

APPROVED

DEC16 2021

BOARD OF RECREATION AND PARK COMMISSIONERS

BOARD REPORT

NO. 21-205

DATE December 16, 2021

C.D. 4

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: VESTING TENTATIVE TRACT (VTT) NO. 73895 – RECOMMENDATION TO THE ADVISORY AGENCY FOR LAND DEDICATION OR IN-LIEU PARK FEE PAYMENT

AP Diaz	_____	for	M. Rudnick	_____
H. Fujita	_____		*C. Santo Domingo	<u>DF</u>
J. Kim	_____		N. Williams	_____



General Manager

Approved X Disapproved _____ Withdrawn _____

RECOMMENDATIONS

1. Recommend that the Advisory Agency require Vesting Tentative Tract (VTT) 73895 (Project) to pay in-lieu fees to the City in order to fulfill the Project’s requirements under provisions of Los Angeles Municipal Code (LAMC) Section 12.33; and,
2. Authorize the Department of Recreation and Parks’ (RAP) General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Park Commissioners’ (Board) recommendation.

SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in LAMC Section 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Section 17.03 (Advisory Agency) states in part that “[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...”. The Director of the City Planning Department (City Planning) is designated as the Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

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LAMC Section 17.04 (Subdivision Committee) states that the RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

PROJECT SUMMARY

VTT-73895 (Project) is located at 4680 West Wilshire Boulevard and 706 and 720 South Rimpau Boulevard in the Brookside community of the City. The Project site is approximately 2.20 gross acres. The Project, as currently proposed, includes the adaptive reuse of a portion an existing office building into 65 residential condominiums. The remaining portion of the existing office space will remain as one (1) commercial condominium.

The Project also includes approximately 16,874 SF of common open space including a lounge with fireplaces, patio seating, gym, sauna, a game room, residential kitchen, and private patio space.

The Project, as submitted to City Planning, is not proposing to make a land dedication to the City either on-site or off-site of the project location.

Conceptual renderings of the Project are attached (Attachment 1).

EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty (50) residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33 D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **November 4, 2021**. The meeting included a discussion of the requirements of LAMC Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site park land dedications, the calculation of Park Fees, and the various recreational credits available to the Project.

ADVISORY AGENCY

The Project filed a tract map application with City Planning on **October 23, 2015**. On September 22, 2021, the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by a date identified as "Upon Receipt." The Advisory Agency Filing Notification is attached (Attachment 2).

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If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

REQUIRED LAND DEDICATION / IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, "All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents."

Land Dedication

LAMC Section 12.33 D states that residential Subdivision projects with more than fifty (50) residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33 D.2:

- **LD = (DU x P) x F**
 - **LD** = Land to be dedicated in acres.
 - **DU** = Total number of new market-rate dwelling units.
 - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
 - **P = 2.88**
 - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
 - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The **maximum** land dedication for the Project's proposed 65 units would be:

$$0.46 \text{ Acres} = (65 \times 2.88) \times 0.00251$$

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

As currently proposed, the Project does not include affordable units.

Per LAMC Section 12.33 D.3, a project that is required to make a land dedication to the City may make said land dedication, or any portion thereof, either on-site or off-site of the project

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location. Any off-site land dedication must be located within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed park land dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

Per Section 66477 (7) of the California Government Code, "Only the payment of fees may be required in subdivisions containing 50 parcels or less, except that when a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code, exceeds 50 dwelling units, dedication of land may be required notwithstanding that the number of parcels may be less than 50." The Project as described in this Report is a condominium project.

In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP's Rate and Fee Schedule. As of July 1, 2021, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

\$14,793.00 x number of new non-exempt dwelling units

The **maximum** Park Fees payment for the Project's proposed 65 units would be:

\$961,545.00 = \$14,793 x 65 dwelling units

As currently proposed, the Project does not include affordable units.

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of

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the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per Los Angeles Municipal Code Section 12.33 E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board's review and approval, RAP staff analyzes each proposed development project including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities would reduce the need for new public recreation and park facilities to serve the project residents.

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. According to the Trust for Public Land 2021 Park Score Index, approximately 64% of residents in the City of Los Angeles live within a 10-minute walk, from a public park or open space. The Mayor's Office of Sustainability pLAN sets a goal of increasing the percentage of Angelenos living within a one-half mile from a park to at least 65% by 2025; 75% by 2035; and 100% by 2050. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

Site Analysis

The Project is located within the Brookside community of the City and within the Wilshire Community Plan Area. Currently, the Project site is a commercial office building. It is surrounded by residential and commercial uses on all sides.

An aerial view of the Project site is attached hereto (Attachment 3). A map showing the generalized zoning of the project site and the Community Plan Area is also attached (Attachment 4).

The Project is located in a low density area of the City. Below is an analysis of the density of the area within walking distance of the Project site and a comparison to both citywide density and local community density:

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- Half-mile walking distance of the Project site (EPADSS): 3,108 persons (5,268 persons per square mile).
- City of Los Angeles Population Density (2010 United States Census): 8,092 persons per square mile.
- Wilshire Community Plan Area (2014 American Community Survey): 20,039 persons per square mile.

Project Open Space and Recreational Areas

As previously discussed, the Project also includes approximately 16,874 SF of common open space including a lounge with fireplaces, patio seating, gym, sauna, a game room, residential kitchen, and private patio space.

The amount of common open space being provided by the Project does not appear to significantly exceed the amount of open space the Project would otherwise be required to provide per the LAMC (or other planning documents, specific plans, etc.). Additionally, it does not appear that these open spaces will include the type and variety of active and passive recreational facilities and amenities that are typically found in the City's Neighborhood and Community Parks and that are needed to meet the needs of residents of all ages and abilities.

As currently proposed, these proposed recreational amenities would not likely significantly reduce the Project's impact on existing public recreational and park facilities and they could likely significantly reduce the need for new or expanded public recreational and park facilities.

Public Park Access

There are two (2) public parks within a half ($\frac{1}{2}$) mile walking distance of the Project site:

- L.A. High Memorial Park, located at 4625 Olympic Boulevard in the Mid-Wilshire community of the City, is a 2.51-acre facility that provides open space and a children's play area for the use of the surrounding community.
- Harold A. Henry Park, located at 890 South Lucerne Avenue in the Windsor Village community of the City, is a 1.60-acre facility that provides a covered picnic area, walkways and benches, and a children's play area for the use of the surrounding community.

A map showing the project location and nearby public parks is attached hereto (Attachment 5).

As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided at the Project location the park would serve the new residents of the Project and would serve approximately **830** new, previously unserved, residents within a half-mile walking distance (Attachment 6). If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents

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within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

Nearby Public Park Projects

There are no new public parks currently in development within a two (2) mile radius of the Project site.

There are four (4) park renovation projects in development within a two-mile radius of the Project site that have previously been reviewed and approved by the Board and are currently fully funded:

- Eleanor Green Roberts Aquatic Center – Pool Improvements (PRJ21431) (PRJ21461) Project
- Queen Anne Recreation Center – Lighting and Cameras (PRJ21339) (PRJ21314) Project
- Queen Anne Recreation Center – Roof Replacement (PRJ21405) Project
- Washington Irving Pocket Park – New Playground (PRJ21295) Project

There are no park renovation projects currently in various stages of planning and development within a two-mile radius of the Project site that are either still pending Board approval and/or are not currently fully funded.

Staff Recommendation

RAP Staff recommends that the appropriate mitigation measure for this proposed Project is the payment of in-lieu fees to the City because the project site is in a low-density area of the City. The density of the surrounding area within walking distance of the Project site is lower than the average density of the City and is lower than the average density of the Community Plan Area in which the proposed Project is located.

The Project site is not located in an existing park service radius gap. There are two RAP-operated public parks within a half-mile walking distance from the Project.

FISCAL IMPACT

As it is not known at this time if the Advisory Agency will recommend the proposed Project dedicate park land to the City or to pay Park Fees, the potential Fiscal Impact to the RAP's General Fund is unknown.

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STRATEGIC PLAN INITIATIVES AND GOALS

Approval of this Board Report advances RAP's Strategic Plan by supporting:

Goal No. 3: Create & Maintain World Class Parks and Facilities

Outcome No. 3: Increased park maintenance, with a focus on cleanliness.

Result: Collected fees will mitigate the impact of the development on the park system and fund capital improvements at existing parks in the Project area.

This Report was prepared by Ligaya Khennavong, Management Assistant, Planning, Maintenance and Construction Branch.

