

APPROVED

JUN 17 2021

BOARD OF RECREATION AND PARK COMMISSIONERS

BOARD REPORT

NO. 21-118

DATE June 17, 2021

C.D. 2

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: VESTING TENTATIVE TRACT (VTT) NO. 83014 – RECOMMENDATION TO THE ADVISORY AGENCY FOR LAND DEDICATION OR IN-LIEU PARK FEE PAYMENT

AP Diaz	_____	M. Rudnick	_____
H. Fujita	_____	*C. Santo Domingo	_____ <u>DF</u>
J. Kim	_____	N. Williams	_____

M. Stull
General Manager

Approved X Disapproved _____ Withdrawn _____

RECOMMENDATIONS

1. Recommend that the Advisory Agency require Vesting Tentative Tract (VTT) 83014 (Project) to provide a combination of land dedication and fee payment to the City in order to fulfill the Project's requirements under provisions of Los Angeles Municipal Code Section 12.33; and,
2. Authorize the Department of Recreation and Parks' (RAP) General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Park Commissioners' (Board) recommendation.

SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in Los Angeles Municipal Code Section (LAMC) 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Section 17.03 (Advisory Agency) states in part that "[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...". The Director of the City Planning Department (City Planning) is designated as the

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Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

LAMC Section 17.04 (Subdivision Committee) states that RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

PROJECT SUMMARY

The Project is located at 12444 West Chandler Avenue in the Valley Village community of the City. The Project site is approximately 0.64 gross acres. The Project, as currently proposed, includes the merger of ten (10) lots and the construction of 69 residential condominium units and 3 commercial condominium units. The building is currently under construction per Building Permit #17010-20000-01171. The Project was previously filed under Parcel Map No. AA-2020-461-PMLA, which was later terminated on January 6, 2021.

The Project also includes approximately 6,963 square feet of common open space including a gym and lounge, community room, a deck, and ground floor recreation areas.

The Project, as submitted to City Planning, is not proposing to make a land dedication to the City of Los Angeles either on-site or off-site of the project location.

Conceptual renderings of the Project are attached (Attachment 1).

EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty (50) residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33 D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **March 31, 2021**. The meeting included a discussion of the requirements of LAMC Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site parkland dedications, the calculation of Park Fees, and the various recreational credits available to the Project.

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ADVISORY AGENCY

The Project filed a tract map application with City Planning on **November 13, 2020**. On March 25, 2021, the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by a deadline identified as **“Upon Receipt.”** The Advisory Agency Filing Notification is attached (Attachment 2).

If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

REQUIRED LAND DEDICATION / IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, “All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents.”

Land Dedication

LAMC Section 12.33 D states that residential Subdivision projects with more than fifty (50) residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33 D.2:

- **LD = (DU x P) x F**
 - **LD** = Land to be dedicated in acres.
 - **DU** = Total number of new market-rate dwelling units.
 - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
 - **P = 2.88**
 - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
 - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The **maximum** land dedication for the Project’s proposed 69 units would be:

$$0.49 \text{ Acres} = (69 \times 2.88) \times 0.00251$$

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

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As currently proposed, the Project has no affordable units that would likely qualify for an exemption per LAMC Section 12.33 C.3.

Per LAMC Section 12.33 D.3, a project that is required to make a land dedication to the City may make said land dedication, or any portion thereof, either on-site or off-site of the project location. Any off-site land dedication must be located within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed parkland dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

Per Section 66477 (7) of the California Government Code, "Only the payment of fees may be required in subdivisions containing 50 parcels or less, except that when a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code, exceeds 50 dwelling units, dedication of land may be required notwithstanding that the number of parcels may be less than 50." The Project as described in this Report, is a condominium project and therefore may be recommended to dedicate land.

In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP's Rate and Fee Schedule. As of July 1, 2020, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

\$13,609.00 x number of new non-exempt dwelling units

The maximum Park Fees payment for the Project's proposed 69 units would be:

\$939,021.00 = \$13,609 x 69 dwelling units

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As currently proposed, the Project has no affordable units that would likely qualify for an exemption per LAMC Section 12.33 C.3.

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per Los Angeles Municipal Code Section 12.33 E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board's review and approval, RAP staff analyzes each proposed development project including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities would reduce the need for new public recreation and park facilities to serve the project residents.

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. According to the Trust for Public Land 2020 Park Score Index, approximately 62% of residents in the City of Los Angeles live within a 10-minute walk, from a public park or open space. The Mayor's Office of Sustainability pLAn sets a goal of increasing the percentage of Angelenos living within a one-half mile from a park to at least 65% by 2025; 75% by 2035; and 100% by 2050. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

Site Analysis

The Project is located within the Valley Village community of the City and within the North Hollywood – Valley Village Community Plan Area. Currently, the Project site is a vacant lot. It is surrounded by residential and commercial uses on all sides and is adjacent to the Metro Orange Line Busway.

An aerial view of the Project site is attached hereto (Attachment 3). A map showing the generalized zoning of the project site and the Community Plan Area is also attached (Attachment 4).

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The Project is located in a high density area of the City. Below is an analysis of the density of the area within walking distance of the Project site and a comparison to both citywide density and local community density:

- Half-mile walking distance of the Project site (EPADSS): 8,220 persons (16,118 persons per square mile).
- City of Los Angeles Population Density (2010 United States Census): 8,092 persons per square mile.
- Central City Community Plan Area (2014 American Community Survey): 13,068 persons per square mile.

Project Open Space and Recreational Areas

As previously discussed, the Project also includes approximately 6,963 square feet of common open space including a gym and lounge, community room, a deck, and ground floor recreation areas.

The amount of common open space being provided by the Project does not appear to significantly exceed the amount of open space the Project would otherwise be required to provide per the LAMC (or other planning documents, specific plans, etc.). Additionally, it does not appear that these open spaces will include the type and variety of active and passive recreational facilities and amenities that are typically found in the City's Neighborhood and Community Parks and that are needed to meet the needs of residents of all ages and abilities.

As currently proposed, these proposed recreational amenities would likely not significantly reduce the Project's impact on existing public recreational and park facilities nor would they likely significantly reduce the need for new or expanded public recreational and park facilities.

Public Park Access

There are no public parks within a half mile walking distance of the Project site. A map showing the project location and nearby public parks is attached hereto (Attachment 5).

As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided at the Project location the park would serve the new residents of the Project and would serve approximately **6,515** new, previously unserved, residents within a half-mile walking distance (Attachment 6). If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

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Nearby Public Park Projects

There are no new public parks currently in development within a two (2) mile radius of the Project site:

There are five (5) park renovation projects in development within a two-mile radius of the Project site that have previously been reviewed and approved by the Board and are currently fully funded:

- Laurel Grove Park – Playground Improvements (PRJ21448) Project
- North Hollywood Park – Sportsfield Lighting Project
- Valley Plaza Park – Playground Replacement (PRJ21318) Project
- Valley Plaza Park – Roof Replacement (PRJ21407) Project
- Valley Plaza Park – Whitsett Sports Fields – Synthetic Field Replacement (PRJ21389) Project

There is one (1) park renovation project currently in various stages of planning and development within a two-mile radius of the Project site that are either still pending Board approval and/or are not currently fully funded:

- Studio City Recreation Center – Recreation Center Replacement (PRJ20404) Project

Staff Recommendation

RAP staff recommends that the appropriate mitigation measure for this Project is that the Project be required to provide a combination of land dedication and fee payment to the City.

There are currently no public parks within a half-mile walking distance of the Project site. If a new public park was provided at the Project location, the park would serve Project residents and 6,515 currently unserved residents within a half (½) mile walking distance.

RAP staff recognizes that the building is already approved and under construction and therefore recommends that an off-site dedication be provided by the applicant near the project site in order to serve the maximum number of unserved residents in the Project's immediate community.

Per the Project applicant, the Project has been classified as a condominium project as defined in Section 4105 of the Civil Code. Per Section 66477 (7) of the California Government Code, the dedication of land may be required for projects that exceed 50 parcels, or for condominium, stock cooperative, or community apartment projects.

FISCAL IMPACT

As it is not known at this time if the Advisory Agency will recommend the proposed Project dedicate parkland to the City or to pay Park Fees, the potential Fiscal Impact to the RAP's General Fund is unknown.

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STRATEGIC PLAN INITIATIVES AND GOALS

Approval of this Board Report advances RAP's Strategic Plan by supporting:

Goal No. 3: Create & Maintain World Class Parks and Facilities

Outcome No. 3: Increased park maintenance, with a focus on cleanliness.

Result: Collected fees and dedicated land will mitigate the impact of the development on the park system and fund capital improvements at existing parks in the Project area.

This Report was prepared by Ligaya Khennavong, Management Assistant, Planning, Maintenance and Construction Branch.

LIST OF ATTACHMENTS

- 1) Attachment 1 - Conceptual Project Renderings
- 2) Attachment 2 - Advisory Agency Filing Notice
- 3) Attachment 3 - Aerial View of the Project Site
- 4) Attachment 4 - Zoning and Community Plan Map
- 5) Attachment 5 - Project Location and Surrounding Parks
- 6) Attachment 6 - EPADSS Report

VESTING TENTATIVE TRACT MAP NO. 83014

IN THE CITY OF LOS ANGELES
 COUNTY OF LOS ANGELES
 MERGER AND RE-SUBDIVISION OF 10 LOTS
 FOR 1 LOT FOR CONDOMINIUM PURPOSES
 COUNCIL DISTRICT # 2

LOS ANGELES DEPT. OF CITY PLANNING
 SUBMITTED FOR FILING
 TENTATIVE MAP PARCEL MAP
 MAR 25 2021
 REVISED MAP EXTENSION OF TIME
 FINAL MAP UNIT MODIFIED
 DEPUTY ADVISORY AGENCY

ATTACHMENT 1

UTILITY INFORMATION

UTILITY	SERVICE BY	TELEPHONE NO.	ADDRESS
POWER	CITY OF LOS ANGELES, DWP	(213) 977-6060	201 N. FIGUEROA, 4TH FLOOR, LA, CA
WATER	CITY OF LOS ANGELES, DWP	(213) 977-6061	202 N. FIGUEROA, 4TH FLOOR, LA, CA
TELEPHONE	AT&T	(925) 977-2413	22311 BROOKHURST ST, HUNTINGTON BEACH
GAS	THE GAS COMPANY	(310) 687-2099	701 N. BULLIS RD, COMPTON, CA
STORM DRAIN	CITY OF LOS ANGELES	(213) 977-6093	202 N. FIGUEROA, 4TH FLOOR, LA, CA
SEWER	CITY OF LOS ANGELES	(213) 977-6092	202 N. FIGUEROA, 4TH FLOOR, LA, CA
CABLE TV	TIME WARNER CABLE	(888) 892-2253	9260 TOPANGA CANYON BLVD, CHATSWORTH, CA

UTILITIES NOTE: UNDERGROUND UTILITIES SPECIFICALLY LISTED IN THE UTILITY INFORMATION TABLE ARE PLOTTED ON THIS SURVEY. OTHER UNDERGROUND UTILITIES NOT LISTED (E.G. TRAFFIC SIGNAL AND STREET LIGHT CONDUIT, ABANDONED LINES, ETC.) HAVE NOT BEEN PLOTTED. THE LOCATION OF THOSE PLOTTED UTILITIES WERE OBTAIN FROM UTILITY MAPS AND PLANS AS LISTED UNDER THE SUBSTRUCTURE PLAN LIST.

LEGEND:

- TC TOP OF CURB
- FL FLOW LINE
- BW BACK OF WALK
- PL PROPERTY LINE
- BX BOTTOM OF X
- SF SQUARE FEET
- LE LOWER ELEVATION
- UE UPPER ELEVATION

20. PROPERTY IS NOT IN METHANE ZONE

21. EXISTING LOT AREA = 27,817 SF (0.6386 ACRES)
 AREA TO BE DEDICATED = 0 SF (0.00 ACRES)
 NET LOT AREA = 27,817 SF (0.6386 ACRES)

22. SUBSTRUCTURE PLAN LIST:
 SUBSTRUCTURE MAP NOS. SUB-137C
 DRAINAGE MAP NO. 428
 SEWER WYE MAPS NO. 171B165

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9 & 10 OF TRACT 8304, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 103, PAGE 28 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2347-031-029

BENCHMARK:

B.M. NO. 08-07700 NVD 1988 LOS ANGELES CITY BENCH MARK DESCRIBED AS: WIRE SPIKE IN SOUTH CURB ON CHANDLER BLVD; SOUTH ROADWAY; 2 FEET EAST OF BEGINNING OF CURB RETURN EAST OF WHITSETT AVE. ELEVATION: 662.570 FEET YEAR OF ADJUSTMENT: 2000

BASIS OF BEARING:

BASIS OF BEARING FOR THIS MAP IS THE CENTERLINE OF THE ALLEY SOUTH OF CHANDLER BLVD, BEING S89°54'10"W PER TRACT NO. 33517 M.B. 905 PGS 87-88.

OWNER/DEVELOPER:

NAME: CHANDLER VILLAGE LLC
 CONTACT: JERRY LEVY
 ADDRESS: 1180 BEVERLY DRIVE, SUITE 301
 LOS ANGELES, CA 91607
 PHONE: (310) 779-5959

OWNER REPRESENTATIVE:

NAME: ERWIN COHEN & JESSUP LLP
 CONTACT: ELLIA M. THOMPSON, Esq.
 ADDRESS: 9401 WILSHIRE BLVD, 9TH FLOOR
 BEVERLY HILLS, CA 90212
 PHONE: (310) 281-6356

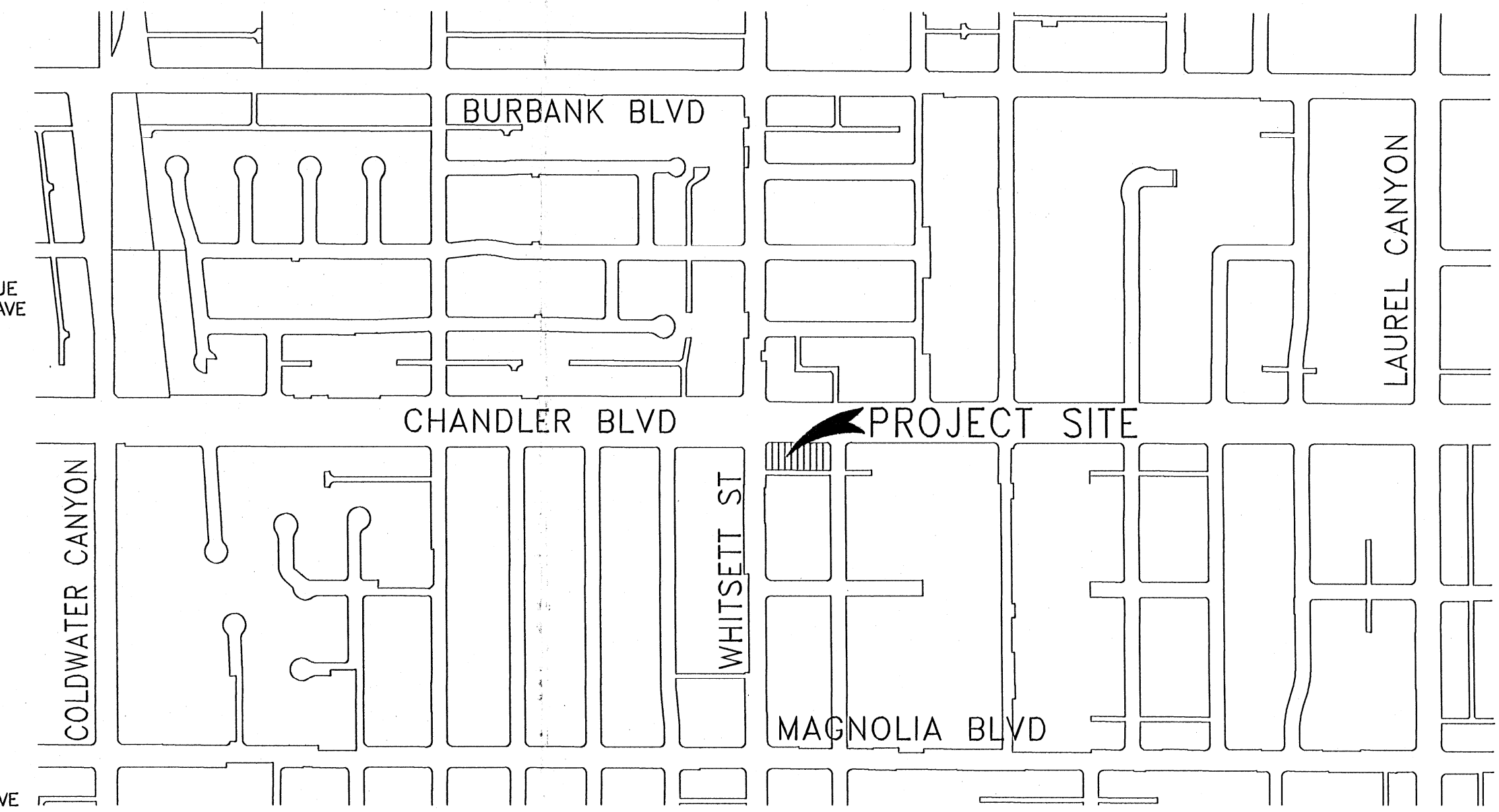
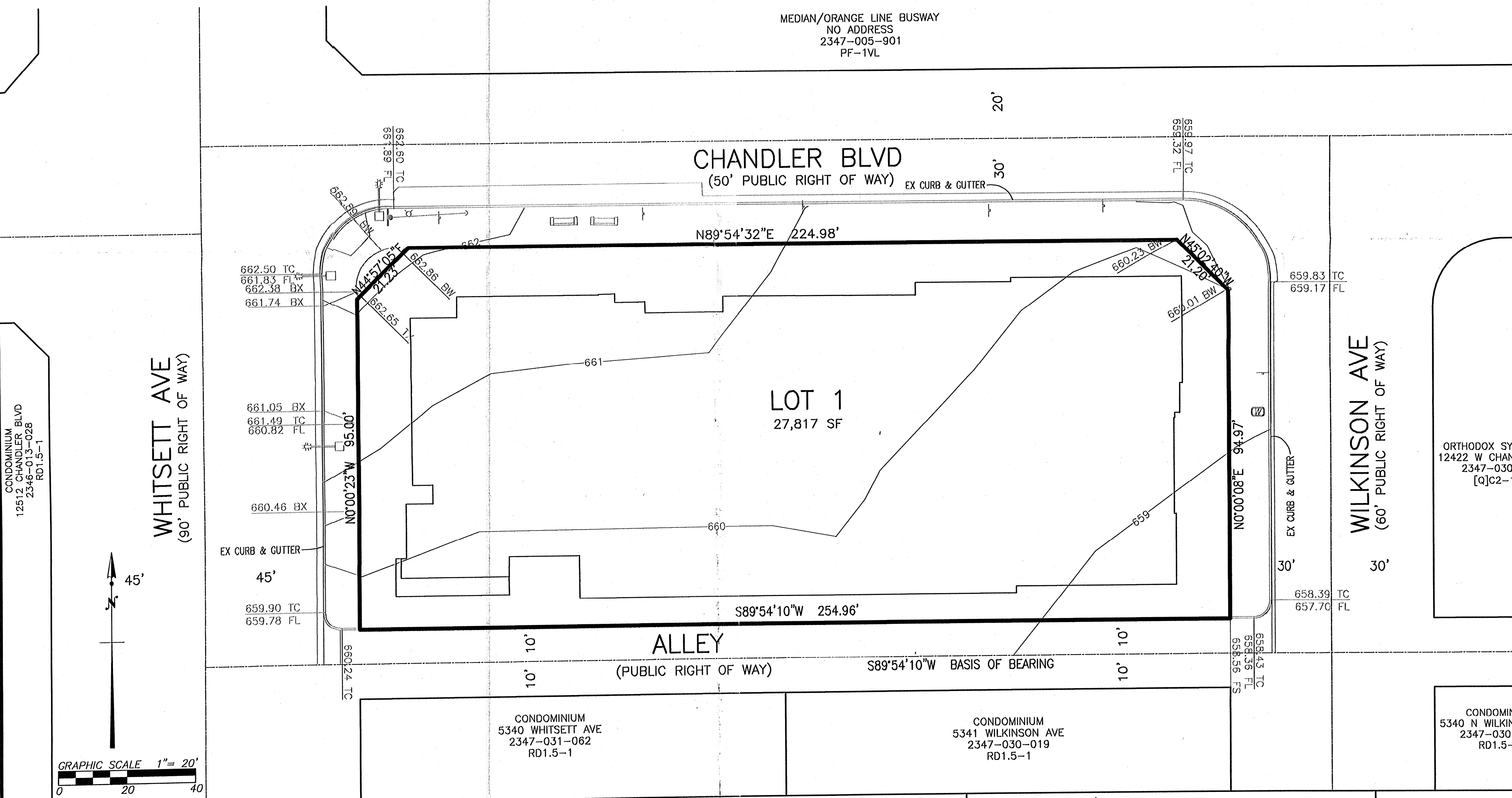
CIVIL ENGINEER:

