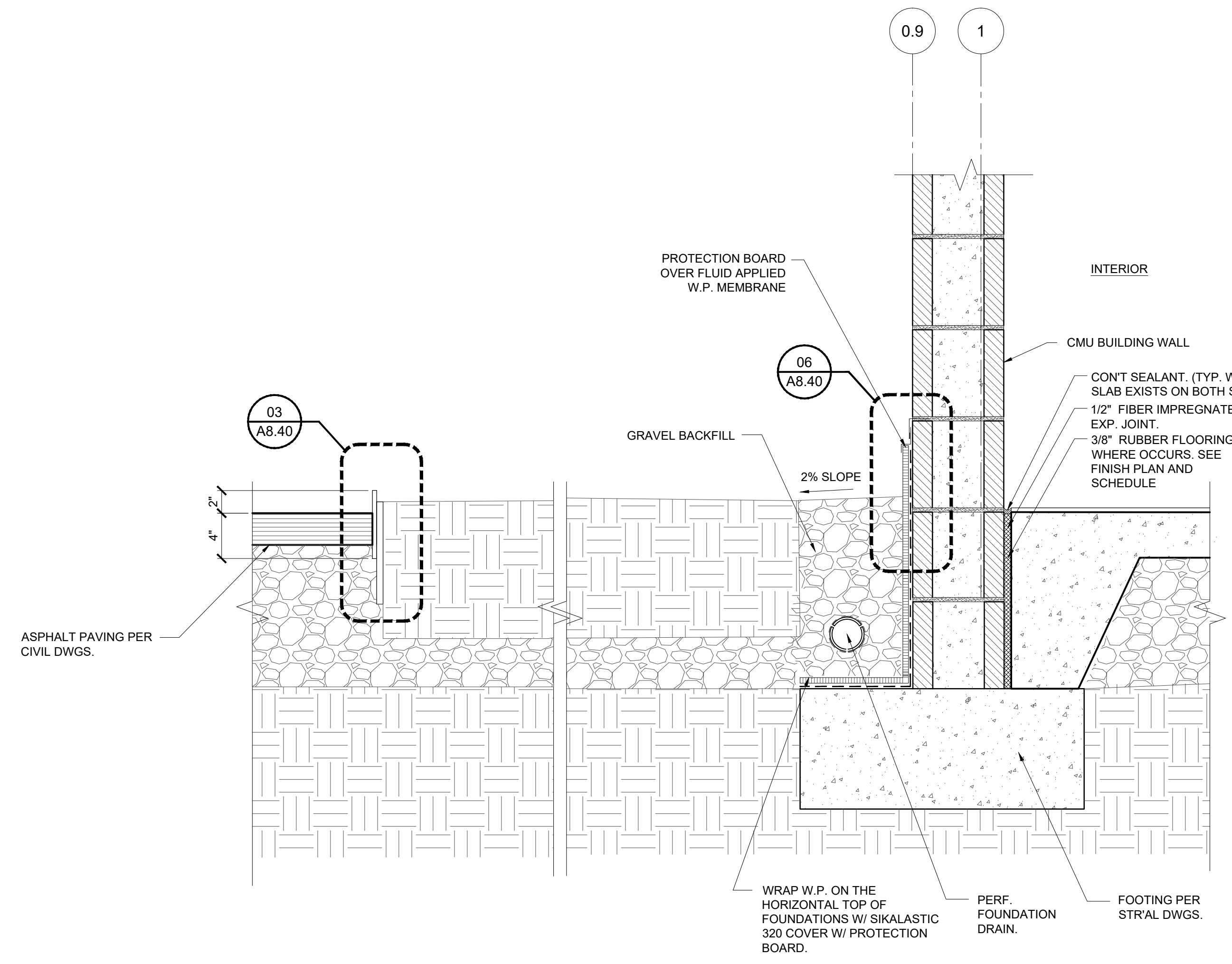
DETAIL @ PLANTED AREA

REF: 01/- SCALE: 6" = 1'-0"



DETAIL @ PLANTED AREA @ MEMBRANE STRUCTURE

REF: A3.01 SCALE: 1 1/2" = 1'-0"



DETAIL @ PLANTED AREA @ CMU WALL

REF: A3.11 SCALE: 1 1/2" = 1'-0"



BUREAU OF ENGINEERING	
VERTICAL CONTROL:	
HORIZONTAL CONTROL:	
SHEET TITLE:	SITE DETAILS
PROJECT:	RESEDA SKATE FACILITY
ADDRESS:	18210 SHERMAN WAY, RESEDA CA 91335

DEPARTMENT OF PUBLIC WORKS	
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CITY ENGINEER	DATE:
GARY LEE MOORE, P.E., ENV SP	
DESIGN GROUP	
ENGINEER:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

WORK ORDER NO. E170121B

SHEET NAME **A8.40**
SHEET X OF X SHEETS