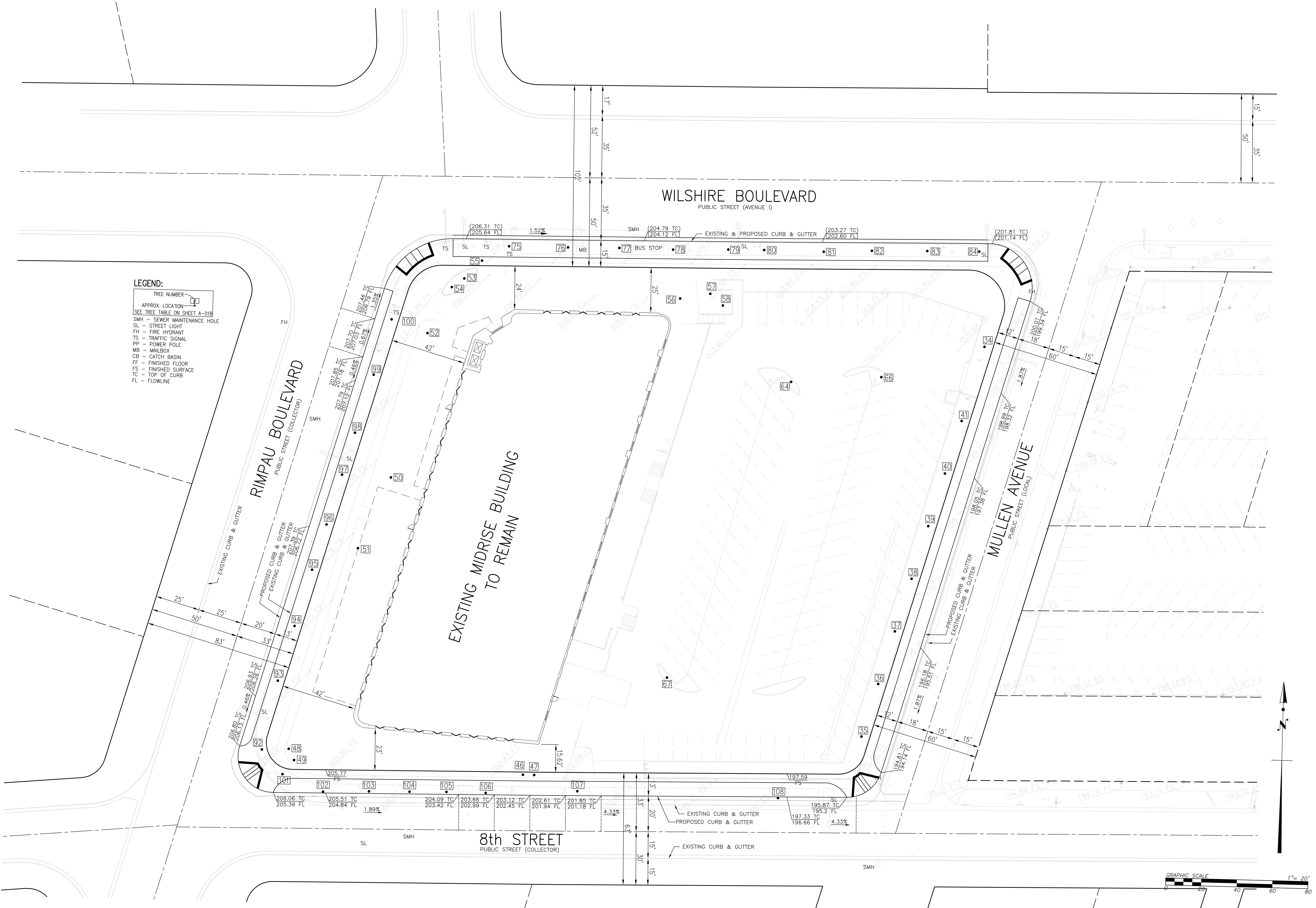
LIST OF ATTACHMENTS

- 1) Attachment 1 - Conceptual Project Renderings
- 2) Attachment 2 - Advisory Agency Filing Notice
- 3) Attachment 3 - Aerial View of the Project Site
- 4) Attachment 4 - Zoning and Community Plan Map
- 5) Attachment 5 - Project Location and Surrounding Parks
- 6) Attachment 6 - EPADSS Report

WILSHIRE MULLEN
 4680 WILSHIRE BOULEVARD
 LOS ANGELES, CA 90010

**VESTING TENTATIVE TRACT NO. 73895
 SITE PLAN AND PRELIMINARY GRADING**

A-01A
 1"=30'
 05.06.21



LEGEND:

- TREE NUMBER
- APPROX. LOCATION
- SEE TREE TABLE ON SHEET A-01B
- SMH - SEWER MAINTENANCE HOLE
- SL - STREET LIGHT
- FH - FIRE HYDRANT
- TS - TRAFFIC SIGNAL
- PP - POWER POLE
- MB - MAILBOX
- CB - CATCH BASIN
- FF - FINISHED FLOOR
- FS - FINISHED SURFACE
- TC - TOP OF CURB
- FL - FLOWLINE

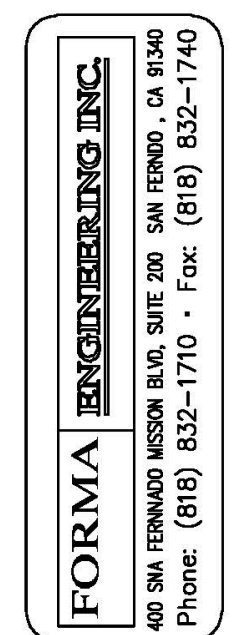
FORMA ENGINEERING INC.
 400 SAN FERNANDO MISSION BLVD, SUITE 200, SAN FERNANDO CA 91340
 Phone: (818) 832-1710 • Fax: (818) 832-1740
 LAWRENCE WILSON P.L.S. 8712 5/11/2021 DATE



Tree #	Species	Protected Species ?	Trunk Diameter	General Condition	Description
1	Ficus microcarpa	No	13"	Fair	Protect in place or relocate.
2	Ficus microcarpa	No	13"	Fair	Protect in place or relocate.
3	Ficus microcarpa	No	13"	Fair	Protect in place or relocate.
4	Ficus microcarpa	No	13"	Fair	Protect in place or relocate.
5	Ficus microcarpa	No	13"	Fair	Protect in place or relocate.
6	Ficus microcarpa	No	13"	Fair	Protect in place or relocate.
7	Ficus microcarpa	No	12"	Fair	Protect in place or relocate.
8	Ficus microcarpa	No	12"	Fair	Protect in place or relocate.
9	Ficus microcarpa	No	12"	Fair	Protect in place or relocate.
10	Ficus microcarpa	No	12"	Fair	Protect in place or relocate.
11	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
12	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
13	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
14	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
15	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
16	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
17	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
18	Ficus microcarpa	No	10"	Weak	Weak condition. Trunk damage. Protect in place or replace.
19	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
20	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
21	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
22	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
23	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
24	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
25	Ficus microcarpa	No	12"	Weak	Trunk damage. Cost to relocate exceeds its value. Protect in place or replace.
26	Ficus microcarpa	No	14"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
27	Ficus microcarpa	No	10"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
28	Ficus microcarpa	No	12"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
29	Ficus microcarpa	No	12"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
30	Ficus microcarpa	No	12"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
31	Ficus microcarpa	No	12"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
32	Ficus microcarpa	No	12"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
33	Ficus microcarpa	No	12"	Fair	Protect in place or replace. Cost to relocate exceeds its value.
34	Callistemon viminalis	No	20"	Good	In planter on east side of Mullen. Protect in place or replace.
35	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
36	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
37	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
38	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
39	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
40	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
41	Tipuana tipu	No	14"	Good	In planter on east side of Mullen. Not relocatable.
42	Tipuana tipu	No	10"	Good	In planter on 8' Street. Not relocatable.
43	Tipuana tipu	No	10"	Good	In planter on 8' Street. Not relocatable.
44	Tipuana tipu	No	10"	Good	In planter on 8' Street. Not relocatable.
45	Tipuana tipu	No	8"	Good	In planter on 8' Street. Not relocatable.
46	Cupaniopsis anacardioides	No	12"	Weak	Weak condition. Not salvageable.
47	Cupaniopsis anacardioides	No	12"	Weak	Weak condition. Not salvageable.

Tree #	Species	Protected Species ?	Trunk Diameter	General Condition	Description
48	Afrocarpus	No	26"	Very Good	Specimen tree. Recommend protect in place
49	Afrocarpus falcatus	No	26"	Very Good	Specimen tree. Recommend protect in place
50	Cedrus deodara	No	35"	Good	Specimen tree. Recommend protect in place
51	Cedrus deodara	No	29"	Good	Specimen tree. Recommend protect in place
52	Afrocarpus falcatus	No	26"	Very Good	Specimen tree. Recommend protect in place
53	Chamaerops humilis	No	3 stems	Very Good	Excellent specimen. Recommend protect in place or relocate
54	Chamaerops humilis	No	3 stems	Very Good	Excellent specimen. Recommend protect in place or relocate
55	Afrocarpus falcatus	No	27"	Very Good	Specimen tree. Recommend protect in place
56	Callistemon viminalis	No	20"	Good	Co-dominant stem with crack in the trunk.
57	Pinus halepensis	No	32"	Good	Tree is too tall for its site. Cost to relocate exceeds its value.
58	Callistemon viminalis	No	20"	Good	Too entwined with adjacent Aleppo Pine. Cost to relocate exceeds tree value
59	Melaleuca leucadendron	No	6"	Weak	Surrounded by hedgescapes. Cost to relocate exceeds tree value.
60	Cupressus sempervirens	No	8"	Fair	Remove & replace. This species does not tolerate relocation.
61	Cupressus sempervirens	No	8"	Fair	Remove & replace. This species does not tolerate relocation.
62	Tupia tipu	No	10"	Fair	Cost to relocate exceeds tree value.
63	Tipuana tipu	No	10"	Good	Not relocatable. Cost to relocate exceeds tree value
64	Tipuana tipu	No	12"	Good	Not relocatable. Cost to relocate exceeds tree value
65	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
66	Tipuana tipu	No	12"	Good	Not relocatable. Cost to relocate exceeds tree value
67	Tipuana tipu	No	12"	Good	Not relocatable. Cost to relocate exceeds tree value
68	Tipuana tipu	No	10"	Good	Not relocatable. Cost to relocate exceeds tree value
69	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
70	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
71	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
72	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
73	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
74	Tipuana tipu	No	8"	Good	Not relocatable. Cost to relocate exceeds tree value
75	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
76	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
77	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
78	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
79	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
80	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
81	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
82	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
83	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
84	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
85	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
86	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
87	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
88	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
89	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
90	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
91	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
92	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
93	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
94	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.