NAME: FORMA ENGINEERING INC.
 CONTACT: MIKE WHITE
 ADDRESS: 400 SAN FERNANDO MISSION BLVD
 Suite 200
 SAN FERNANDO, CA 91340
 PHONE: (818) 698-8667

MEDIAN/ORANGE LINE BUSWAY
 NO ADDRESS
 2347-005-901
 PF-1VL

NOTES:

- EXISTING USE: MIXED USE
- SITE ADDRESS: 12444 CHANDLER BLVD.
- ASSESSOR PARCEL NUMBERS: 2347-031-029
- THOMAS GUIDE: PAGE 562, GRID F2
- COMMUNITY PLAN: N. HOLLYWOOD - VALLEY VILLAGE
- EXISTING GENERAL PLAN DESIGNATION: NEIGHBORHOOD OFFICE COMMERCIAL
- PROPOSED GENERAL PLAN DESIGNATION: NEIGHBORHOOD OFFICE COMMERCIAL
- EXISTING ZONING: [Q]C2-1VL
- PROPOSED ZONING: [Q]C2-1VL
- PROPOSED DEVELOPMENT: MERGER AND RESUBDIVISION OF 10 LOTS FOR 1 LOT FOR CONDOMINIUM PURPOSES WITH 69 RESIDENTIAL CONDOMINIUM UNITS AND 3 COMMERCIAL CONDOMINIUM UNITS.
- PROPOSED PARKING: REQUIRED AND PROVIDED PARKING PROVIDED PER LOS ANGELES MUNICIPAL CODE. PARKING SPACES FOR THE 3 COMMERCIAL UNITS WILL BE LOCATED ON THE RESIDENTIAL LOT AND WILL BE SHARED VIA COVENANT AND AGREEMENT PER CITY PLANNING CASE CPC-2015-3338-DB-SPR-SPP..
- TREES: THERE ARE NO PROTECTED TREES ON SITE
- EXISTING UTILITIES:
 24" SEWER MAIN IN WHITSETT AVE
 8" SEWER MAIN IN WILKINSON AVE
 8" LADWP WATER MAIN IN CHANDLER BLVD
 8" LADWP WATER MAIN IN WHITSETT AVE
 6" LADWP WATER MAIN IN WILKINSON AVE
- EXISTING DRAINAGE:
 THE SITE CURRENTLY DRAINS TO ADJACENT EXISTING STREETS.
- DISTRICT MAP: 171B165.
- FLOOD ZONE: ZONE C
 FEMA PANEL: 0601370039C
- PROPERTY IS NOT IN A VERY HIGH FIRE HAZARD SEVERITY ZONE.
- PROPERTY IS NOT IN A GEOLOGICALLY HAZARDOUS ZONE.
- PROPERTY IS NOT IN A HILLSIDE GRADING AREA



VICINITY MAP
 SCALE: 1"=500'

VTT-83014

PREPARED FOR:
CHANDLER VILLAGE, LLC

1180 S. BEVERLY DRIVE, LOS ANGELES, CA 910035
 CONTACT : ELLIA M. Thompson, Esq (310) 281-6356

VESTING TENTATIVE TRACT 83014

12444 CHANDLER BLVD
 LOS ANGELES, CA 91607

DEVELOPER'S ENGINEER:

FORMA ENGINEERING INC.

400 SAN FERNANDO MISSION BLVD SUITE 200, SAN FERNANDO, CA 91340
 Phone: (818) 832-1710 • Fax: (818) 832-1740

Larry Wilson
 LARRY WILSON P.L.S. 75862 DATE 2/25/2021



No.	DATE	REVISION

DESIGNER: M.W.
 CHECKED BY: M.W.
 DATE: 02/25/2021
 SHEET 1 OF 1

AREA CALCULATION: BUILDING AREA (PER 2017 LABC)

	STORY	BUILDING AREA
TYPE IA (UNLIMITED S.F. PER STORY ALLOWED)	PARKING - P2	22,662 SF.
	PARKING - P1	21,932 SF.
	GROUND FLOOR LEVEL	14,953 SF.
TYPE VA (36,000 S.F. PER STORY ALLOWED W/ AUTOMATIC SPRINKLER SYSTEM)	SECOND FLOOR LEVEL	12,231 SF.
	THIRD FLOOR LEVEL	14,844 SF.
	FOURTH FLOOR LEVEL	14,933 SF.
	FIFTH FLOOR LEVEL	14,882 SF.
TOTAL	TOTAL BUILDING AREA	116,437 SF.

FLOOR AREA (LOS ANGELES ZONING CODE - SEC. 12.03)

	STORY	FLOOR AREA
	GROUND FLOOR LEVEL	7,958 SF.
	SECOND FLOOR LEVEL	11,315 SF.
	THIRD FLOOR LEVEL	14,844 SF.
	FOURTH FLOOR LEVEL	14,933 SF.
	FIFTH FLOOR LEVEL	14,882 SF.
TOTAL	TOTAL FLOOR AREA	63,932 SF.

FLOOR AREA (SCHOOL DISTRICT FEE)

	STORY	FLOOR AREA
	GROUND FLOOR LEVEL	11,887 SF.
	SECOND FLOOR LEVEL	14,303 SF.
	THIRD FLOOR LEVEL	15,536 SF.
	FOURTH FLOOR LEVEL	15,663 SF.
	FIFTH FLOOR LEVEL	15,663 SF.
TOTAL	TOTAL FLOOR AREA	73,052 SF.

NOTES: BUILDING AREA (LABC 202.1): THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS (OR EXTERIOR WALLS AND FIRE WALLS) EXCLUSIVE OF VENT SHAFTS AND COURTS.

FLOOR AREA (LA ZONING SEC. 12.03): THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMP, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, BASEMENT STORAGE AREAS.

AREAS INCLUDED: ALL SPACES WITHIN THE PERIMETER OF RESIDENTIAL STRUCTURES TO BE CONSTRUCTED ON ITS SITE.

GARAGE SPACES NOT USED FOR PARKING WHICH INCLUDE: LAUNDRY AREAS / STORAGE AREAS / COMMUNITY AREA GROUND FLOOR AREA OF ELEVATORS AND STAIRWAYS

PARKING BREAKDOWN: (P2 LEVEL)

RESIDENTIAL PARKING (PROVIDED):	64 SPACES
STANDARD (DIRECT):	39 SPACES
INCL. EV - 2	
EV READY - 12	
COMPACT (DIRECT):	2 SPACES
COMPACT (TANDEM):	13 SPACES
	54 SPACES
RESIDENTIAL GUEST PARKING (DIRECT COMPACT):	10 SPACES
PARKING BREAKDOWN: (P1 LEVEL)	
RESIDENTIAL PARKING (PROVIDED):	55 SPACES
STANDARD (DIRECT):	35 SPACES
INCL. H/C - 4	
EV - 2	
EV READY - 12	
COMPACT (DIRECT):	1 SPACE
COMPACT (TANDEM):	12 SPACES
	48 SPACES
RESIDENTIAL GUEST PARKING (INCL. COMPACT (DIRECT) - 6 H/C VAN ACC. - 1	7 SPACES

UNIT SUMMARY :

FLOOR LEVEL	ROOM ASSIGNMENT	UNIT TYPE	TOTAL	REMARKS	
	U-201	X		TYPE W	
	U-202	X		TYPE A	
	U-203	X		TYPE W	
	U-204	X		TYPE W	
	U-205	X		TYPE W	
	U-206	X		TYPE W	
	U-207	X		TYPE W	
	U-208	X		TYPE W	
	U-209	X		TYPE W	
	U-210	X		TYPE W	
	U-211	X		TYPE W	
	U-212	X		TYPE W	
	U-213	X		TYPE W	
	U-214	X		TYPE W	
	U-215	X		TYPE W	
SUB-TOTAL			13	2	15

SUB-FLOOR LEVEL	U-201	X	TYPE W	
	U-202	X	TYPE W	
	U-203	X	TYPE W	
	U-204	X	TYPE W	
	U-205	X	TYPE W	
	U-206	X	TYPE W	
	U-207	X	TYPE W	
	U-208	X	TYPE W	
	U-209	X	TYPE W	
	U-210	X	TYPE W	
	U-211	X	TYPE W	
	U-212	X	TYPE W	
	U-213	X	TYPE W	
	U-214	X	TYPE W	
	U-215	X	TYPE W	
SUB-TOTAL		14	4	18

SUB-FLOOR LEVEL	U-301	X	TYPE W	
	U-302	X	TYPE W	
	U-303	X	TYPE W	
	U-304	X	TYPE W	
	U-305	X	TYPE W	
	U-306	X	TYPE W	
	U-307	X	TYPE W	
	U-308	X	TYPE W	
	U-309	X	TYPE W	
	U-310	X	TYPE W	
	U-311	X	TYPE W	
	U-312	X	TYPE W	
	U-313	X	TYPE W	
	U-314	X	TYPE W	
	U-315	X	TYPE W	
	U-316	X	TYPE W	
	U-317	X	TYPE W	
	U-318	X	TYPE W	
SUB-TOTAL		14	4	18

PROJECT SUMMARY :

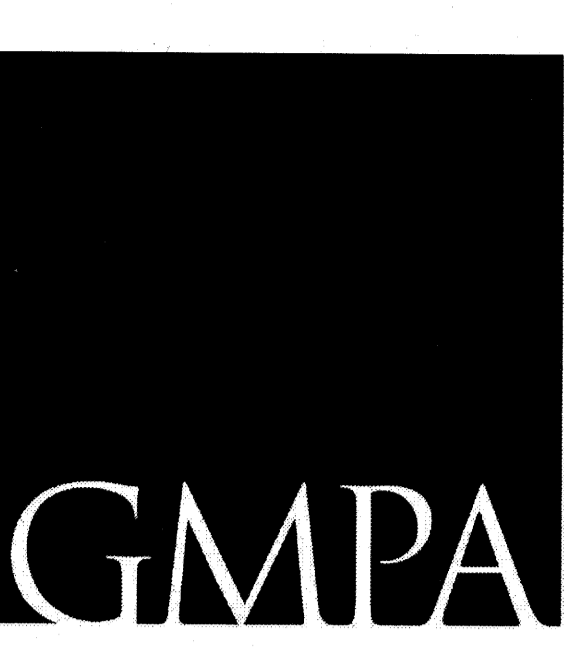
PROJECT ADDRESS :	12444 CHANDLER BLVD., LOS ANGELES, CA. 91607
PROJECT OWNER :	LI INVESTMENTS, LLC. 1180 S. BEVERLY DRIVE, LOS ANGELES, CA. 90035
PROJECT DESCRIPTION :	A NEW PROPOSED MIXED-USE DEVELOPMENT OF 69 DWELLING UNITS IN A 4 STORY TYPE V-A/1-HR. MIN. CONSTRUCTION OVER 1 STORY OF RETAIL SPACE WITH PARKING TYPE 1-A AND A RESIDENT'S COMMUNITY ROOM (AVAILABLE ON A LIMITED USE BASIS TO THE NEIGHBORING COMMUNITY) OVER 2 LEVELS OF SUBTERRANEAN PARKING TYPE 1-A CONSTRUCTION-FULLY SPRINKLERED-CLASS I (COMBINATION) - NFPA 13
STREET LEVEL :	
LEGAL DESCRIPTION :	LOTS 1-10 OF TRACT NO. 8304, M.B. 103/28 (SEE SURVEY - SHEET A1.16 FOR FULL DESCRIPTION)
APN :	2347-031-028
ZONE :	[Q] C2-VL (ALSO SEE VALLEY VILLAGE ORDINANCE AND COMMERCIAL CORNER LOT) THE PROJECT WILL UTILIZE CODE SECTION 12.22.A.25 FOR 35% DENSITY BONUS INCREASE
APPLICABLE CODES :	BUILDING - 2016 CALIFORNIA BUILDING CODE (BASED ON 2017 LOS ANGELES BUILDING CODE) ELECTRICAL - 2016 CALIFORNIA ELECTRICAL CODE MECHANICAL - 2016 CALIFORNIA MECHANICAL CODE PLUMBING - 2016 CALIFORNIA PLUMBING CODE ENERGY - 2016 CALIFORNIA ENERGY CODE FIRE - 2016 CALIFORNIA FIRE CODE GREEN BLDG - 2016 CALIFORNIA GREEN BUILDING
LOT AREA :	27,822 SF. (0.639 ACRE)
FRONT REQUIRED:	5% OF LOT AREA (27,822 SF.) = 1,391 SF (15' MAX. SETBACK)
FRONT PROVIDED:	FRONT ON WHITSETT AVE. = 1,391 SF (15' MAX. SETBACK) FRONT ON WILKINSON AVE. = 1,391 SF (15' MAX. SETBACK)
SIDE:	CHANDLER BLVD. (5' PLUS 1' FOR EACH FLOOR OVER 2ND FLOOR) 5' + 3' = 8'-0" SETBACK
ALLEY:	5' PLUS 1' FOR EACH FLOOR OVER 2ND FLOOR 5' + 3' = 8'-0" SETBACK
HEIGHT BASE (PER VALLEY VILLAGE SPECIFIC PLAN):	45' - 0" (ALLOWED)
HEIGHT ALLOWED & PROPOSED (DENSITY BONUS INCENTIVE #1):	45' - 0" + 11' - 0" (WITH BONUS DENSITY INCENTIVE #1) 56' - 0"
NUMBER OF STORIES (INCLUDING DENSITY BONUS):	5 (4 RESIDENTIAL + 1 RETAIL / PARKING)
DENSITY ALLOWED (BASE):	(PER 12.11 CA) 1 UNIT PER 400 SF. OF LOT AREA INCLUDING 1/2 OF THE ALLEY = 27,822 (LOT AREA) + 2,549.90 SF. (HALF THE ALLEY) / 400 = 30,971.90 SF. / 400 = 75 BASE UNITS (ALLOWED)
DENSITY PROPOSED:	PER LAMC SECTION 12.22.2A.15 (C) 75 UNITS X 1.35 = 102 UNITS (MAX. ALLOWED)
F. A. R. PROPOSED (TO ACCOMMODATE COMMUNITY REQUEST):	27,822 SF. X 2.25 = 62,599 SF. (MULTIPLIER OF 2.25)
PROPOSED (FAR / BUILDING AREA) (OFF MENU INCENTIVE) DUE TO INCREASED UNIT SIZES, INCREASE RETAIL & COMMUNITY SPACE:	PER COMMUNITY REQUEST FOR ADDED RETAIL, INCREASED PARKING AND LARGER UNITS RESIDENTIAL (UNITS + CORRIDOR) = 56,890 SF. RESIDENTIAL (LOBBY & RESIDENT) = 1,300 SF. FITNESS CENTER = 406 SF. COMMUNITY ROOM = 406 SF. RETAIL = 4,003 SF. TOTAL (APPROX. PROPOSED AREA) = 62,599 SF. (PROPOSED F.A.R. = 2.25)
UNIT MATRIX:	55 (1 BEDROOM) = 3 HABITABLE ROOMS = 55 UNITS 14 (2 BEDROOMS) = 4 HABITABLE ROOMS = 14 UNITS TOTAL HABITABLE ROOMS = 277 TOTAL UNITS = 69 UNITS

PARKING SUMMARY :

RESIDENTIAL PARKING REQUIRED:	(1 BEDROOM) X 1.0 SPACE = 55 SPACES 14 (2 BEDROOMS) X 2.0 SPACES = 28 SPACES SUB TOTAL = 83 SPACES
RESIDENTIAL STANDARD DIRECT = 69 SPACES	
RESIDENTIAL COMPACT = 14 SPACES	
RESIDENTIAL GUEST REQUIRED (PER COND. OF APPROVAL) = 17 SPACES	
TOTAL RESIDENTIAL REQUIRED = 100 SPACES	
RESIDENTIAL STANDARD DIRECT PROVIDED P2 = 39 SPACES	
RES. STANDARD DIRECT PROVIDED P1 = 35 SPACES	
TOTAL RES. STD. DIRECT PROVIDED = 74 SPACES	
RES. COMPACT PROVIDED P2 = 15 SPACES	
RES. COMPACT PROVIDED P1 = 13 SPACES	
TOTAL RES. COMPACT PROVIDED = 28 SPACES	
RES. GUEST (COMPACT DIRECT): P2 = 10 SPACES	
RES. GUEST (COMPACT DIRECT): P1 = 7 SPACES	
TOTAL RESIDENTIAL PROVIDED = 119 SPACES	
RESIDENTIAL H/C PARKING: 3 SPACES (P1)	
RESIDENTIAL H/C PARKING (GUEST): 1 SPACE (P1)	
RESIDENTIAL PARKING PROVIDED:	RES. STANDARD DIRECT PROVIDED P2 = 39 SPACES RES. STANDARD DIRECT PROVIDED P1 = 35 SPACES TOTAL RES. STD. DIRECT PROVIDED = 74 SPACES RES. COMPACT PROVIDED P2 = 15 SPACES RES. COMPACT PROVIDED P1 = 13 SPACES TOTAL RES. COMPACT PROVIDED = 28 SPACES RES. GUEST (COMPACT DIRECT): P2 = 10 SPACES RES. GUEST (COMPACT DIRECT): P1 = 7 SPACES TOTAL RESIDENTIAL PROVIDED = 119 SPACES
RETAIL PARKING REQUIRED:	RETAIL (4,250 SF) X (4 PER 1,000 SF) = 17 SPACES
RETAIL STANDARD PROVIDED L1 = 11 SPACES	
RETAIL COMPACT PROVIDED L1 = 6 SPACES	
TOTAL RETAIL SPACES PROVIDED = 17 SPACES	
RETAIL H/C PARKING L1: 1 SPACE	
TOTAL RETAIL PROVIDED = 17 SPACES	
TOTAL PARKING PROVIDED = 136 SPACES	
TOTAL RESIDENTIAL PROVIDED = 119 SPACES	
TOTAL RETAIL PROVIDED = 17 SPACES	
TOTAL PARKING PROVIDED = 136 SPACES	

DEFERRED SUBMITTALS :

1. MECHANICAL WORK
2. ELECTRICAL WORK
3. PLUMBING WORK
4. SPRINKLER SYSTEM
5. FIRE ALARM SYSTEM
6. SIGNS
7. GRADING WORK
8. SHORING WORK
9. DEMOLITION WORK



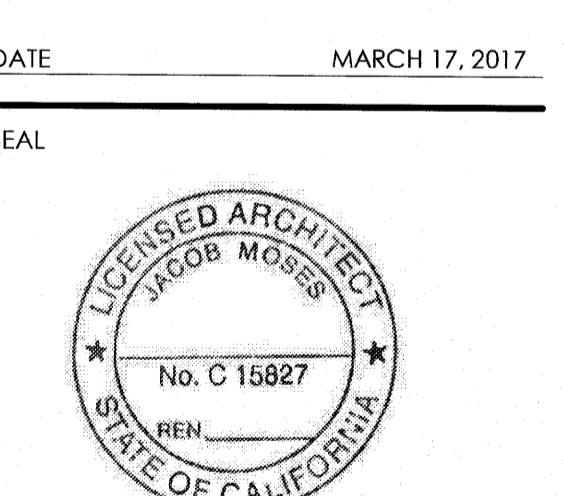
GMPA ARCHITECTS
11878 La Grange Avenue
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VALLEY VILLAGE MIXED USE DEVELOPMENT
12444 CHANDLER BLVD., LOS ANGELES CA 91607

DEVELOPED BY:
LI INVESTMENT PROPERTIES, LLC.
1180 S. BEVERLY DRIVE
LOS ANGELES, CA. 90035

PROJECT TEAM

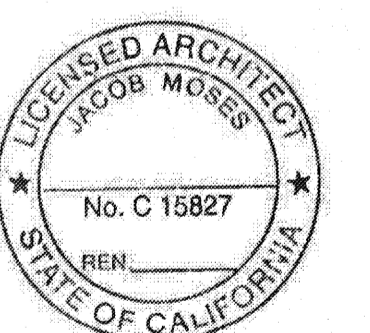
DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
06.27.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - BUILDING	
07.19.17	PLAN CHECK - A.D.A.	
07.31.17	PLAN CHECK - FIRE DEPT.	
08.07.17	PLAN CHECK - A.D.A.	
08.11.17	PLAN CHECK - PLANNING	
08.11.17	PLAN CHECK - GREEN	
08.22.17	PLAN CHECK - BUILDING/A.D.A.	
08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID-SET	



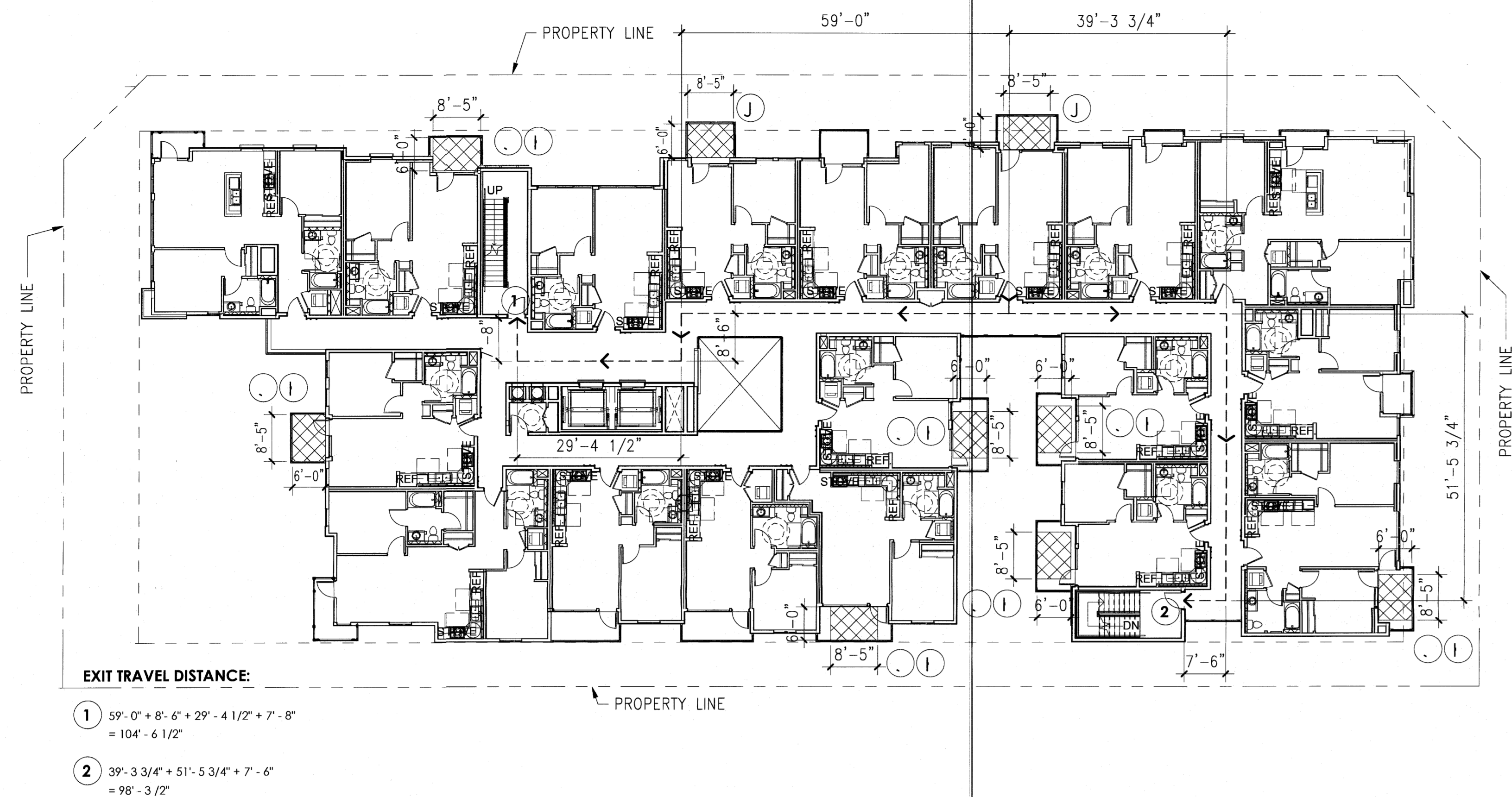
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JOB NO. 89715
SHEET TITLE
PROJECT SUMMARIES / CODE SUMMARIES / ETC.
STATUS PLAN CHECK
SHEET NO.

DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
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08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID SET	
11.06.17	PLAN CHECK - FIRE DEPT.	



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OPEN SPACE FOR 4TH/5TH FLR. - EXIT TRAVEL DISTANCE ANALYSIS (TYP. TO FLOORS 2ND TO 5TH) SCALE 1/16" = 1'-0" 4

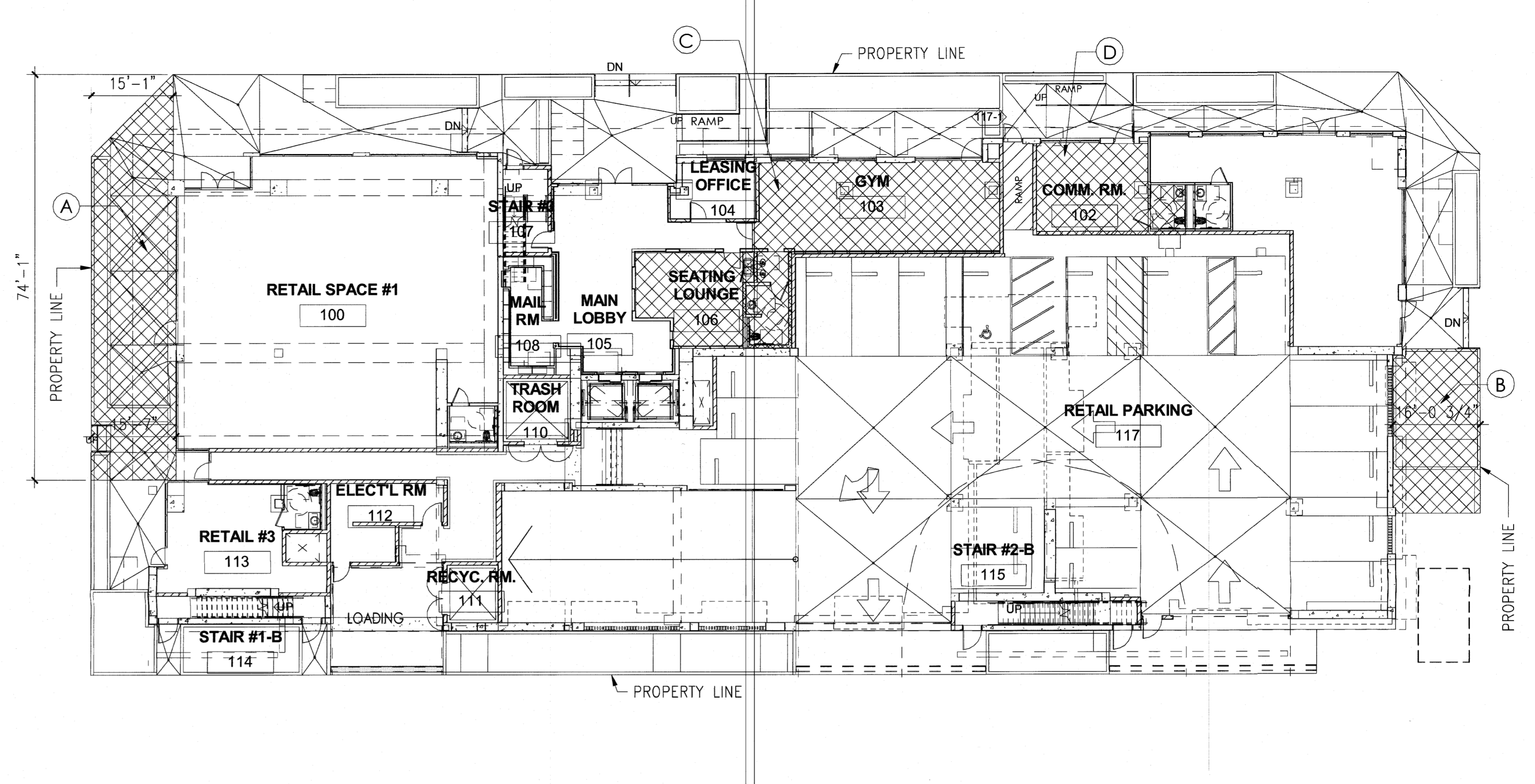
GROUND FLOOR LEVEL:		
OUTDOOR OPEN SPACE		
(A) ALONG WHITSET	1,021 SF.	1,499 SF.
(B) ALONG WILKINSON	478 SF.	
INDOOR OPEN SPACE		
(C) GYM / LOUNGE	1,300 SF.	1,690 SF.
(D) COMMUNITY ROOM	390 SF.	
SECOND FLOOR LEVEL:		
(E) NEAR ELEVATOR LOBBY	282 SF.	862 SF.
(F) PLANTER SPACE	280 SF.	
(G) PRIVATE OPEN SPACE 50 SF PER BALCONY	6 X 50 SF. = 300 SF.	
THIRD FLOOR LEVEL:		
(H) COMMON DECK AREA	1,712 SF.	2,112 SF.
(I) PRIVATE OPEN SPACE 50 SF PER BALCONY	8 X 50 SF. = 400 SF.	
FOURTH FLOOR LEVEL:		
(J) PRIVATE OPEN SPACE 50 SF PER BALCONY	9 X 50 SF. = 450 SF.	450 SF.
FIFTH FLOOR LEVEL:		
(K) PRIVATE OPEN SPACE 50 SF PER BALCONY	7 X 50 SF. = 350 SF.	350 SF.
TOTAL:		6,963 SF.