Tree #	Species	Protected Species ?	Trunk Diameter	General Condition	Description
95	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
96	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
97	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
98	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
99	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
100	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
101	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
102	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
103	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
104	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
105	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
106	Washingtonia robusta	No	18"	Good	City street tree. Protect in place.
107	Magnolia grandiflora	No	4"	Fair	City street tree. Protect in place.
108	Magnolia grandiflora	No	7"	Fair	City street tree. Protect in place.
109	Magnolia grandiflora	No	7"	Fair	City street tree. Protect in place.
110	Magnolia grandiflora	No	7"	Fair	City street tree. Protect in place.
111	Magnolia grandiflora	No	7"	Fair	City street tree. Protect in place.
112	Magnolia grandiflora	No	7"	Fair	City street tree. Protect in place.
113	Magnolia grandiflora	No	7"	Fair	City street tree. Protect in place.
114	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
115	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
116	Lophostemon conferta	No	5"	Good	City street tree. Protect in place.
117	Lophostemon conferta	No	5"	Good	City street tree. Protect in place.
118	Corymbia citrifolia	No	9"	Good	City street tree. Protect in place.
119	Lophostemon conferta	No	5"	Good	City street tree. Protect in place.
120	Lophostemon conferta	No	5"	Good	City street tree. Protect in place.
121	Lophostemon conferta	No	5"	Good	City street tree. Protect in place.
122	Lophostemon conferta	No	5"	Good	City street tree. Protect in place.
123	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
124	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
125	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
126	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
127	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
128	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
129	Lagerstroemia indica	No	2"	Good	Newly planted City street tree. Protect in place.
130	Prunus cerasifera	No	6"	Poor	City street tree. Protect in place.
131	Prunus cerasifera	No	6"	Poor	City street tree. Protect in place.
132	Cupaniopsis anacardioides	No	11"	Good	City street tree. Protect in place.
133	Cupaniopsis anacardioides	No	11"	Good	City street tree. Protect in place.
134	Cupaniopsis anacardioides	No	11"	Good	City street tree. Protect in place.
135	Cupaniopsis anacardioides	No	11"	Good	City street tree. Protect in place.
136	Cupaniopsis anacardioides	No	11"	Good	City street tree. Protect in place.



MULLEN WILSHIRE OWNER, LLC
4700 WILSHIRE BLVD
LOS ANGELES, CA 90010

WILSHIRE MULLEN
4680 WILSHIRE BOULEVARD
LOS ANGELES, CA 90010

VESTING TENTATIVE TRACT NO. 73895
EXISTING TREE TABLE

A-01B
1"=20'
05.06.21

FORMA ENGINEERING INC.
400 SAN FERNANDO MISSION BLVD, SUITE 200, SAN FERNANDO CA 91340
Phone: (818) 832-1710 • Fax: (818) 832-1740
Lawrence Wilson
LAWRENCE WILSON P.L.S. 6712 5/11/2021 DATE



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PARKING						
Use	Quantity	Requirement*	Total Required	Total Proposed**		
Residential	65 Units	2.5 per unit (including 0.5 guest spaces)	162.5	157	• 103 surface parking spaces • 54 basement parking spaces	
Office	62,152 sf	3 per 1,000 sf	186.5	106	• 22 on site parking spaces • 84 off site parking spaces	
TOTAL			349	263		

* Park Mile Specific Plan Section 6.1 & 6.2
** LAMC 12.24.X.1, Adaptive Reuse Projects

BICYCLE PARKING						
Use	Quantity	Requirement*	Short-Term Required	Long-Term Required	Short-Term Proposed	Long-Term Proposed
Block A						
Residential	65 Units	1 per 10 units (short-term) 1 per 15 units (long-term)	6.5	43.3	6	44
Office	62,152 sf	1 per 10,000 sf (short-term) 1 per 5,000 sf (long-term)	6.2	12.4	6	12
TOTAL BICYCLE PARKING			12.7	55.7	12	56

* LAMC Tables 12.21 A.16(a)(1)(i) and LAMC 12.21 A.16(a)(2)

LOT UTILIZATION "CR(PKM)-1 ZONE"			
Site Area			64,664
Building Footprint			18,350
Existing Surface Parking**			24,740
Open Space			21,774
Lot Coverage			28.07%
Maximum Allowed*			50.00%
* Park Mile Specific Plan Section 3.D.1			
** Park Mile Specific Plan 3.D.2.a			

OPEN SPACE			
Unit Type	# of Units	Ratio (sf per Unit)*	Total sf
Open Space Required:			
Unit >3 Habitable Rooms	65	175	11,375
Open Space Proposed:			
Common Open Space at Grade (15' min dimension and open to sky)			16,874
		Total Open Space Proposed	16,874

* LAMC 12.21G

TRACT 73895 - BLOCK 'A'				
ZONING DATA				
Existing Zoning				CR(PKM)-1 and RD3-1
Proposed Zoning				CR(PKM)-1 and RD3-1
Community Plan				Wilshire
Land Use Designation				General Commercial / Low Medium II Residential
Specific Plan				Park Mile Specific Plan
Site Area (after street mergers and dedication)				95,584 sf

FLOOR AREA				
	Proposed Floor Area (sf)	Proposed FAR	Allowable FAR*	
Residential	Existing Tower:	130,015		
Office	Existing Tower:	62,152		
Total		192,167	2.011	3.1

* Park Mile Specific Plan Section 4.A

DENSITY				
	Area (sf)	Lot area per unit *	Proposed density **	Allowable density
CR(PKM)	64,553	2,000 sf	Existing Tower:	65 32.3
RD3	31,031	3,000 sf	Existing Tower:	0 10.4
Total	95,584			65 42.7

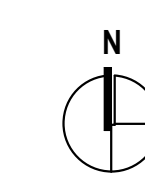
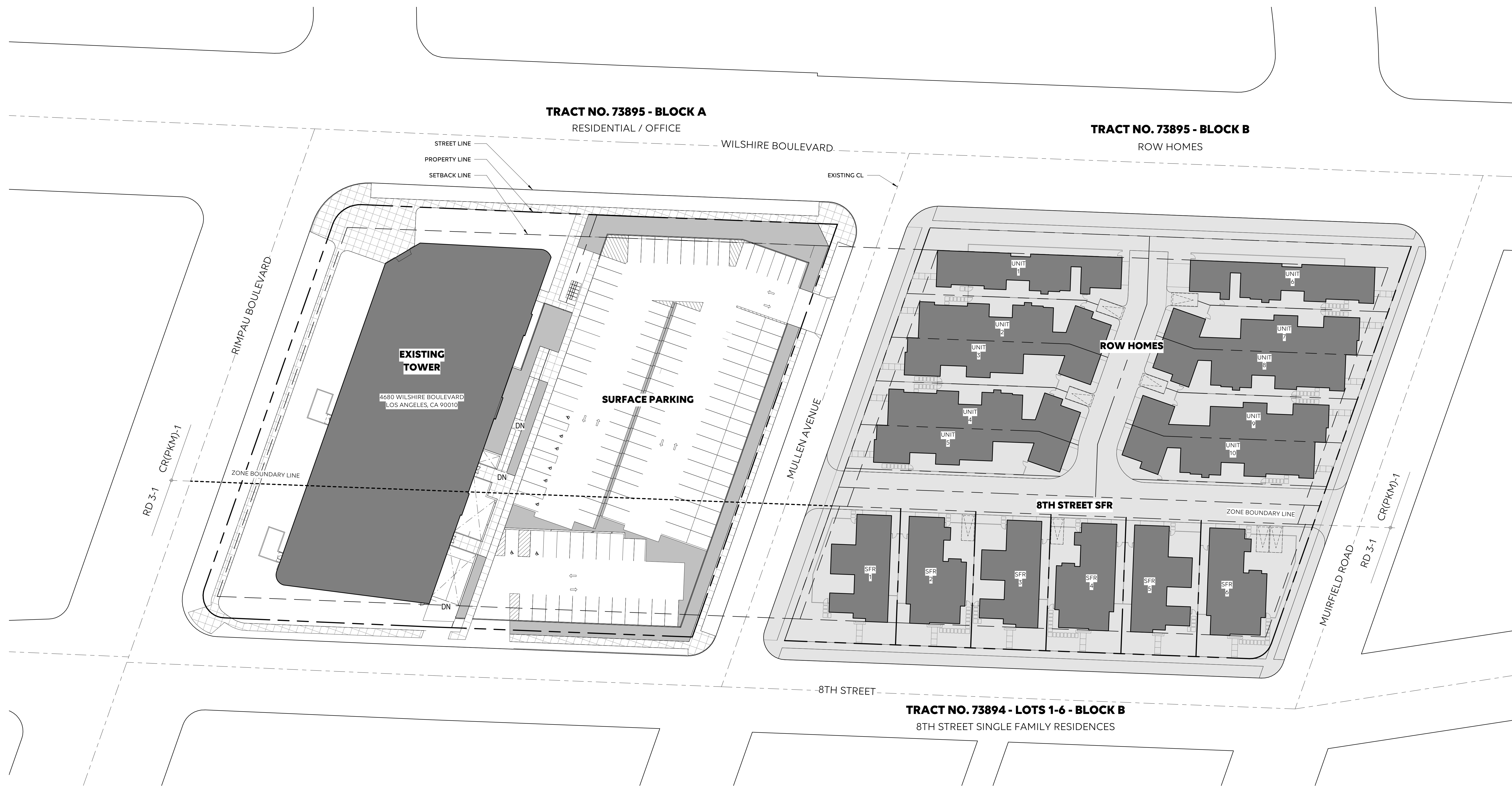
* Park Mile Specific Plan Section 3.8.1
** LAMC 12.24.X.1, Adaptive Reuse Projects