TABULATION FOR OPEN SPACE CALCULATIONS SCALE N/A

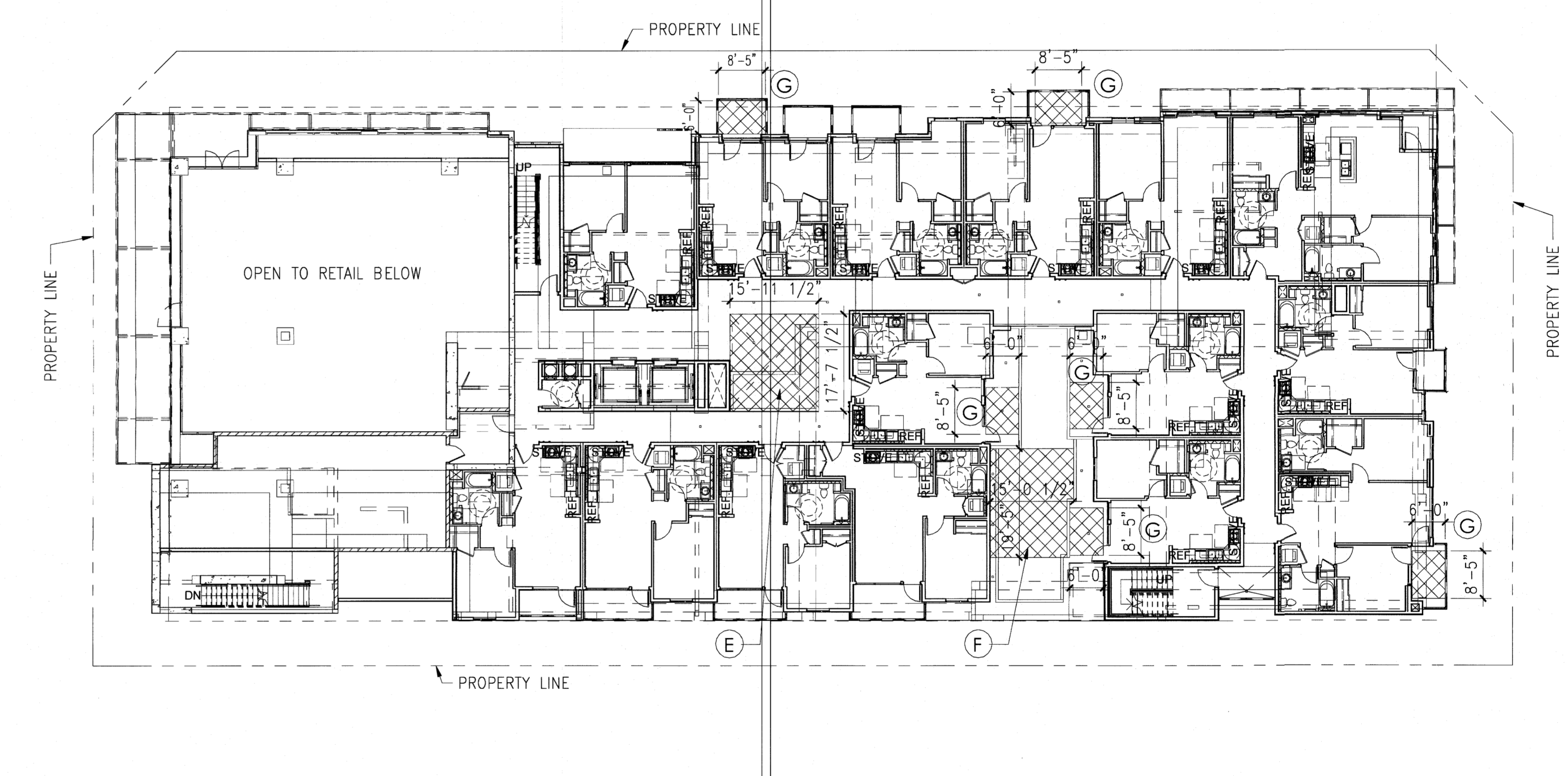
TYPE OF OCCUPANCY	AREA (TOTAL)	# OF OCCUPANTS
"S-2"	52,410 S.F.	
P-2 LEVEL	22,662 S.F.	114 OCC.
P-1 LEVEL	21,932 S.F.	110 OCC.
L-1 LEVEL	7,816 S.F.	39 OCC.
"M"	4,250 S.F.	
RETAIL #1	2,840 S.F.	95 OCC.
RETAIL #2	950 S.F.	32 OCC.
RETAIL #3	460 S.F.	16 OCC.
"B"	1,344 S.F.	
LOBBY	675 S.F.	14 OCC.
LEASING OFFICE	150 S.F.	
MAIL ROOM	207 S.F.	
SEATING / LOUNGE	312 S.F.	
"A-3"	1,117 S.F.	
COMMUNITY ROOM	395 S.F.	27 OCC.
GYM	722 S.F.	15 OCC.
"R-2"	56,890 S.F.	

PLANS APPROVED
City of Los Angeles
City Planning Department
Date: 2/6/18 By: [Signature]
CPC 20153338

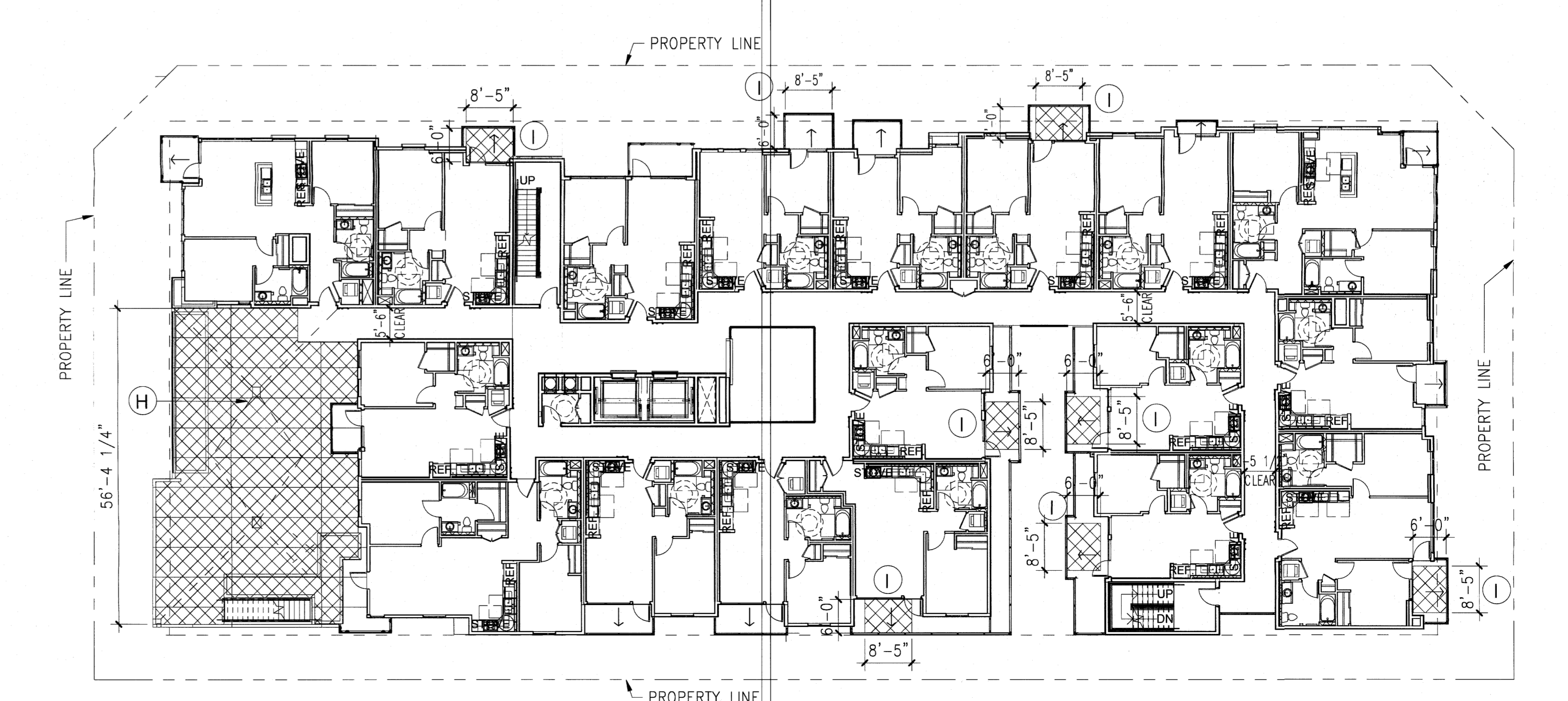
AREA TABULATION PER OCCUPANCY SCALE N/A



OPEN SPACE ANALYSIS - GROUND FLOOR PLAN SCALE 1/16" = 1'-0" 1



OPEN SPACE ANALYSIS - SECOND FLOOR PLAN SCALE 1/16" = 1'-0" 2



OPEN SPACE ANALYSIS - THIRD FLOOR PLAN SCALE 1/16" = 1'-0" 3



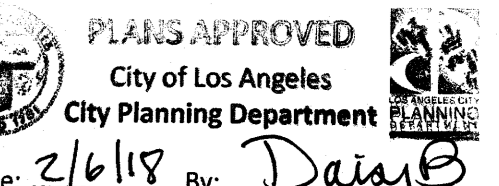
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VALLEY VILLAGE
MIXED USE
DEVELOPMENT

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DEVELOPED BY:
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LOS ANGELES, CA. 90035



PLANS APPROVED
City of Los Angeles
City Planning Department
Date: 2/19/15 By: [Signature]
CPC 20153338

PROJECT TEAM		
ISSUE DATES		
DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
06.27.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - BUILDING	
07.19.17	PLAN CHECK - BUILDING	
07.31.17	PLAN CHECK - FIRE DEPT.	
08.07.17	PLAN CHECK - A.D.A.	
08.11.17	PLAN CHECK - A.D.A.	
08.22.17	PLAN CHECK - BUILDING/A.D.A.	
08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID-SET	
11.06.17	PLAN CHECK - FIRE DEPT.	
DATE		
MARCH 17, 2017		
SCALE		
1/8" = 1'-0"		



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JOB NO. 89715

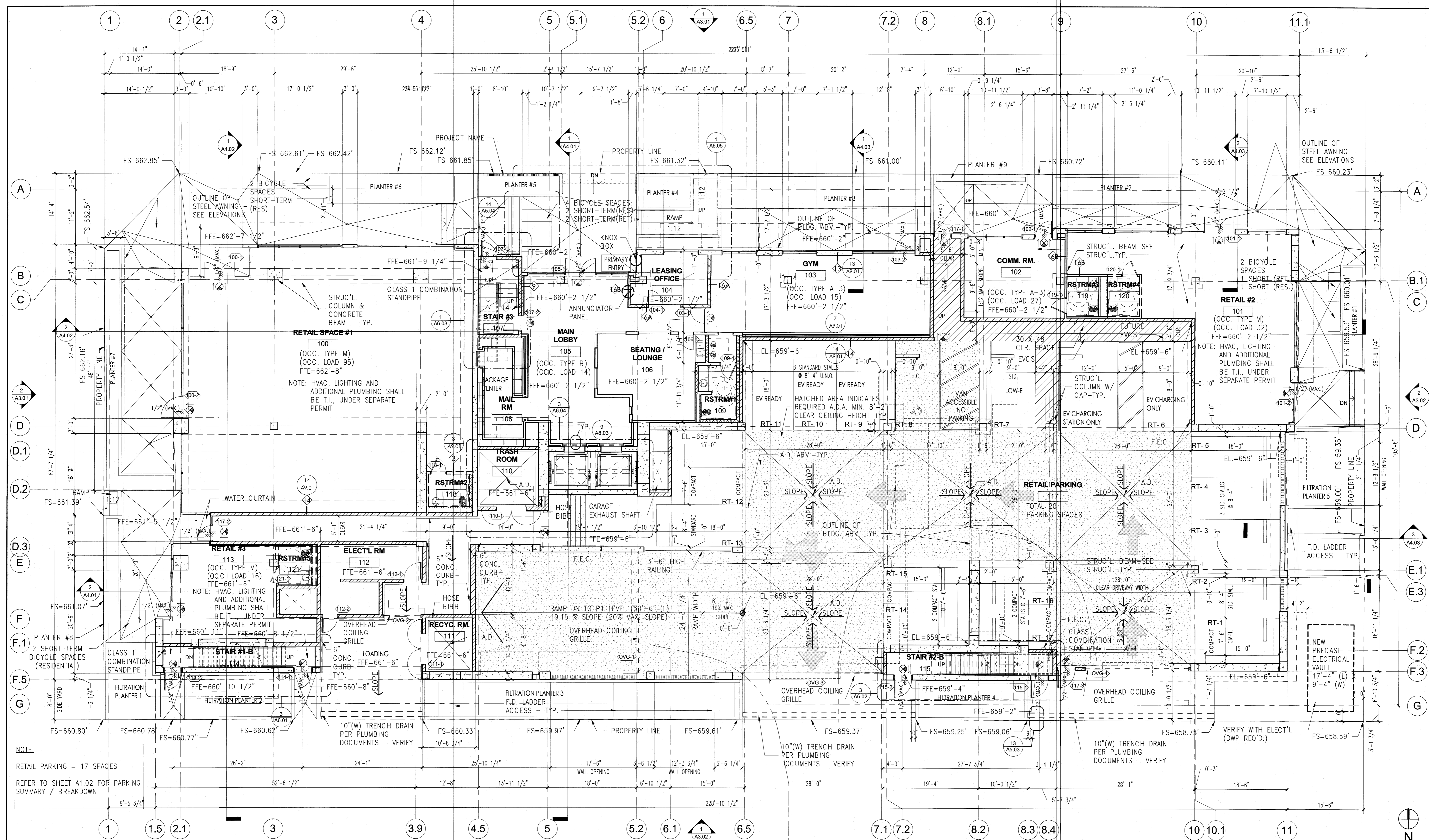
SHEET TITLE

GROUND FLOOR PLAN

STATUS PLAN CHECK

SHEET NO.

A2.04



GROUND FLOOR PLAN SCALE 1/8" = 1'-0"

- FOR INTERIOR & EXTERIOR WALL TYPES SEE SHEETS: A5.01 / A9.01
- HORIZONTAL DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS ARE TO HARD SURFACE FINISH FLOORING AND TOP OF CONCRETE WHERE NO FINISH FLOORING, CARPET OR RESILIENT FLOORING OCCUR.
- SEE STRUCTURAL DRAWINGS FOR:
 - SIZE AND LOCATIONS OF FRAMING AND PLYWOOD SHEATHING
 - SPECIAL NAILING AND BLOCKING REQUIREMENTS
 - HOLD DOWN NOTES AND SCHEDULES
- PROVIDE 5/8" GLASS MATT REINFORCED GYPSUM SHEATHING ON EXTERIOR WALLS AND INSIDES OF PARAPETS WHERE PLYWOOD SHEATHING DOES NOT OCCUR.
- PRIOR TO ORDERING OF DOOR FRAMES CONTRACTOR TO VERIFY LOCATIONS OF SHEAR WALLS, NUMBER OF LAYERS AND THICKNESS OF PLYWOOD, TOTAL THICKNESS OF WALLS AND COORDINATE DEPTHS OF DOOR FRAMES.
- IF PLYWOOD SHEAR WALL IS REQUIRED ON ONE SIDE OF A DOOR OR WINDOW OPENING, BUT NOT ON THE OTHER SIDE, FURR AS REQUIRED TO MAKE THE WALLS THE SAME THICKNESS ON BOTH SIDES OF THE OPENING.
- FOR RETURN AIR OPENINGS IN WALLS ABOVE CEILINGS SEE MECHANICAL DRAWINGS & CLNG. PLANS.
- LINE ALL WOOD STUD AND JOIST SPACES WHERE DUCTS OCCUR WITH 5/8" GYPSUM WALLBOARD.
- LINE ALL WOOD STUD WALLS AND OPENINGS IN WOOD STUD WALLS OCCURRING ABOVE SUSPENDED CEILINGS WITH 5/8" GYPSUM WALLBOARD.
- SOUND ISOLATE PIPES IN STUD PARTITIONS. DO NOT ALLOW PIPING TO TOUCH STUDS, GYPSUM WALLBOARD OR ELECTRICAL DEVICES, BOXES OR CONDUIT.
- IN KITCHENS, EXTEND FINISH FLOORING UNDER SINKS, DISHWASHERS AND REFRIGERATOR SPACE, INCLUDE UTILITY SPACE FOR WASHER / DRYER
- IN BATHROOMS, EXTEND FINISH FLOORING UNDER LAVATORIES
- INTERIORS OF KITCHEN AND UTILITY WALL CABINETS SHALL BE 12" CLEAR MINIMUM
- FOR ELECTRICAL OUTLETS IN SOUND INSULATED WALLS, SEE 5 & 6 / A9.02
- FOR FIRE EXTINGUISHER CABINETS, SEE 10 / A9.02
- FOR CLOSET SHELVES AND POLES, SEE 3 & 4 / A9.02
- COORDINATE LOCATIONS OF LAVATORIES AND SINKS WITH CABINET LAYOUT
- FOR PENETRATION FLASHING AT EXTERIOR WALL OPENINGS, SEE 2/A5.04
- FOR SUSPENDED GYPSUM WALLBOARD CEILINGS, SEE
- FOR ACCESS DOORS IN GYPSUM WALLBOARD CEILINGS, SEE
- FOR TYPICAL FLOOR ASSEMBLY, SEE 2/A9.02
- FOR FLOOR SOUND CONTROL UNDERLAYMENT, SEE
- FOR SOUND ATTENUATION OF HORIZONTAL PIPES PENETRATING GYPSUM WALLBOARD, SEE
- FOR DUCTS IN STUD WALL CAVITIES, SEE 9/A9.02
- PUBLIC TOILETS: SEE 6/A1.10
 - FOR DOOR SIGNS, SEE 7/A1.10
 - FOR LAVATORY CLEARANCES, SEE 6/A1.10
 - FOR FIXTURES AND ACCESSORIES MOUNTING HEIGHTS, SEE 6 & 7 / A1.10
- ELEVATORS:
 - FOR EMERGENCY SIGNS, SEE 2a/A1.10
 - FOR ELEVATOR CONTROL PANEL, SEE 2a/A1.10
 - FOR ELEVATOR LOBBY CALIFORNIA BUILDING CODE & ADA REQUIREMENTS, SEE A1.10 /
 - FOR LOBBY ELEVATOR SIGNS, SEE 2a/A1.10
- FOR LOBBY WARNING SIGNS, SEE 7/A1.10
- SEE PLUMBING DRAWINGS FOR STORM DRAIN AND OVERFLOW DRAIN INFORMATION.
- BASE CABINETS (INCLUDING TOEBOARD AND SHELVING) DIRECTLY UNDER KITCHEN SINKS AND WORK SPACES SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE. THE FINISH FLOOR BENEATH KITCHEN SINKS AND WORK SURFACES SHALL BE EXTENDED TO THE WALL (1133A.3).
- COMBUSTIBLE MATERIAL (WOOD) IN DUCTS AND RETURN AIR PLENUMS SHALL HAVE A FLAME SPREAD RATING < OR EQUAL 50
- CONTRACTOR TO PROVIDE WALL, FLOOR AND CEILING BACKING FOR ATTACHMENT OF RAILINGS, GRAB BARS, INCL. FLOOR MOUNTED OR FOLDING GRAB BARS, SHOWERS, TOILETS, SHOWER SEATS, TOWEL BARS, ROBE HOOKS, TOILET PAPER HOLDERS, EJECT, FIXT, CHANDELIERS, DRAPERY TRACKS & CABINETS. SEE 1 TO 6 / A9.03
- INSULATION:
 - EXTERIOR WALLS: R-19
 - ROOF: R-30
 - INTERIOR: 1/2" THINNER THAN STUD DEPTH
- ALL INTERIOR AND EXTERIOR ELEVATION CHANGES OF 12 INCHES OR MORE ALONG THE PATH OF TRAVEL SHALL BE MADE BY STEPS, STAIRS OR STAIRWAYS CONFORMING WITH THE REQUIREMENTS OF CODE SECTION 1013.3.3.3 OR RAMPS CONFORMING WITH CODE SECTION 1013.3.4
- SYMBOL DESIGNATES EXIT SIGNS
 - THE PATH OF EXIT TRAVEL TO AND WITHIN EXITS IN THE BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1013.6.2 THROUGH 1013.6.3 EXIT SIGNS SHALL BE VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS. NO POINT SHALL BE MORE THAN 100 FT. FROM NEAREST VISIBLE SIGN. ALSO PROVIDE FLOOR LEVEL EXIT SIGNS THAT CONFORM TO THE REQUIREMENTS OF 1013.8
 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE ILLUMINATING INTENSITY SHALL NOT BE LESS THAN 5 FT. CANDLES
 - THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR A GENERATOR AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE
 - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF FAILURE, ILLUMINATOR SHALL BE PROVIDED AUTOMATICALLY FROM AN EMERGENCY SYSTEM
- ONE HOUR CORRIDORS (INCLUDING THE SPACE ABOVE A DROPPED CEILING) SHALL NOT BE USED AS A RETURN AIR PLENUM FOR CIRCULATING AIR
- NO MECHANICAL DUCT PENETRATIONS ARE PERMITTED THROUGH EXIT ENCLOSURE WALLS OR CEILINGS PER CODE SECTION 1023.5
- SHRINKAGE FACTORS SHALL BE CONSIDERED IN THE DESIGN OF ROOF DRAINAGE SYSTEMS.
- HORIZONTAL LOAD BEARING WOOD FRAMING SHALL BE LUMBER CONTAINING A MAXIMUM 19% MOISTURE CONTENT THROUGHOUT AT THE TIME OF FABRICATION OR CONSTRUCTION. SEE STRUCTURAL DOCUMENTS FOR MORE TIMBER NOTES.
- SPRINKLER, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DETAILED TO ACCOMMODATE THE EFFECTS OF SHRINKAGE.
 - PIPING SHALL BE ATTACHED WITH NON-RIGID FLEXIBLE MOUNTINGS
 - SWING JOINTS SHALL BE PROVIDED ON BRANCHES CONNECTING TO RISERS
 - VENT PENETRATIONS THROUGH THE ROOF SHALL BE DESIGNED TO ACCOMMODATE SHRINKAGE WITHOUT COMPROMISING THE WATER TIGHTNESS OF THE INSTALLATION
 - A MEANS OF ADJUSTMENT TO RELIEVE STRESSES SHALL BE MADE 120 DAYS AFTER THE COMPLETION OF CONSTRUCTION
 - HOLES BORED IN THE STUD FOR PIPING SHALL BE SIZED TO ALLOW FOR ANTICIPATED SHRINKAGE AND THE PIPING SHALL BE INSTALLED AT THE BOTTOM OF THE HOLES. NOTED REGARDING THE CUTTING, NOTCHING AND BORING OF HOLES IN THE STUD SHALL BE IN CONFORMANCE WITH UNIFORM BUILDING CODE SECTIONS 2326.11.7, 11.9 & 11.10 VERIFY DISTANCE.
 - VERTICAL MECHANICAL DUCTS SHALL BE DESIGNED TO ACCOMMODATE THE ANTICIPATED SHRINKAGE
- THE MOISTURE CONTENT OF ALL WOOD FRAMING MEMBERS SHALL BE MEASURED PRIOR TO THE CONCRETE POUR OF ANY WOOD FRAME OR APPLICATION OF ANY FINISH MATERIALS AND SHALL NOT EXCEED 19%.
- REFER TO WATERPROOFING DOCUMENTS AND/OR DETAILS FOR ALL WATERPROOFING RELATED ITEMS.
- USE 2% SLOPE (TYPICAL) FOR BALCONY DECKS/PATIO U.N.O.
- MOCK-UPS SHALL BE PROVIDED FOR CRITICAL WATERPROOFING COMPONENTS SUCH AS WINDOWS, ETC. WATER TESTING BY A THIRD PARTY REPRESENTATIVE SHALL BE PERFORMED.
- OVERLAPPING OF RESILIENT CHANNELS IS NOT ALLOWED, TERMINATE CHANNELS 1/2" OR GREATER DISTANCE, PRIOR TO CONTACT WITH WALLS AND/OR CEILINGS.
- SEE SHEET A1.17 FOR EV CHARGING SPACES ELEC. REQUIREMENTS NOTES.
- DRAIN SLOPE AT 1/4" FT (TYP.) U.N.O.

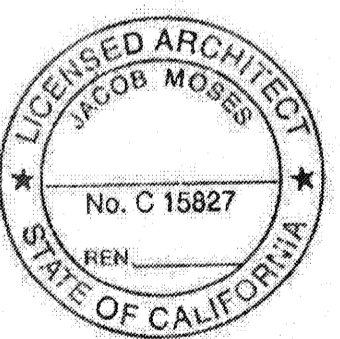
FLOOR PLAN NOTES SCALE N/A

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PROJECT TEAM

DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
06.27.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - BUILDING PLAN CHECK - A.D.A.	
07.19.17	PLAN CHECK - BUILDING	
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08.11.17	PLAN CHECK - PLANNING PLAN CHECK - GREEN	
08.22.17	PLAN CHECK - BUILDING/A.D.A. PLAN CHECK - GREEN	
08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID SET	

DATE	MARCH 17, 2017
SCALE	



The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or in part, is prohibited. Title to the plans and specifications remain in GMPA Architects, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie notice of these restrictions.

JOB NO. 89715

SHEET TITLE

FIFTH FLOOR PLAN

STATUS PLAN CHECK

SHEET NO.



FIFTH FLOOR PLAN SCALE 1/8" = 1'-0"

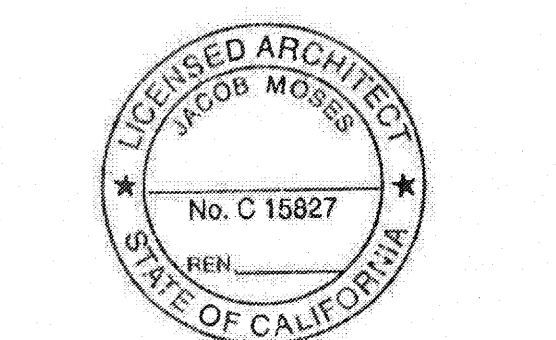
- FOR INTERIOR & EXTERIOR WALL TYPES SEE SHEETS: A5.01 / A9.01
- HORIZONTAL DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS ARE TO HARD SURFACE FINISH FLOORING AND TOP OF CONCRETE WHERE NO FINISH FLOORING, CARPET OR RESILIENT FLOORING OCCUR.
- SEE STRUCTURAL DRAWINGS FOR:
 - SIZE AND LOCATIONS OF FRAMING AND PLYWOOD SHEATHING
 - SPECIAL NAILING AND BLOCKING REQUIREMENTS
 - HOLD DOWN NOTES AND SCHEDULES
- PROVIDE 5/8" CLASS MATT REINFORCED GYPSUM SHEATHING ON EXTERIOR WALLS AND INSIDES OF PARAPETS WHERE PLYWOOD SHEATHING DOES NOT OCCUR.
- PRIOR TO ORDERING OF DOOR FRAMES CONTRACTOR TO VERIFY LOCATIONS OF SHEAR WALLS, NUMBER OF LAYERS AND THICKNESS OF PLYWOOD, TOTAL THICKNESS OF WALLS AND COORDINATE DEPTHS OF DOOR FRAMES.
- IF PLYWOOD SHEAR WALL IS REQUIRED ON ONE SIDE OF A DOOR OR WINDOW OPENING, BUT NOT ON THE OTHER SIDE, FURR AS REQUIRED TO MAKE THE WALLS THE SAME THICKNESS ON BOTH SIDES OF THE OPENING.
- FOR RETURN AIR OPENINGS IN WALLS ABOVE CEILINGS SEE MECHANICAL DRAWINGS & CLNG. PLANS.
- LINE ALL WOOD STUD AND JOIST SPACES WHERE DUCTS OCCUR WITH 5/8" GYPSUM WALLBOARD.
- LINE ALL WOOD STUD WALLS AND OPENINGS IN WOOD STUD WALLS OCCURRING ABOVE SUSPENDED CEILINGS WITH 5/8" GYPSUM WALLBOARD.
- SOUND ISOLATE PIPES IN STUD PARTITIONS. DO NOT ALLOW PIPING TO TOUCH STUDS, GYPSUM WALLBOARD OR ELECTRICAL DEVICES, BOXES OR CONDUIT.
- IN KITCHENS, EXTEND FINISH FLOORING UNDER SINKS, DISHWASHERS AND REFRIGERATOR SPACE, INCLUDE UTILITY SPACE FOR WASHER / DRYER
- IN BATHROOMS, EXTEND FINISH FLOORING UNDER LAVATORIES
- INTERIORS OF KITCHEN AND UTILITY WALL CABINETS SHALL BE 12" CLEAR MINIMUM
- FOR ELECTRICAL OUTLETS IN SOUND INSULATED WALLS, SEE 5 & 6 / A9.02
- FOR FIRE EXTINGUISHER CABINETS, SEE 10/ A9.02
- FOR CLOSET SHELVES AND POLES, SEE 3 & 4 / A9.02
- COORDINATE LOCATIONS OF LAVATORIES AND SINKS WITH CABINET LAYOUT
- FOR PENETRATION FLASHING AT EXTERIOR WALL OPENINGS, SEE 2/A5.04
- FOR SUSPENDED GYPSUM WALLBOARD CEILINGS, SEE
- FOR ACCESS DOORS IN GYPSUM WALLBOARD CEILINGS, SEE
- FOR TYPICAL FLOOR ASSEMBLY, SEE 7/A9.02
- FOR FLOOR SOUND CONTROL UNDERLAYMENT, SEE
- FOR SOUND ATTENUATION OF HORIZONTAL PIPES PENETRATING GYPSUM WALLBOARD, SEE
- FOR DUCTS IN STUD WALL CAVITIES, SEE 9/A9.02
- PUBLIC TOILETS: SEE 6/A1.10
 - FOR DOOR SIGNS, SEE 7/A1.10
 - FOR LAVATORY CLEARANCES, SEE 6/A1.10
 - FOR FIXTURES AND ACCESSORIES MOUNTING HEIGHTS, SEE 6 & 7 / A1.10
- ELEVATORS:
 - FOR EMERGENCY SIGNS, SEE 2a/A1.10
 - FOR ELEVATOR CONTROL PANEL, SEE 2a/A1.10
 - FOR ELEVATOR LOBBY CALIFORNIA BUILDING CODE & ADA REQUIREMENTS, SEE A1.10 / D.
 - FOR LOBBY ELEVATOR SIGNS, SEE 2a/A1.10
 - FOR LOBBY WARNING SIGNS, SEE 7/A1.10
- SEE PLUMBING DRAWINGS FOR STORM DRAIN AND OVERFLOW DRAIN INFORMATION.
- BASE CABINETS (INCLUDING TOEBOARD AND SHELVING) DIRECTLY UNDER KITCHEN SINKS AND WORK SPACES SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE. THE FINISH FLOOR BENEATH KITCHEN SINKS AND WORK SURFACES SHALL BE EXTENDED TO THE WALL (1133A.3).
- COMBUSTIBLE MATERIAL (WOOD) IN DUCTS AND RETURN AIR PLENUMS SHALL HAVE A FLAME SPREAD RATING 4 OR EQUAL 50
- CONTRACTOR TO PROVIDE WALL, FLOOR AND CEILING BACKING FOR ATTACHMENT OF RAILINGS, GRAB BARS, INCL. FLOOR MOUNTED OR FOLDING GRAB BARS, SHOWERS, TOILETS, SHOWER SEATS, TOWEL BARS, ROBE HOOKS, TOILET PAPER HOLDERS, EQUIPT, FIXT, CHANDELIERS, DRAPERY TRACKS & CABINETS. SEE 1 TO 6 / A9.03
- INSULATION:
 - EXTERIOR WALLS : R-19
 - ROOF : R-30
 - INTERIOR : 1/2" THINNER THAN STUD DEPTH
- ALL INTERIOR AND EXTERIOR ELEVATION CHANGES OF 12 INCHES OR MORE ALONG THE PATH OF TRAVEL SHALL BE MADE BY STEPS, STAIRS OR STAIRWAYS CONFORMING WITH THE REQUIREMENTS OF CODE SECTION 1013.3.3.3 OR RAMPS CONFORMING WITH CODE SECTION 1013.3.4
- SYMBOL DESIGNATES EXIT SIGNS
 - THE PATH OF EXIT TRAVEL TO AND WITHIN EXITS IN THE BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1013.6.2 THROUGH 1013.6.3 EXIT SIGNS SHALL BE VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS. NO POINT SHALL BE MORE THAN 100 FT. FROM NEAREST VISIBLE SIGN. ALSO PROVIDE FLOOR LEVEL EXIT SIGNS THAT CONFORM TO THE REQUIREMENTS OF 1013.8
 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE ILLUMINATING INTENSITY SHALL BE NOT LESS THAN 5 FT. CANDLES
 - THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR A GENERATOR AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE
 - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF FAILURE, ILLUMINATOR SHALL BE PROVIDED AUTOMATICALLY FROM AN EMERGENCY SYSTEM
- ONE HOUR CORRIDORS (INCLUDING THE SPACE ABOVE A DROPPED CEILING) SHALL NOT BE USED AS A RETURN AIR PLENUM FOR CIRCULATING AIR
- NO MECHANICAL DUCT PENETRATIONS ARE PERMITTED THROUGH EXIT ENCLOSURE WALLS OR CEILINGS PER CODE SECTION 1023.5
- SHRINKAGE FACTORS SHALL BE CONSIDERED IN THE DESIGN OF ROOF DRAINAGE SYSTEMS.
- HORIZONTAL LOAD BEARING WOOD FRAMING SHALL BE LUMBER CONTAINING A MAXIMUM 19% MOISTURE CONTENT THROUGHOUT AT THE TIME OF FABRICATION OR CONSTRUCTION. SEE STRUCTURAL DOCUMENTS FOR MORE TIMBER NOTES.
- SPRINKLER, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DETAILED TO ACCOMMODATE THE EFFECTS OF SHRINKAGE.
 - PIPING SHALL BE ATTACHED WITH NON-RIGID FLEXIBLE MOUNTINGS
 - SWING JOINTS SHALL BE PROVIDED ON BRANCHES CONNECTING TO RISERS
 - VENT PENETRATIONS THROUGH THE ROOF SHALL BE DESIGNED TO ACCOMMODATE SHRINKAGE WITHOUT COMPROMISING THE WATER TIGHTNESS OF THE INSTALLATION
 - A MEANS OF ADJUSTMENT TO RELIEVE STRESSES SHALL BE MADE 120 DAYS AFTER THE COMPLETION OF CONSTRUCTION
 - HOLES BORED IN THE STUD FOR PIPING SHALL BE SIZED TO ALLOW FOR ANTICIPATED SHRINKAGE AND THE PIPING SHALL BE INSTALLED AT THE BOTTOM OF THE HOLES. NOTED REGARDING THE CUTTING, NOTCHING AND BORING OF HOLES IN THE STUD SHALL BE IN CONFORMANCE WITH UNIFORM BUILDING CODE SECTIONS 2326.11.7, 11.9 & 11.10 VERIFY VERTICAL MECHANICAL DUCTS SHALL BE DESIGNED TO ACCOMMODATE THE ANTICIPATED SHRINKAGE
- THE MOISTURE CONTENT OF ALL WOOD FRAMING MEMBERS SHALL BE MEASURED PRIOR TO THE CONCEALMENT OF ANY WOOD FRAME OR APPLICATION OF ANY FINISH MATERIALS AND SHALL NOT EXCEED 19%
- REFER TO WATERPROOFING DOCUMENTS AND/OR DETAILS FOR ALL WATERPROOFING RELATED ITEMS.
- USE 2% SLOPE (TYPICAL) FOR BALCONY DECKS/PATIO U.N.O.
- MUCK-UPS SHALL BE PROVIDED FOR CRITICAL WATERPROOFING COMPONENTS SUCH AS WINDOWS, ETC. WATER TESTING BY A THIRD PARTY REPRESENTATIVE SHALL BE PERFORMED.
- OVERLAPPING OF RESILIENT CHANNELS IS NOT ALLOWED, TERMINATE CHANNELS 1/2" OR GREATER DISTANCE, PRIOR TO CONTACT WITH WALLS AND/OR CEILINGS.
- SEE SHEET A1.17 FOR EV CHARGING SPACES ELECT. REQUIREMENTS NOTES.
- DRAIN SLOPE AT 1/4"/FT (TYP.) U.N.O.