YARDS		
	Proposed (ft)	Allowable (ft)*
Front (Wilshire)	25	15
Front (8th)	15	15
Side (Mullen)	10	10
Side (Rimpau)	42**	10

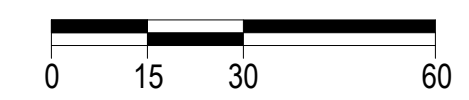
* Park Mile Specific Plan Section 3.8.3
** Post-Rimpau Merger

HEIGHT			
	Curb Level (LAMC 12.03)	Proposed Height (ft)	Allowable Height (ft)*
Existing Tower	204.00'	117.67'	117.67' **

* Park Mile Specific Plan Section 3.C
** Existing Legal Non-Conforming Height



COMPREHENSIVE SITE PLAN
1" = 30'-0"



1

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TRACT NO. 73895 - BLOCK A

RESIDENTIAL / OFFICE



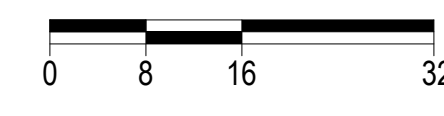
LOT UTILIZATION - BLOCK 'A'
(PER PMSP, SECTION 3.D)

TRACT 73895 SITE AREA - CR(PKM)-1	64,664 SF
OPEN SPACE	21,774 SF
BUILDING FOOTPRINTS	18,150 SF
EXISTING SURFACE PARKING**	24,740 SF
TOTAL LOT COVERAGE	18,150 SF
LOT UTILIZATION %	28.07%
MAX ALLOWED IN CR(PKM)-1 ZONE	50.00%

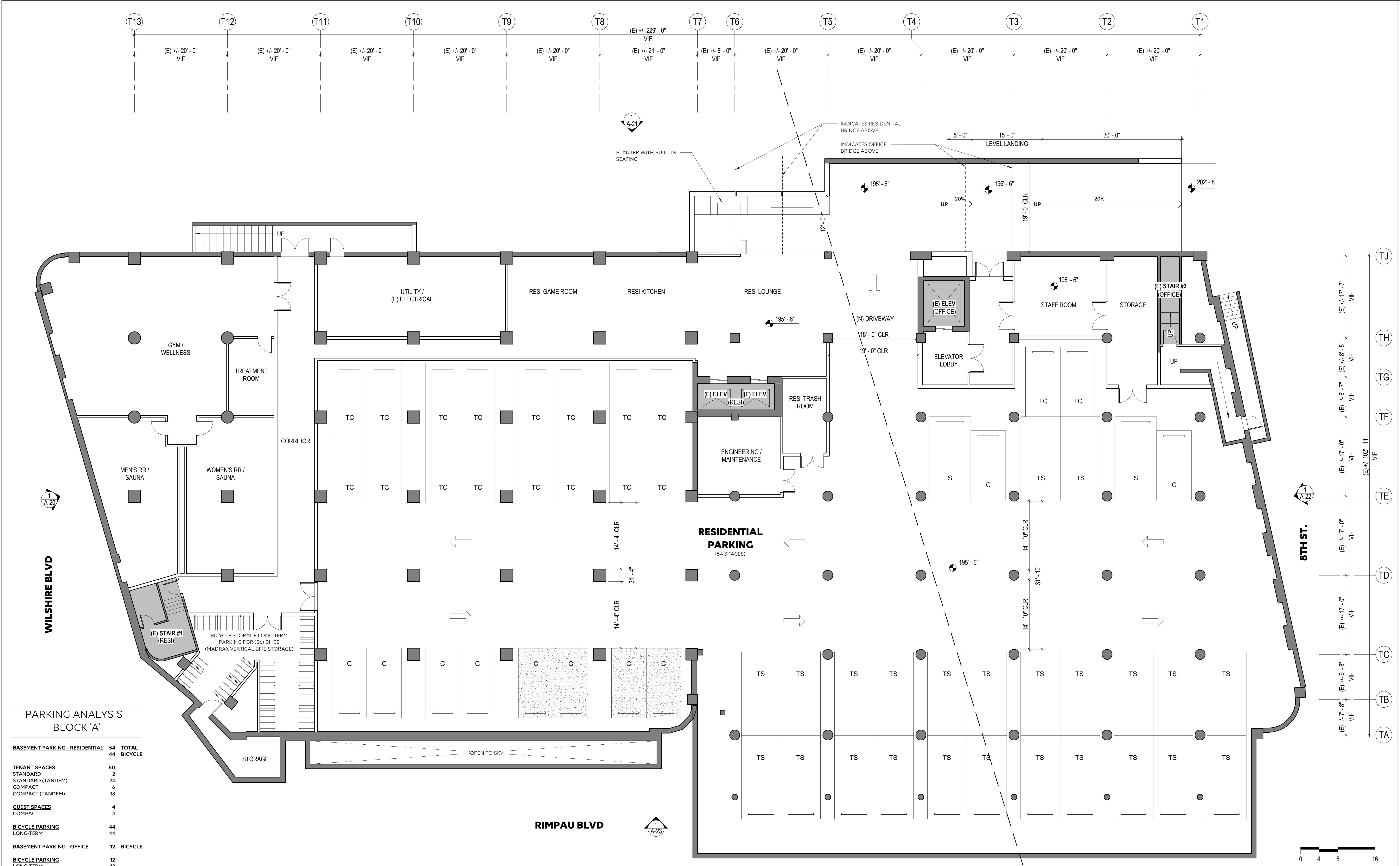
* PROPERTY LINES REFLECT PROPOSED LOTS AFTER ANTICIPATED LOT MERGERS AND HIGHWAY DEDICATIONS

** PER PMSP, SECTION 3.D.2.a. "STRUCTURES BUILT PRIOR TO JANUARY 1, 1975, AND WHICH DO NOT SATISFY MINIMUM PARKING STANDARDS, MAY CONSTRUCT, ON AN ADJUTING LOT, PARKING BUILDINGS OR GARAGES THAT OCCUPY MORE THAN 50% OF A LOT..."

LOT UTILIZATION DIAGRAM
1/16" = 1'-0"



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PARKING ANALYSIS - BLOCK 'A'

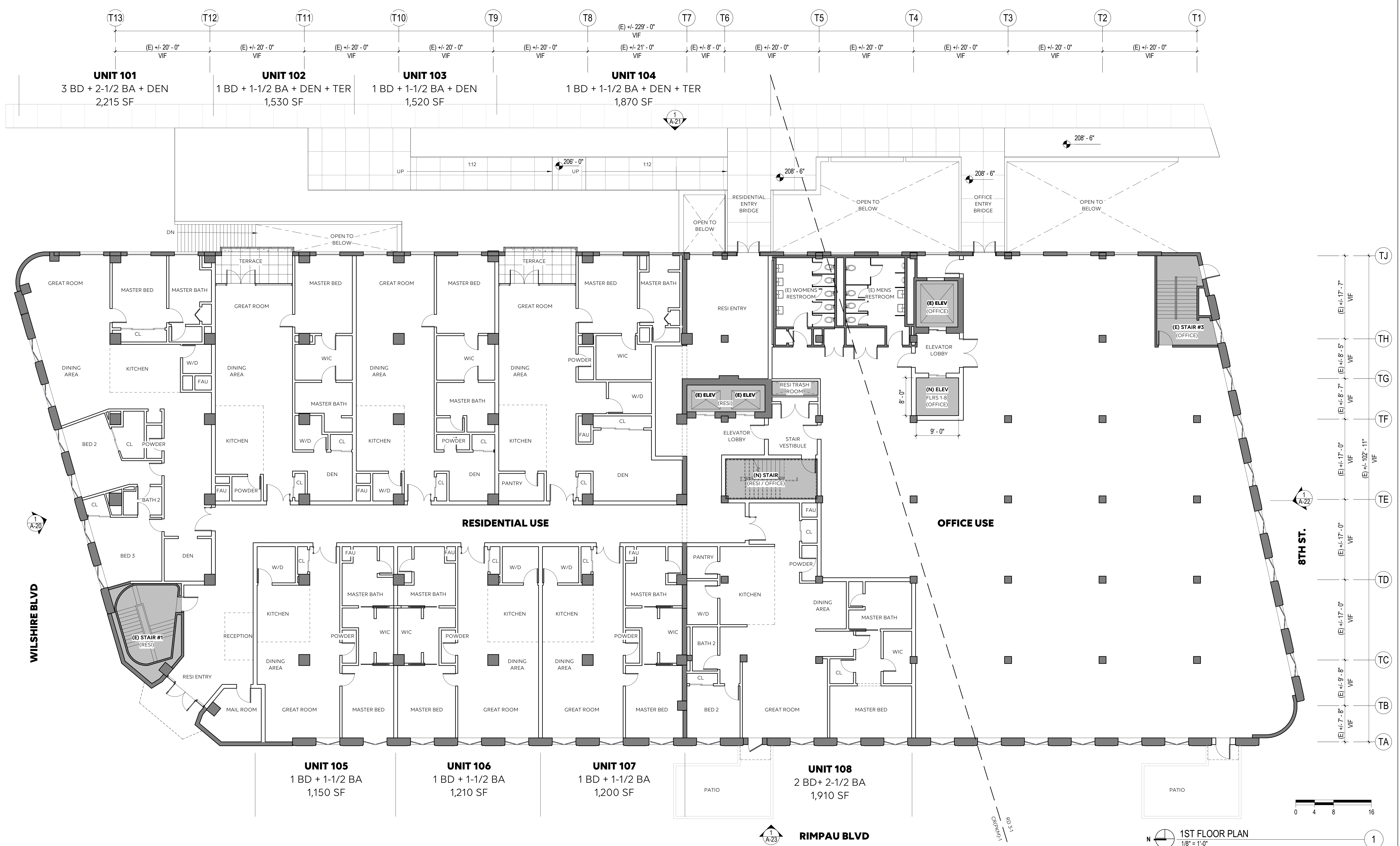
BASEMENT PARKING - RESIDENTIAL	54	TOTAL BICYCLE	44
TENANT SPACES	50		
STANDARD	2		
STANDARD (TANDEM)	24		
COMPACT	6		
COMPACT (TANDEM)	18		
GUEST SPACES	4		
COMPACT	4		
BICYCLE PARKING	44		
LONG-TERM	44		
BASEMENT PARKING - OFFICE	12	BICYCLE	
BICYCLE PARKING	12		
LONG-TERM	12		
SURFACE PARKING - RESIDENTIAL	103	TOTAL BICYCLE	6
TENANT SPACES	74		
STANDARD	34		
STANDARD (TANDEM)	18		
COMPACT (TANDEM)	18		
HANDICAP	4		
GUEST SPACES	29		
COMPACT	27		
HANDICAP	2		
BICYCLE PARKING	6		
SHORT-TERM	6		
SURFACE PARKING - OFFICE	22	TOTAL BICYCLE	6
OFFICE SPACES	22		
STANDARD	18		
COMPACT	2		
HANDICAP	2		
BICYCLE PARKING	6		
SHORT-TERM	6		

BASEMENT FLOOR PLAN
1/8" = 1'-0"

UNIT COUNT SUMMARY		OFFICE USE AREA SUMMARY	
LEVEL	# OF UNITS	LEVEL	FAR*
1ST FLOOR	8	BASEMENT	0 SF
TYP FLOOR (2ND - 7TH)	9	1ST FLOOR	8,593 SF
8TH FLOOR	3	TYP FLOOR (2ND - 7TH)	8,893 SF
TOTAL	65	8TH FLOOR	2,002 SF
		ROOF	0 SF
		TOTAL	62,152 SF

RESI USE AREA SUMMARY	
LEVEL	FAR*
BASEMENT	7,041 SF
1ST FLOOR	15,644 SF
TYP FLOOR (2ND - 7TH)	15,647 SF
8TH FLOOR	11,885 SF
ROOF	1,563 SF
TOTAL	130,015 SF

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UNIT COUNT SUMMARY

LEVEL	# OF UNITS
1ST FLOOR	8
TYP FLOOR (2ND - 7TH)	9
8TH FLOOR	3
TOTAL	65

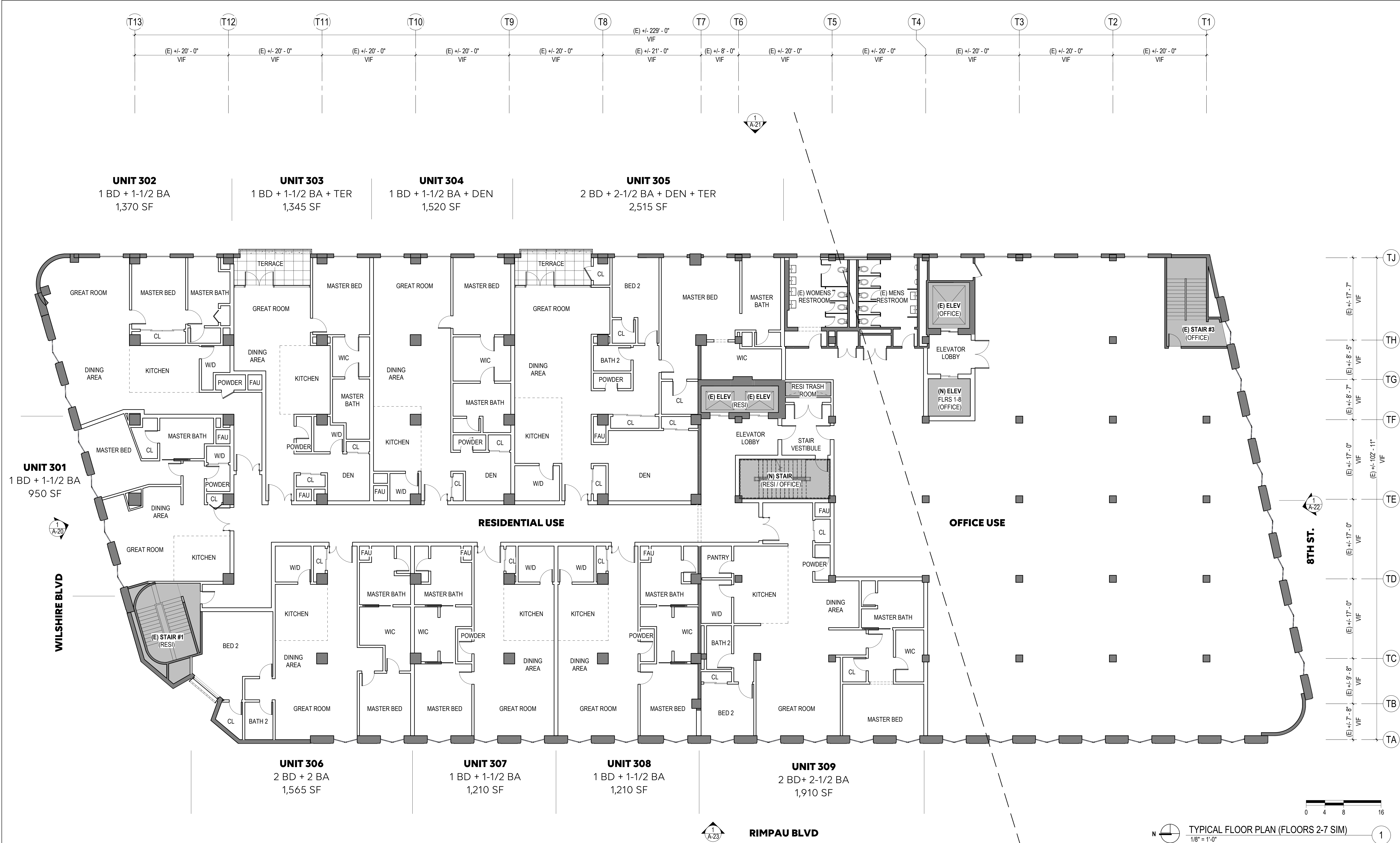
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OFFICE USE AREA SUMMARY