FLOOR PLAN NOTES SCALE N/A

PROJECT TEAM		
ISSUE DATES		
DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK - SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
06.27.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - BUILDING PLAN CHECK - A.D.A.	
07.19.17	PLAN CHECK - BUILDING	
07.31.17	PLAN CHECK - FIRE DEPT.	
08.07.17	PLAN CHECK - A.D.A.	
08.11.17	PLAN CHECK - PLANNING	
08.22.17	PLAN CHECK - BUILDING/A.D.A. PLAN CHECK - GREEN	
08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID-SET	

DATE: MARCH 17, 2017

SCALE



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JOB NO. 89715

SHEET TITLE

FOURTH FLOOR PLAN

STATUS PLAN CHECK

SHEET NO.



FOURTH FLOOR PLAN. SCALE 1/8" = 1'-0"

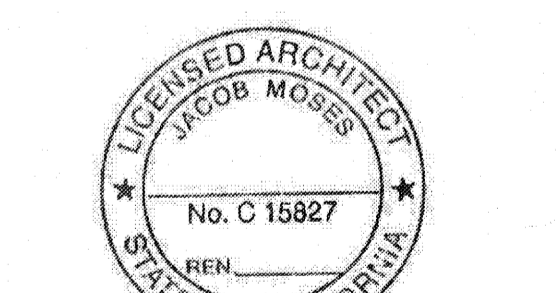
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- SEE STRUCTURAL DRAWINGS FOR:
 - SIZE AND LOCATIONS OF FRAMING AND PLYWOOD SHEATHING
 - SPECIAL NAILING AND BLOCKING REQUIREMENTS
 - HOLD DOWN NOTES AND SCHEDULES
- PROVIDE 5/8" GLASS MATT REINFORCED GYPSUM SHEATHING ON EXTERIOR WALLS AND INSIDES OF PARAPETS WHERE PLYWOOD SHEATHING DOES NOT OCCUR.
- PRIOR TO ORDERING OF DOOR FRAMES CONTRACTOR TO VERIFY LOCATIONS OF SHEAR WALLS, NUMBER OF LAYERS AND THICKNESS OF PLYWOOD, TOTAL THICKNESS OF WALLS AND COORDINATE DEPTHS OF DOOR FRAMES.
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- FOR RETURN AIR OPENINGS IN WALLS ABOVE CEILINGS SEE MECHANICAL DRAWINGS & CLING PLANS.
- LINE ALL WOOD STUD AND JOIST SPACES WHERE DUCTS OCCUR WITH 5/8" GYPSUM WALLBOARD.
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- SOUND ISOLATE PIPES IN STUD PARTITIONS. DO NOT ALLOW PIPING TO TOUCH STUDS, GYPSUM WALLBOARD OR ELECTRICAL DEVICES, BOXES OR CONDUIT.
- IN KITCHENS, EXTEND FINISH FLOORING UNDER SINKS, DISHWASHERS AND REFRIGERATOR SPACE, INCLUDE UTILITY SPACE FOR WASHER / DRYER
- IN BATHROOMS, EXTEND FINISH FLOORING UNDER LAVATORIES
- INTERIORS OF KITCHEN AND UTILITY WALL CABINETS SHALL BE 12" CLEAR MINIMUM
- FOR ELECTRICAL OUTLETS IN SOUND INSULATED WALLS, SEE 5 & 6 / A9.02
- FOR FIRE EXTINGUISHER CABINETS, SEE 10 / A9.02
- FOR CLOSET SHELVES AND POLES, SEE 3 & 4 / A9.02
- COORDINATE LOCATIONS OF LAVATORIES AND SINKS WITH CABINET LAYOUT
- FOR PENETRATION FLASHING AT EXTERIOR WALL OPENINGS, SEE 2/A5.04
- FOR SUSPENDED GYPSUM WALLBOARD CEILINGS, SEE
- FOR ACCESS DOORS IN GYPSUM WALLBOARD CEILINGS, SEE
- FOR TYPICAL FLOOR ASSEMBLY, SEE 2/A9.02
- FOR FLOOR SOUND CONTROL UNDERLAYMENT, SEE
- FOR SOUND ATTENUATION OF HORIZONTAL PIPES PENETRATING GYPSUM WALLBOARD, SEE
- FOR DUCTS IN STUD WALLS, SEE 9/A9.02
- PUBLIC TOILETS: SEE 6/A1.10
 - FOR DOOR SIGNS, SEE 7/A1.10
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 - FOR LOBBY ELEVATOR SIGNS, SEE 2a/A1.10
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- INSULATION :
 - EXTERIOR WALLS : R-19
 - ROOF : R-30
 - INTERIOR : 1/2" THINNER THAN STUD DEPTH
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 - THE PATH OF EXIT TRAVEL TO AND WITHIN EXITS IN THE BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1013.6.2 THROUGH 1013.6.3 EXIT SIGNS SHALL BE VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS. NO POINT SHALL BE MORE THAN 100 FT. FROM NEAREST VISIBLE SIGN. ALSO PROVIDE FLOOR LEVEL EXIT SIGNS THAT CONFORM TO THE REQUIREMENTS OF 1013.8
 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE ILLUMINATING INTENSITY SHALL BE NOT LESS THAN 5 FT. CANDLES
 - THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR A GENERATOR AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE
 - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF FAILURE, ILLUMINATOR SHALL BE PROVIDED AUTOMATICALLY FROM AN EMERGENCY SYSTEM
- ONE HOUR CORRIDORS (INCLUDING THE SPACE ABOVE A DROPPED CEILING) SHALL NOT BE USED AS A RETURN AIR PLENUM FOR CIRCULATING AIR
- NO MECHANICAL DUCT PENETRATIONS ARE PERMITTED THROUGH EXIT ENCLOSURE WALLS OR CEILINGS PER CODE SECTION 1023.5
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- SPRINKLER, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DETAILED TO ACCOMMODATE THE EFFECTS OF SHRINKAGE.
 - PIPING SHALL BE ATTACHED WITH NON-RIGID FLEXIBLE MOUNTINGS
 - SWING JOINTS SHALL BE PROVIDED ON BRANCHES CONNECTING TO RISERS
 - VENT PENETRATIONS THROUGH THE ROOF SHALL BE DESIGNED TO ACCOMMODATE SHRINKAGE WITHOUT COMPROMISING THE WATER TIGHTNESS OF THE INSTALLATION
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- THE MOISTURE CONTENT OF ALL WOOD FRAMING MEMBERS SHALL BE MEASURED PRIOR TO THE CONCEALMENT OF ANY WOOD FRAME OR APPLICATION OF ANY FINISH MATERIALS AND SHALL NOT EXCEED 19%.
- REFER TO WATERPROOFING DOCUMENTS AND/OR DETAILS FOR ALL WATERPROOFING RELATED ITEMS.
- USE 2% SLOPE (TYPICAL) FOR BALCONY DECKS/PATIO U.N.O.
- MOCK-UPS SHALL BE PROVIDED FOR CRITICAL WATERPROOFING COMPONENTS SUCH AS WINDOWS, ETC. WATER TESTING BY A THIRD PARTY REPRESENTATIVE SHALL BE PERFORMED.
- OVERLAPPING OF RESILIENT CHANNELS IS NOT ALLOWED, TERMINATE CHANNELS 1/2" OR GREATER DISTANCE, PRIOR TO CONTACT WITH WALLS AND/OR CEILINGS.
- SEE SHEET A1.17 FOR EV CHARGING SPACES ELEC. REQUIREMENTS NOTES.
- DRAIN SLOPE AT 1/4"/FT (TYP.) U.N.O.

FLOOR PLAN NOTES SCALE N/A

PROJECT TEAM		
ISSUE DATES		
DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK - SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
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08.07.17	PLAN CHECK - A.D.A.	
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10.20.17	PRELIMINARY BID-SET	

DATE: MARCH 17, 2017

SCALE: 1/8" = 1'-0"



JOB NO. 89715

SHEET TITLE

THIRD FLOOR PLAN

STATUS: PLAN CHECK

SHEET NO.



THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"

- FOR INTERIOR & EXTERIOR WALL TYPES SEE SHEETS: A5.01 / A9.01
- HORIZONTAL DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS ARE TO HARD SURFACE FINISH FLOORING AND TOP OF CONCRETE WHERE NO FINISH FLOORING, CARPET OR RESILIENT FLOORING OCCUR.
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- FOR RETURN AIR OPENINGS IN WALLS ABOVE CEILINGS SEE MECHANICAL DRAWINGS & CLNG. PLANS.
- LINE ALL WOOD STUD AND JOIST SPACES WHERE DUCTS OCCUR WITH 5/8" GYPSUM WALLBOARD.
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- SOUND ISOLATE PIPES IN STUD PARTITIONS. DO NOT ALLOW PIPING TO TOUCH STUDS, GYPSUM WALLBOARD OR ELECTRICAL DEVICES, BOXES OR CONDUIT.
- IN KITCHENS, EXTEND FINISH FLOORING UNDER SINKS, DISHWASHERS AND REFRIGERATOR SPACE, INCLUDE UTILITY SPACE FOR WASHER / DRYER
- IN BATHROOMS, EXTEND FINISH FLOORING UNDER LAVATORIES
- INTERIORS OF KITCHEN AND UTILITY WALL CABINETS SHALL BE 12" CLEAR MINIMUM
- FOR ELECTRICAL OUTLETS IN SOUND INSULATED WALLS, SEE 5 & 6 / A9.02
- FOR FIRE EXTINGUISHER CABINETS, SEE 10/ A9.02
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 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE ILLUMINATING INTENSITY SHALL BE NOT LESS THAN 5 FT. CANDLES
 - THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR A GENERATOR AND SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE
 - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF FAILURE, ILLUMINATOR SHALL BE PROVIDED AUTOMATICALLY FROM AN EMERGENCY SYSTEM
- ONE HOUR CORRIDORS (INCLUDING THE SPACE ABOVE A DROPPED CEILING) SHALL NOT BE USED AS A RETURN AIR PLENUM FOR CIRCULATING AIR
- NO MECHANICAL DUCT PENETRATIONS ARE PERMITTED THROUGH EXIT ENCLOSURE WALLS OR CEILINGS PER CODE SECTION 1023.5
- SHRINKAGE FACTORS SHALL BE CONSIDERED IN THE DESIGN OF ROOF DRAINAGE SYSTEMS.
- HORIZONTAL LOAD BEARING WOOD FRAMING SHALL BE LUMBER CONTAINING A MAXIMUM 19% MOISTURE CONTENT THROUGHOUT AT THE TIME OF FABRICATION OR CONSTRUCTION. SEE STRUCTURAL DOCUMENTS FOR MORE TIMBER NOTES.
- SPRINKLER, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DETAILED TO ACCOMMODATE THE EFFECTS OF SHRINKAGE.
 - PIPING SHALL BE ATTACHED WITH NON-RIGID FLEXIBLE MOUNTINGS
 - SWING JOINTS SHALL BE PROVIDED ON BRANCHES CONNECTING TO RISERS
 - VENT PENETRATIONS THROUGH THE ROOF SHALL BE DESIGNED TO ACCOMMODATE SHRINKAGE WITHOUT COMPROMISING THE WATER TIGHTNESS OF THE INSTALLATION
 - A MEANS OF ADJUSTMENT TO RELIEVE STRESSES SHALL BE MADE 120 DAYS AFTER THE COMPLETION OF CONSTRUCTION
 - HOLES BORED IN THE STUD FOR PIPING SHALL BE SIZED TO ALLOW FOR ANTICIPATED SHRINKAGE AND THE PIPING SHALL BE INSTALLED AT THE BOTTOM OF THE HOLES. NOTED REGARDING THE CUTTING, NOTCHING AND BORING OF HOLES IN THE STUD SHALL BE IN CONFORMANCE WITH UNIFORM BUILDING CODE SECTIONS 2326.11.7, 11.9 & 11.10 VERIFY
 - VERTICAL MECHANICAL DUCTS SHALL BE DESIGNED TO ACCOMMODATE THE ANTICIPATED SHRINKAGE
- THE MOISTURE CONTENT OF ALL WOOD FRAMING MEMBERS SHALL BE MEASURED PRIOR TO THE CONCEALMENT OF ANY WOOD FRAME OR APPLICATION OF ANY FINISH MATERIALS AND SHALL NOT EXCEED 19%.
- REFER TO WATERPROOFING DOCUMENTS AND/OR DETAILS FOR ALL WATERPROOFING RELATED ITEMS.
- USE 2% SLOPE (TYPICAL) FOR BALCONY DECKS/PATIO U.N.O.
- MOCK-UPS SHALL BE PROVIDED FOR CRITICAL WATERPROOFING COMPONENTS SUCH AS WINDOWS, ETC. WATER TESTING BY A THIRD PARTY REPRESENTATIVE SHALL BE PERFORMED.
- OVERLAPPING OF RESILIENT CHANNELS IS NOT ALLOWED, TERMINATE CHANNELS 1/2" OR GREATER DISTANCE, PRIOR TO CONTACT WITH WALLS AND/OR CEILINGS.
- SEE SHEET A1.17 FOR EV CHARGING SPACES ELEC. REQUIREMENTS NOTES.
- DRAIN SLOPE AT 1/4"/FT (TYP.) U.N.O.

FLOOR PLAN NOTES SCALE: N/A

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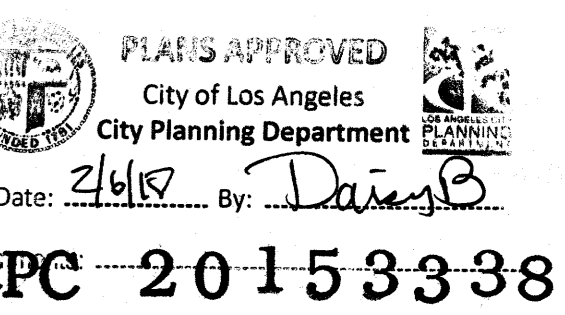
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VALLEY VILLAGE
MIXED USE
DEVELOPMENT

12444 CHANDLER BLVD., LOS ANGELES CA 91607

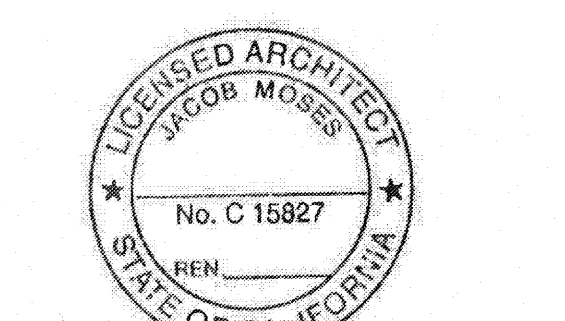
DEVELOPED BY:
LI INVESTMENT PROPERTIES, LLC.
1180 S. BEVERLY DRIVE
LOS ANGELES, CA. 90035



CPC 20153338

PROJECT TEAM and ISSUE DATES table with columns for DATE, DESCRIPTION, and NO.

DATE MARCH 17, 2017



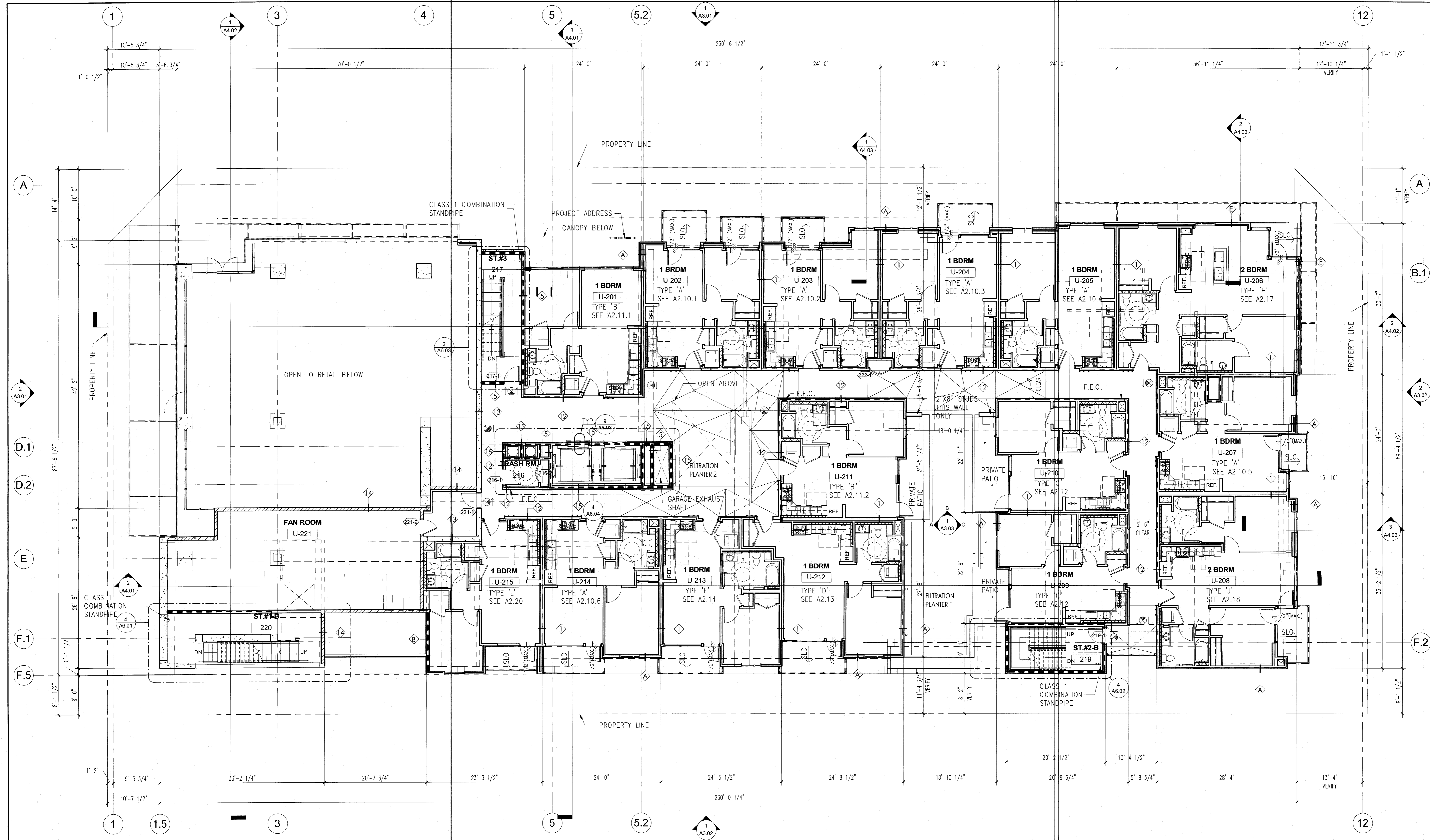
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JOB NO. 89715

SECOND FLOOR PLAN

STATUS PLAN CHECK SHEET NO.