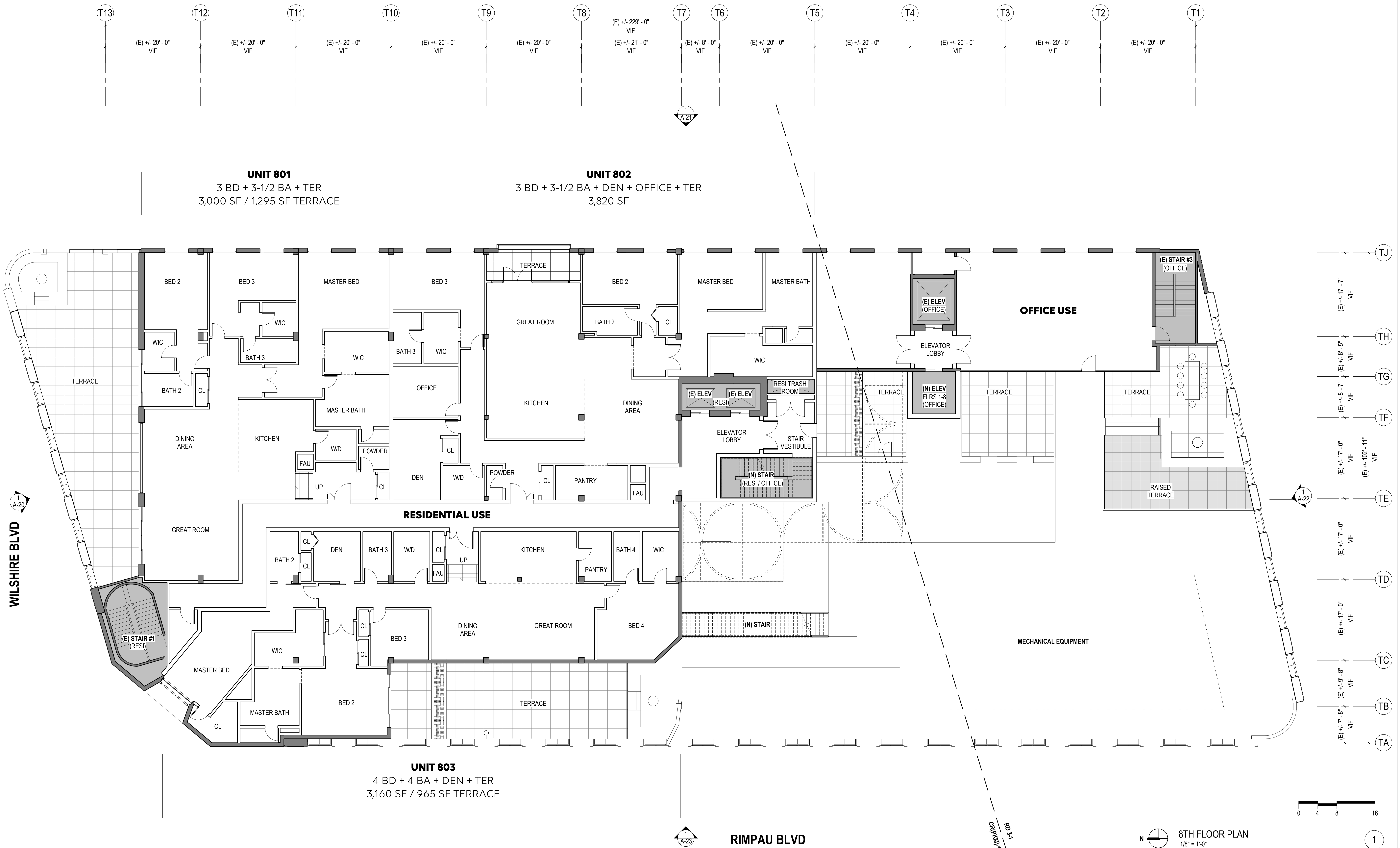
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BASEMENT	7,041 SF
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8TH FLOOR	11,885 SF
ROOF	1,563 SF
TOTAL	130,015 SF

TYPICAL FLOOR PLAN (FLOORS 2-7 SIM)
1/8" = 1'-0"