A2.05



SECOND FLOOR PLAN SCALE 1/8" = 1'-0"

- 1. FOR INTERIOR & EXTERIOR WALL TYPES SEE SHEETS: A5.01 / A9.01
2. HORIZONTAL DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. VERTICAL DIMENSIONS ARE TO HARD SURFACE FINISH FLOORING AND TOP OF CONCRETE WHERE NO FINISH FLOORING, CARPET OR RESILIENT FLOORING OCCUR.

- 16. FOR CLOSET SHELVES AND POLES, SEE 3 & 4 / A9.02
17. COORDINATE LOCATIONS OF LAVATORIES AND SINKS WITH CABINET LAYOUT
18. FOR PENETRATION FLASHING AT EXTERIOR WALL OPENINGS, SEE 2/A5.04

- 31. CONTRACTOR TO PROVIDE WALL, FLOOR AND CEILING BACKING FOR ATTACHMENT OF RAILINGS, GRAB BARS, INCL. FLOOR MOUNTED OR FOLDING GRAB BARS, SHOWERS, TOILETS, SHOWER SEATS, TOWEL BARS, ROBE HOOKS, TOILET PAPER HOLDERS, EQUIPT, FIXT, CHANDELIERS, DRAPERY TRACKS & CABINETS. SEE 1 TO 6 / A9.03

- 37. SHRINKAGE FACTORS SHALL BE CONSIDERED IN THE DESIGN OF ROOF DRAINAGE SYSTEMS.
38. HORIZONTAL LOAD BEARING WOOD FRAMING SHALL BE LUMBER CONTAINING A MAXIMUM 19% MOISTURE CONTENT THROUGHOUT AT THE TIME OF FABRICATION OR CONSTRUCTION.

FLOOR PLAN NOTES SCALE N/A

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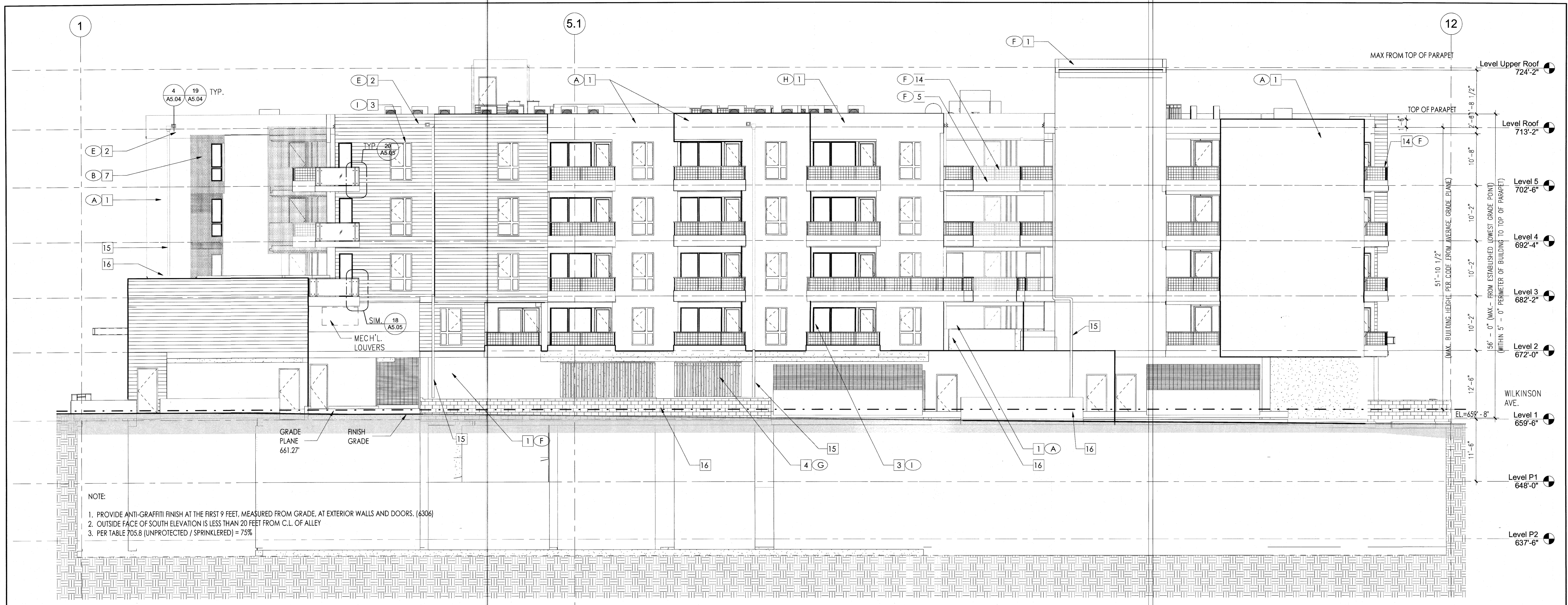
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**VALLEY VILLAGE
MIXED USE
DEVELOPMENT**

12444 CHANDLER BLVD., LOS ANGELES CA 91607

DEVELOPED BY:
LI INVESTMENT PROPERTIES, LLC.
1180 S. BEVERLY DRIVE
LOS ANGELES, CA. 90035



EXTERIOR BUILDING ELEVATION - ALONG 20' ALLEY (SOUTH)

SCALE 1/8" = 1'-0" 1

ELEVATION KEYNOTES

MATERIALS	COLORS
1 EXTERIOR PLASTER	A WHITE
2 PANEL	B ORANGE
3 ALUMINIUM FRAME WINDOW/DOOR	C ORANGE YELLOW
4 ALUMINIUM FIN	D ORANGE ACCENT
5 BALCONY	E LIGHT BLUE GRAY
6 BALCONY RAIL	F MEDIUM GRAY
7 METAL EGG CRATE	G DARK GRAY
8 STEEL AWNING	H YELLOW GREEN
9 SUN CONTROL FIN	I ALUMINUM
10 MULTI PANE GLASS	J CLEAR GLASS
11 STEEL 'C' CHANNEL	K MATCH FIELD COLOR
12 STOREFRONT WINDOW SYSTEM	
13 BOARD FORM CONCRETE	
14 METAL PANEL RAILING	
15 DOWNSPOUT (TO FLOW THROUGH PLANTER)	
16 FLOW THROUGH PLANTER (SEE CIVIL & PLUMB. FOR MORE INFO.)	



EXTERIOR BUILDING ELEVATION - ALONG WILKINSON AVE. (EAST)

SCALE 1/8" = 1'-0" 2

PROJECT TEAM

DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
06.27.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - A.D.A.	
07.19.17	PLAN CHECK - BUILDING	
07.31.17	PLAN CHECK - FIRE DEPT.	
08.07.17	PLAN CHECK - A.D.A.	
08.11.17	PLAN CHECK - PLANNING	
08.22.17	PLAN CHECK - GREEN	
08.22.17	PLAN CHECK - BUILDING/A.D.A.	
08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID-SET	

DATE MARCH 17, 2017

SEAL



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JOB NO. 89715

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS - SOUTH/EAST

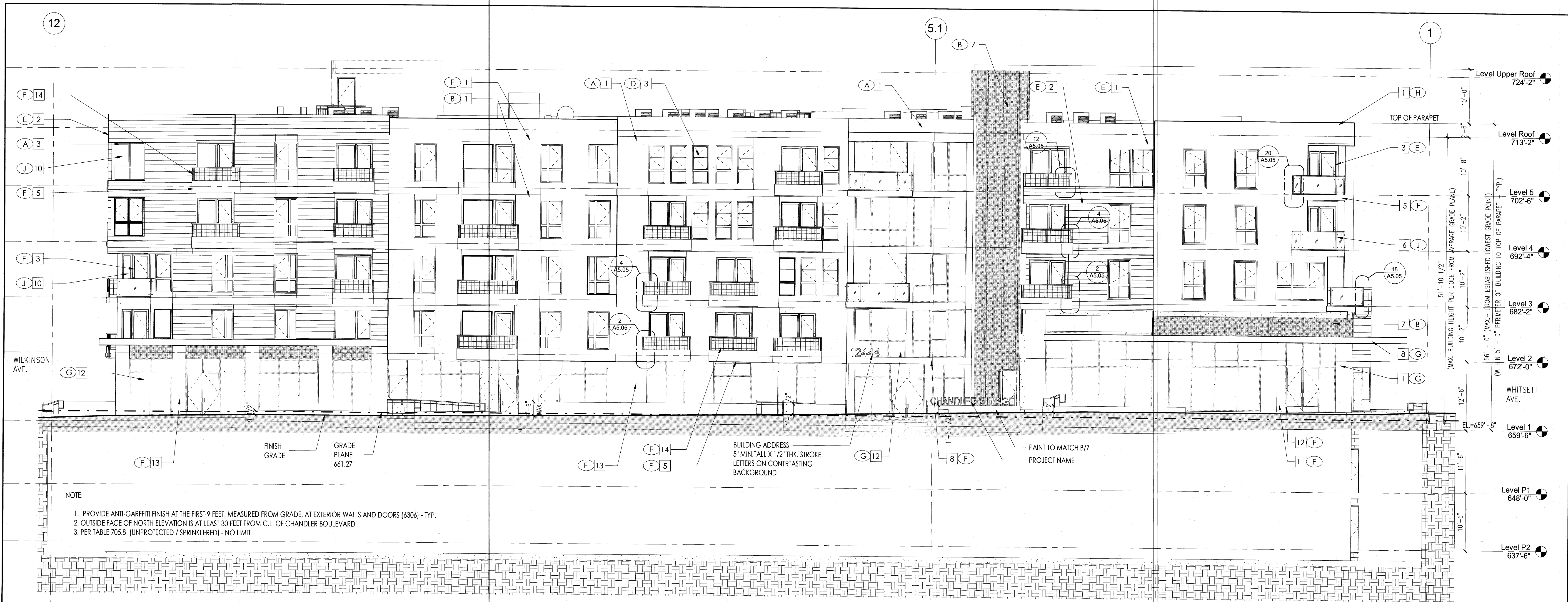
STATUS PLAN CHECK

SHEET NO.

A3.02

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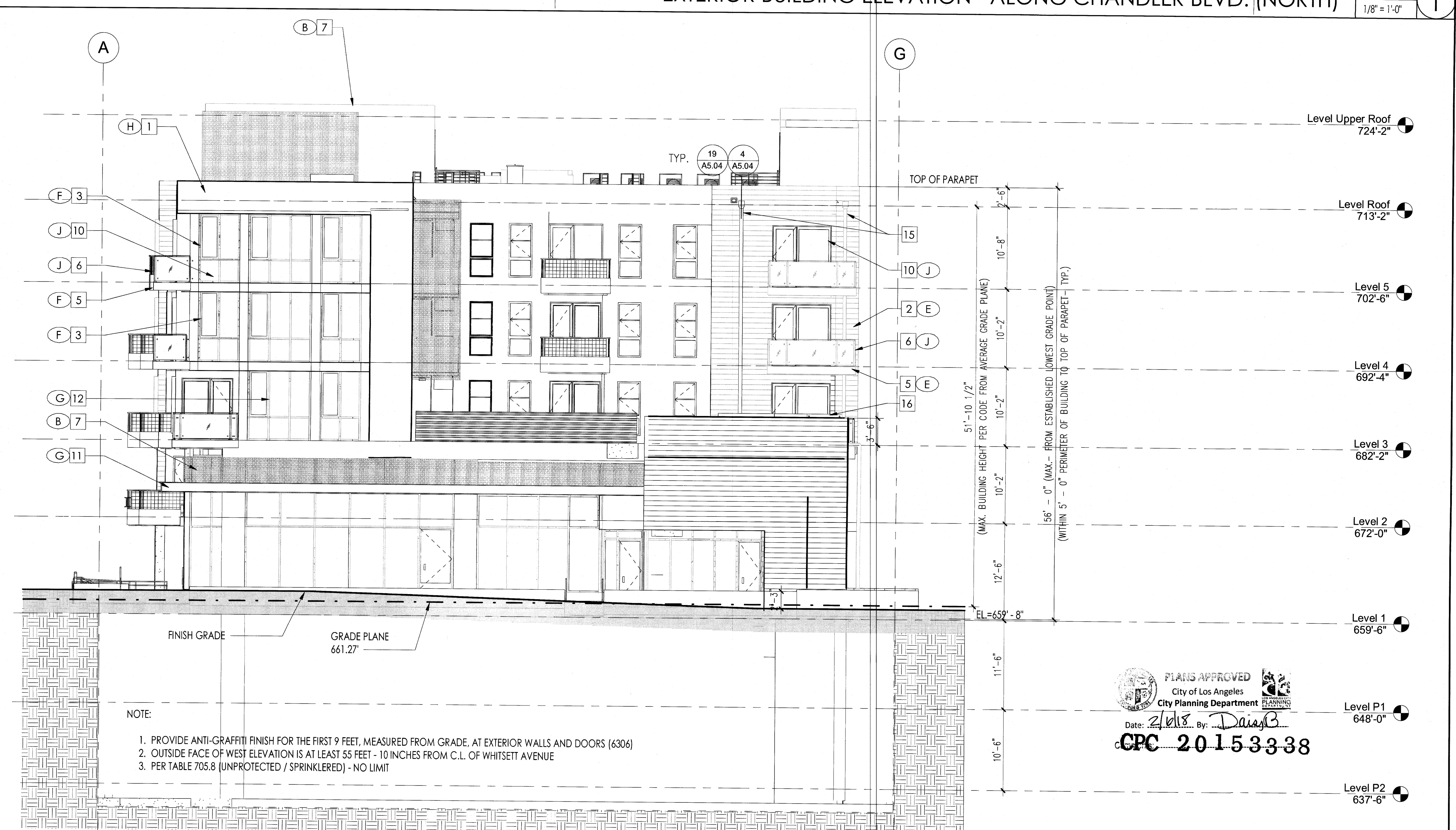




EXTERIOR BUILDING ELEVATION - ALONG CHANDLER BLVD. (NORTH) SCALE 1/8" = 1'-0" 1

ELEVATION KEYNOTES

MATERIALS	COLORS
1 EXTERIOR PLASTER	(A) WHITE
2 PANEL	(B) ORANGE
3 ALUMINIUM FRAME WINDOW/DOOR	(C) ORANGE YELLOW
4 ALUMINUM FIN	(D) ORANGE ACCENT
5 BALCONY	(E) LIGHT BLUE GRAY
6 BALCONY RAIL	(F) MEDIUM GRAY
7 METAL EGG CRATE	(G) DARK GRAY
8 STEEL AWNING	(H) YELLOW GREEN
9 SUN CONTROL FIN	(I) ALUMINUM
10 MULTI PANE GLASS	(J) CLEAR GLASS
11 STEEL 'C' CHANNEL	(K) MATCH FIELD COLOR
12 STOREFRONT WINDOW SYSTEM	
13 BOARD FORM CONCRETE	
14 METAL PANEL RAILING	
15 DOWNSPOUT (TO FLOW THROUGH PLANTER)	
16 FLOW THROUGH PLANTER (SEE CIVIL & PLUMB. FOR MORE INFO.)	



EXTERIOR BUILDING ELEVATION - ALONG WHITSETT AVE. (WEST) SCALE 1/8" = 1'-0" 2

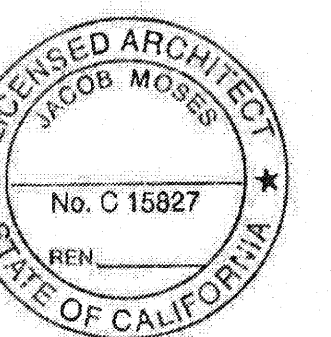
PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.
03.17.17	PLAN CHECK SUBMITTAL	1
06.23.17	PLAN CHECK - GREEN	
06.27.17	PLAN CHECK - BUILDING	
07.12.17	PLAN CHECK - BUILDING	
07.19.17	PLAN CHECK - BUILDING	
07.31.17	PLAN CHECK - FIRE DEPT.	
08.07.17	PLAN CHECK - A.D.A.	
08.11.17	PLAN CHECK - PLANNING	
08.22.17	PLAN CHECK - GREEN	
08.22.17	PLAN CHECK - BUILDING/A.D.A.	
08.24.17	PLAN CHECK - A.D.A.	
10.20.17	PRELIMINARY BID-SET	

DATE MARCH 17, 2017

SEAL



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JOB NO. 89715

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS - NORTH/WEST

STATUS PLAN CHECK

SHEET NO.