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UNIT COUNT SUMMARY

LEVEL	# OF UNITS
1ST FLOOR	8
TYP FLOOR (2ND - 7TH)	9
8TH FLOOR	3
TOTAL	65

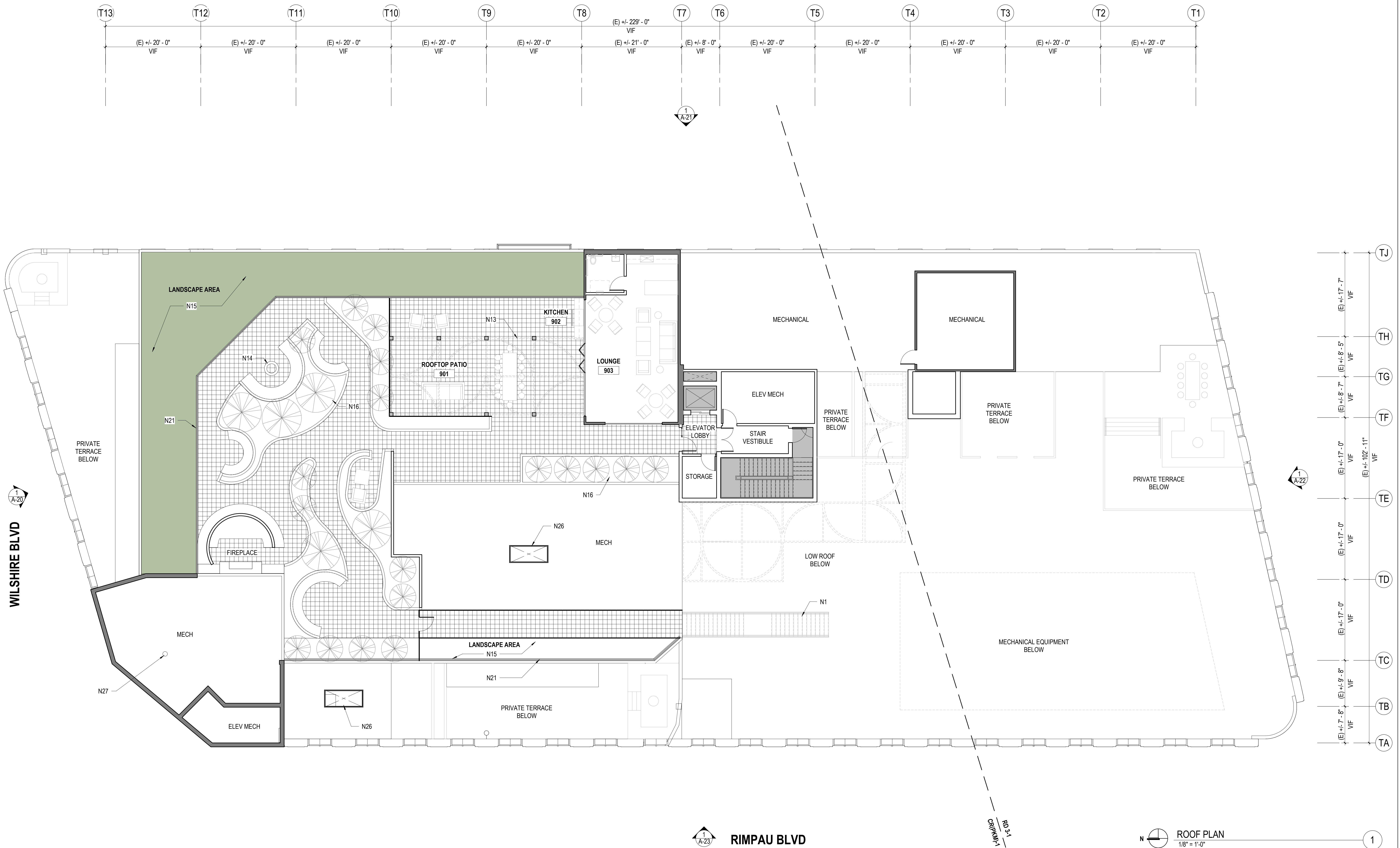
OFFICE USE AREA SUMMARY

LEVEL	FAR*
BASEMENT	0 SF
1ST FLOOR	8,593 SF
TYP FLOOR (2ND - 7TH)	8,593 SF
8TH FLOOR	2,902 SF
ROOF	0 SF
TOTAL	62,152 SF

RESI USE AREA SUMMARY

LEVEL	FAR*
BASEMENT	7,041 SF
1ST FLOOR	15,644 SF
TYP FLOOR (2ND - 7TH)	15,647 SF
8TH FLOOR	11,885 SF
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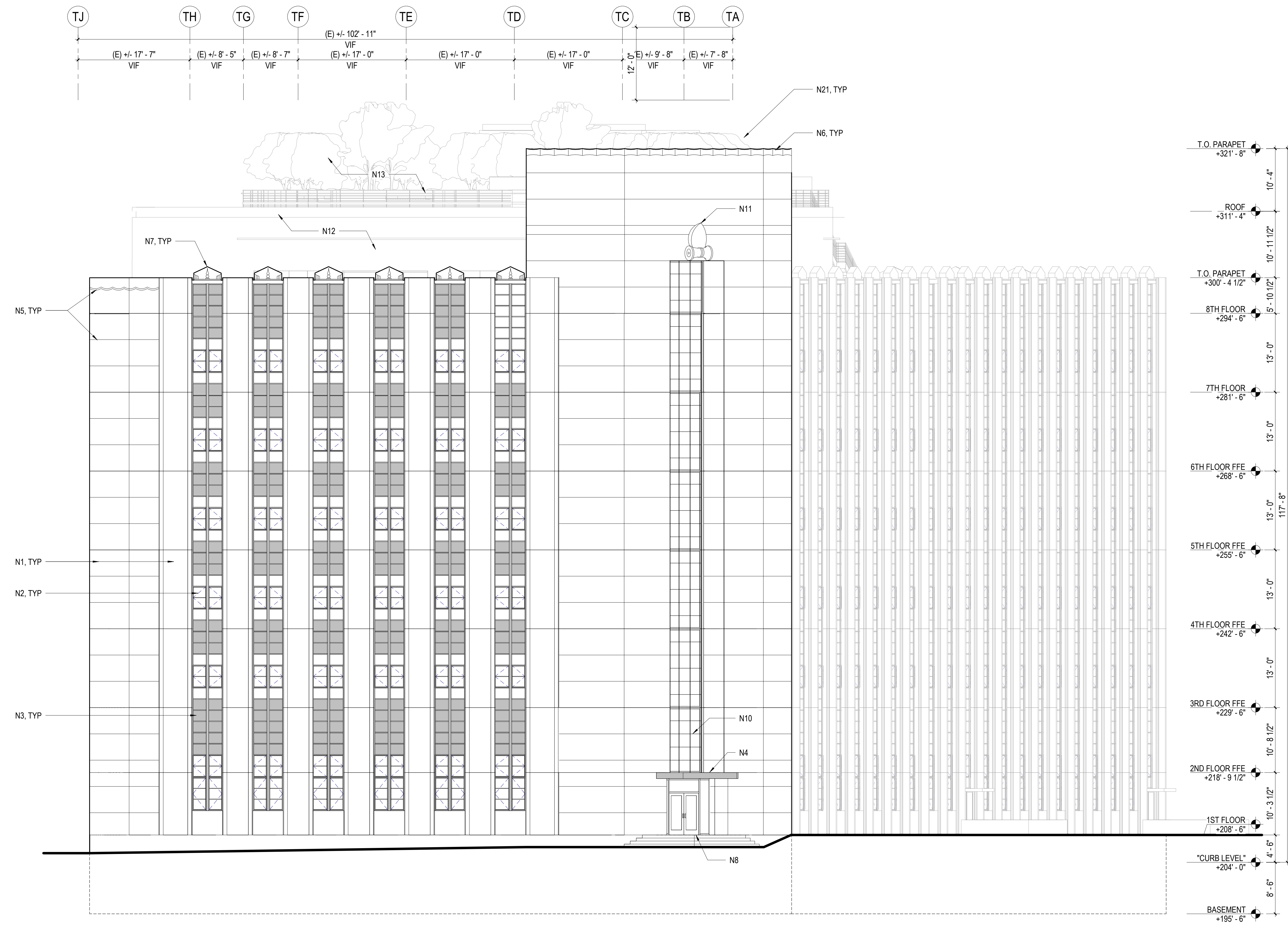


ROOF PLAN
1/8" = 1'-0"

NOTES

- | | | |
|---------------------------------------|---|---|
| N1. (N) STEEL STAIR | N10. (N) 12' CONCRETE SLAB EXTENSION AT TERRACE | N19. (N) OVERHEAD CANOPY |
| N2. (N) ELEVATOR IN (E) SHAFT | N11. (N) PAINTED, STEEL GUARDRAIL | N20. (N) CONCRETE SHEAR WALL PER STRUCTURAL |
| N3. REFUSE AND RECYCLING CHUTES | N12. EXTEND (E) ELEVATOR TO THIS LEVEL | N21. (N) RAILING |
| N4. (N) STEEL STOREFRONT SYSTEM | N13. (N) STEEL TRELIS OVERHEAD | N22. (N) ELEVATOR AND RATED ENCLOSURE |
| N5. (N) OPERABLE STEEL WINDOW SYSTEM | N14. (N) FIRE PIT | N23. LINE OF FLOOR ABOVE |
| N6. (N) EXTERIOR DOOR IN (N) OPENING | N15. (N) LOW 6" GROUND COVER | N24. COVERED PATIO |
| N7. REFURBISHED (E) OVERHEAD CANOPY | N16. (N) DENSE LANDSCAPE AND/ OR TREES | N25. GAS STUB IN FOR GRILL |
| N8. REFURBISHED (E) STOREFRONT SYSTEM | N17. (E) ELECTRICAL EQUIPMENT | N26. (N) SKYLIGHT |
| N9. (N) CONCRETE INFILL | N18. (N) TREE AT ROOF | N27. (E) FLAG POLE |

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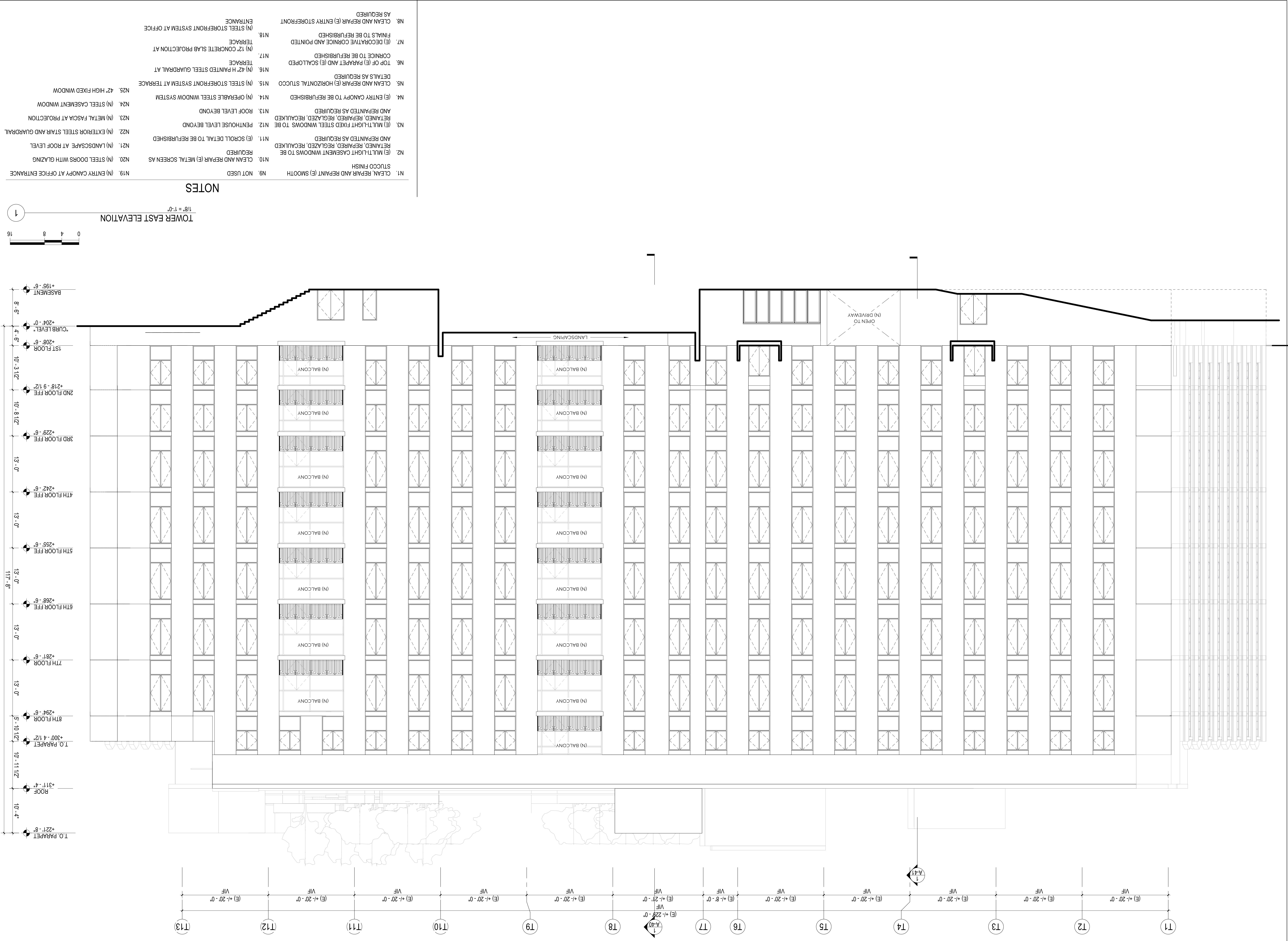
EXISTING TOWER NORTH ELEVATION
1/8" = 1'-0"