DEPARTMENT OF
CITY PLANNING
COMMISSION OFFICE
(213) 978-1300

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Filing Notification and Distribution Form
Updated Revised Map and Redistribution

Tentative Tract Map No. VTT-83014-CN
Property Address: 12444 W. Chandler Blvd.
Community Plan: North Hollywood – Valley Village

Filing Date: 11/13/2020
Deemed Complete Date:
Re-Distribution Date: 03/25/2021

- COUNCIL DISTRICT NO. 3
- Bureau of Engineering
- Dept. of Building and Safety – Grading
- Dept. of Building and Safety – Zoning
- Dept. of Transportation, CWPC Section
- DWP Real Estate
- DWP Water Engineering & Distribution
- Dept. of Fire, Engineering and Hydrant Unit
- Bureau of Street Lighting
- Animal Regulation (hillside or grading)

Hillside Yes No

MODIFICATION/REVISION REQUEST

Thomas Guide: 562 – GRID F2
D.M.: 171-B-165

- Housing Department (no P.S.)
- Community Plan Revision Division
- Department of Recreation and Parks
- Bureau of Sanitation
- Urban Forestry Division
- GIS
- Board Of Education (no P.S.)
- County Health Department (no P.S.)

DATE DUE: UPON RECEIPT

Please send your reports to the following **NEW** e-mail address: planning.valleysubdivisions@lacity.org. Thank you.

Pursuant to the Los Angeles Municipal Code, the attached tentative tract map is submitted for your consideration. The Advisory Agency will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

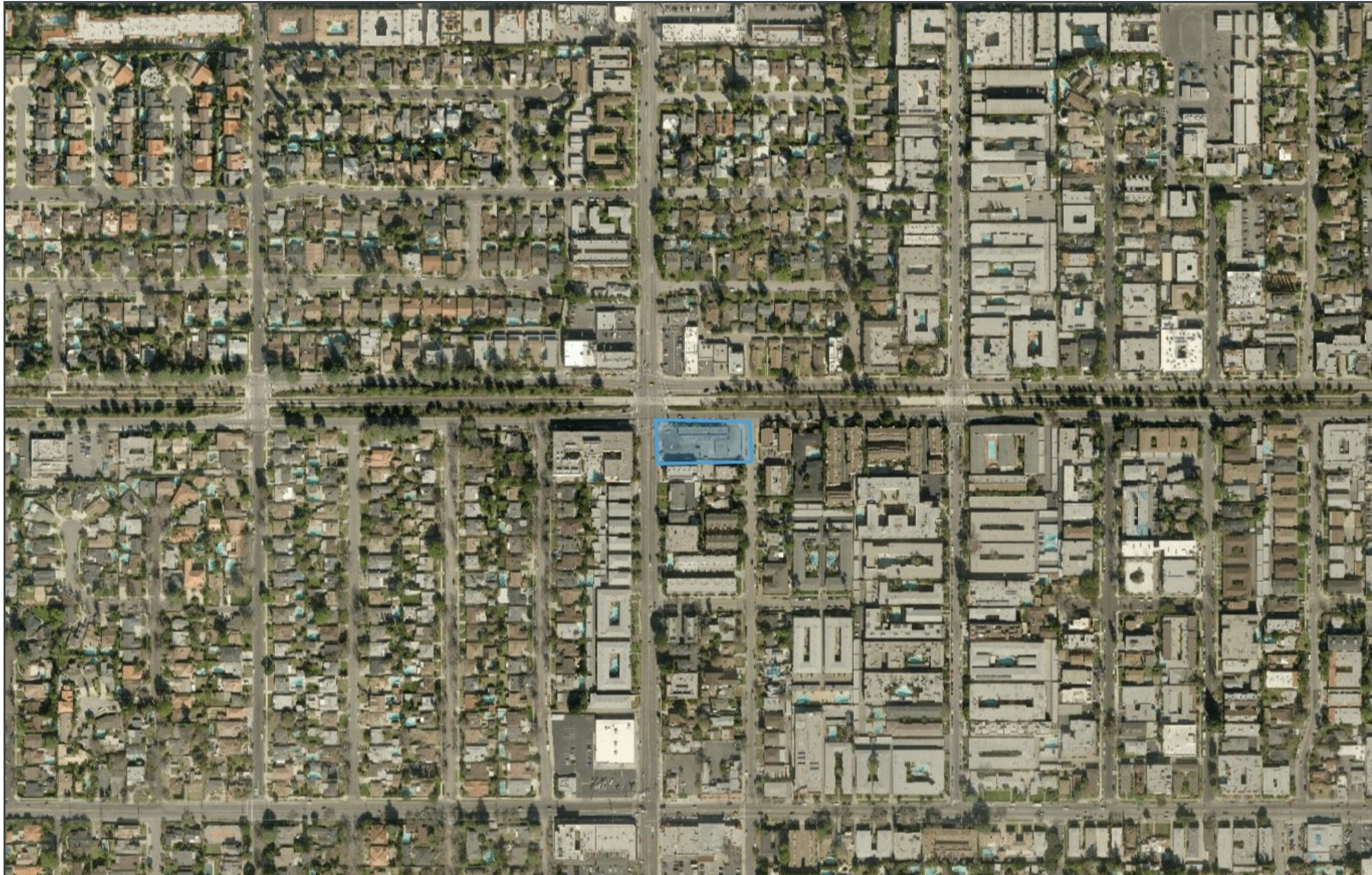
Miguel Hernandez
Senior Administrative Clerk



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM



Aerial View of the Project Site



LEGEND

- City Limits

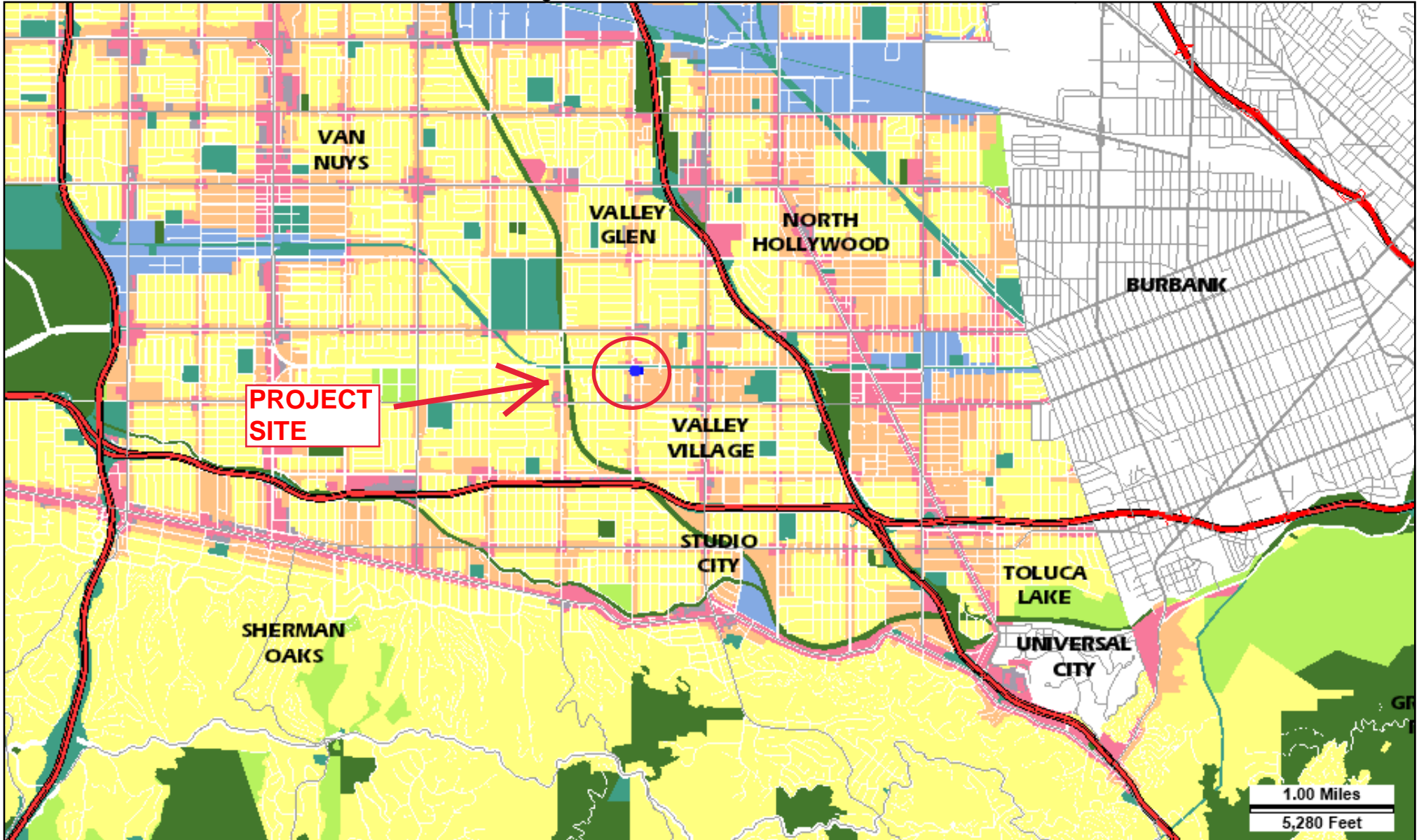
NOTES

0 0 Miles 0 0

SCALE 1: 4,514

Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

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Printed: 05/25/2021



Address: 12462 W CHANDLER BLVD

APN: 2347031029

PIN #: 171B165 151

Tract: TR 8304

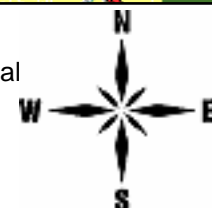
Block: None

Lot: FR 1

Arb: None

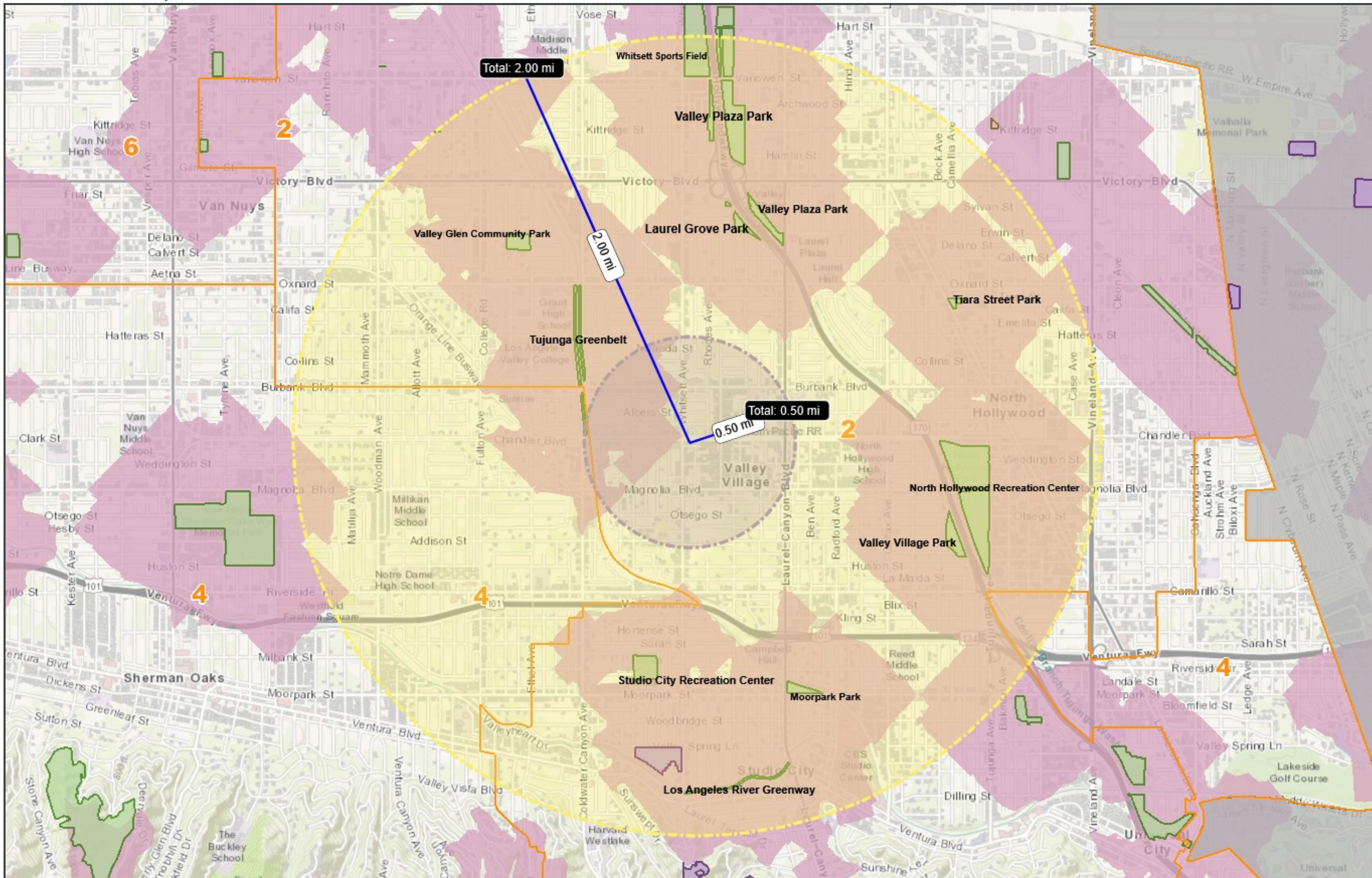
Zoning: [Q]C2-1VL

General Plan: Neighborhood Office Commercial





Project Site and Surrounding Parks



LEGEND

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- Future Parks
- City Limits
- All Improved Service Areas

NOTES



SCALE 1: 36,112

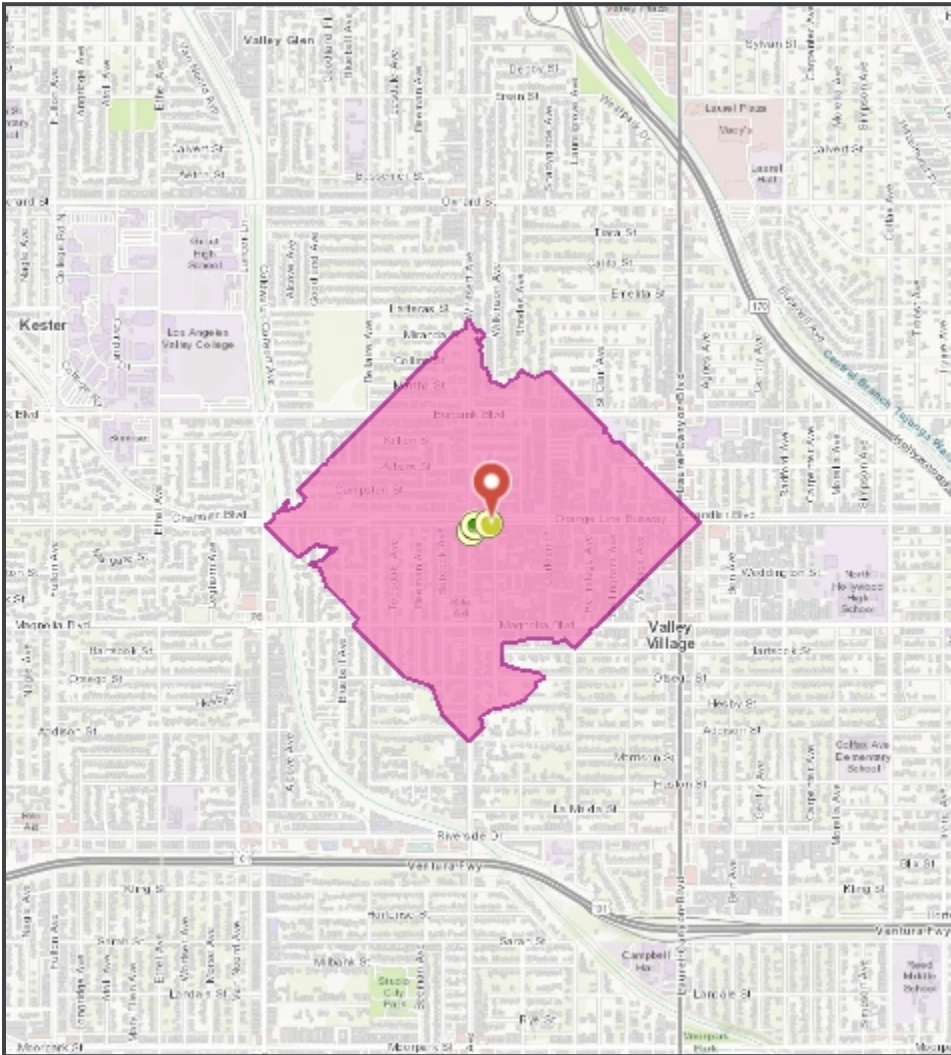
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Printed: 03/05/2021



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

Park Analysis Report



Scenario Information

Scenario Name:

VTT-83014

Description:

Formerly AA-2020-461-PMLA.
Mixed-used development with 69
residential condo units and ground floor
commercial space

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset*:

All Parks (RAP and Non-RAP)

*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

Population and Age Breakdown

Household and Income Breakdown

	Total Residents Served:	Currently Non-Served Residents Served:
Residents Served:	8,220	6,515

	Total Households Served:	Currently Non-Served Households Served:
Households Served:	3,681	3,040

Residents Served by Age

Under Age 5:	469	336
Age 5 to 9:	390	262
Age 10 to 14:	392	282
Age 15 to 17:	229	166
Age 18 to 64:	5,749	4,720
Age 65 and Over:	991	749

Households Served by Annual Income

Under \$25,000:	877	740
\$25,000 to \$34,999:	373	328
\$35,000 to \$49,999:	506	413
\$50,000 to \$74,999:	661	590
\$75,000 and Over:	1,264	969

Source: Census/ACS 2010