1

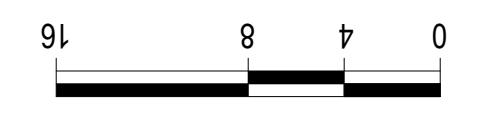
NOTES

- | | | |
|---|---|---|
| N1. CLEAN, REPAIR AND REPAINT (E) SMOOTH STUCCO FINISH | N9. NOT USED | N19. (N) ENTRY CANOPY AT OFFICE ENTRANCE |
| N2. (E) MULTI-LIGHT CASEMENT WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECAULKED AND REPAINTED AS REQUIRED | N10. CLEAN AND REPAIR (E) METAL SCREEN AS REQUIRED | N20. (N) STEEL DOORS WITH GLAZING |
| N3. (E) MULTI-LIGHT FIXED STEEL WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECAULKED AND REPAINTED AS REQUIRED | N11. (E) SCROLL DETAIL TO BE REFURBISHED | N21. (N) LANDSCAPE AT ROOF LEVEL |
| N4. (E) ENTRY CANOPY TO BE REFURBISHED | N12. PENTHOUSE LEVEL BEYOND | N22. (N) EXTERIOR STEEL STAIR AND GUARDRAIL |
| N5. CLEAN AND REPAIR (E) HORIZONTAL STUCCO DETAILS AS REQUIRED | N13. ROOF LEVEL BEYOND | N23. (N) METAL FASCIA AT PROJECTION |
| N6. TOP OF (E) PARAPET AND (E) SCALLOPED CORNICE TO BE REFURBISHED | N14. (N) OPERABLE STEEL WINDOW SYSTEM | N24. (N) STEEL CASEMENT WINDOW |
| N7. (E) DECORATIVE CORNICE AND POINTED FINIALS TO BE REFURBISHED | N15. (N) STEEL STOREFRONT SYSTEM AT TERRACE | N25. 42" HIGH FIXED WINDOW |
| N8. CLEAN AND REPAIR (E) ENTRY STOREFRONT AS REQUIRED | N16. (N) 42" H PAINTED STEEL GUARDRAIL AT TERRACE | |
| | N17. (N) 12" CONCRETE SLAB PROJECTION AT TERRACE | |
| | N18. (N) STEEL STOREFRONT SYSTEM AT OFFICE ENTRANCE | |

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TOWER EAST ELEVATION
1/8" = 1'-0"



NOTES

- N1. CLEAN, REPAIR AND REPAINT (E) SMOOTH STUCCO FINISH
- N2. (E) MULTILIGHT CASEMENT WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECALCULATED AND REPAINTED AS REQUIRED
- N3. (E) MULTILIGHT FIXED STEEL WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECALCULATED AND REPAINTED AS REQUIRED
- N4. (E) ENTRY CANOPY TO BE REFURBISHED AND REPAINTED AS REQUIRED
- N5. CLEAN AND REPAIR (E) HORIZONTAL STUCCO DETAILS AS REQUIRED
- N6. TOP OF (E) PARAPET AND (E) SCALLOPED CORNICE TO BE REFURBISHED
- N7. (E) DECORATIVE CORNICE AND POINTED FINALS TO BE REFURBISHED
- N8. CLEAN AND REPAIR (E) ENTRY STOREFRONT AS REQUIRED
- N9. NOT USED
- N10. CLEAN AND REPAIR (E) METAL SCREEN AS REQUIRED
- N11. (E) SCROLL DETAIL TO BE REFURBISHED
- N12. PENHOUSE LEVEL BEYOND
- N13. ROOF LEVEL BEYOND
- N14. (N) OPERABLE STEEL WINDOW SYSTEM
- N15. (N) STEEL STOREFRONT SYSTEM AT TERRACE
- N16. (N) 42" H. PAINTED STEEL GUARDRAIL AT TERRACE
- N17. (E) DECORATIVE CORNICE AND POINTED FINALS TO BE REFURBISHED
- N18. (N) STEEL STOREFRONT SYSTEM AT OFFICE ENTRANCE
- N19. (N) ENTRY CANOPY AT OFFICE ENTRANCE
- N20. (N) STEEL DOORS WITH GLAZING
- N21. (N) LANDSCAPE AT ROOF LEVEL
- N22. (N) EXTERIOR STEEL STAIR AND GUARDRAIL
- N23. (N) METAL FASCIA AT PROJECTION
- N24. (N) STEEL CASEMENT WINDOW
- N25. 42" HIGH FIXED WINDOW

A-21

TOWER ELEVATION - EAST

0.6.18.21

REVISIONS:

PRELIMINARY DESIGN REVIEW

MULLEN WILSHIRE BLDG OWNER LLC
4700 WILSHIRE BLVD
LOS ANGELES, CA 90010

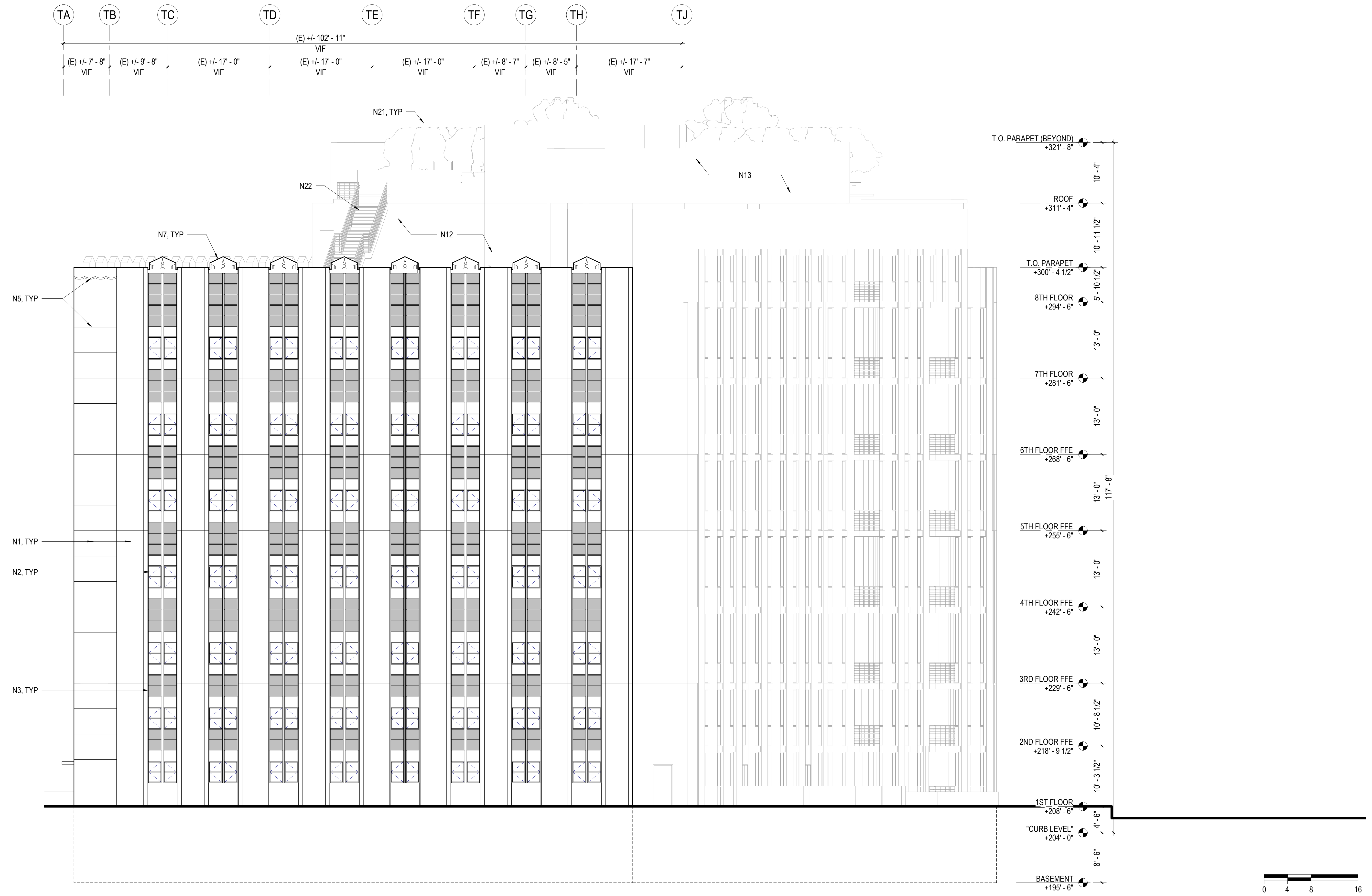
RECONFIGURATION
BLOCK 'A'

WILSHIRE MULLEN

4680 WILSHIRE BOULEVARD
LOS ANGELES, CA 90010

724 S SPRING ST., SUITE 501
LOS ANGELES, CA 90014

OMGIVING
architecture / interiors

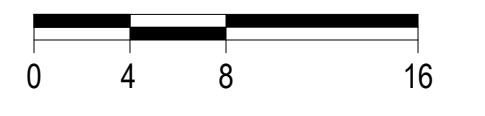
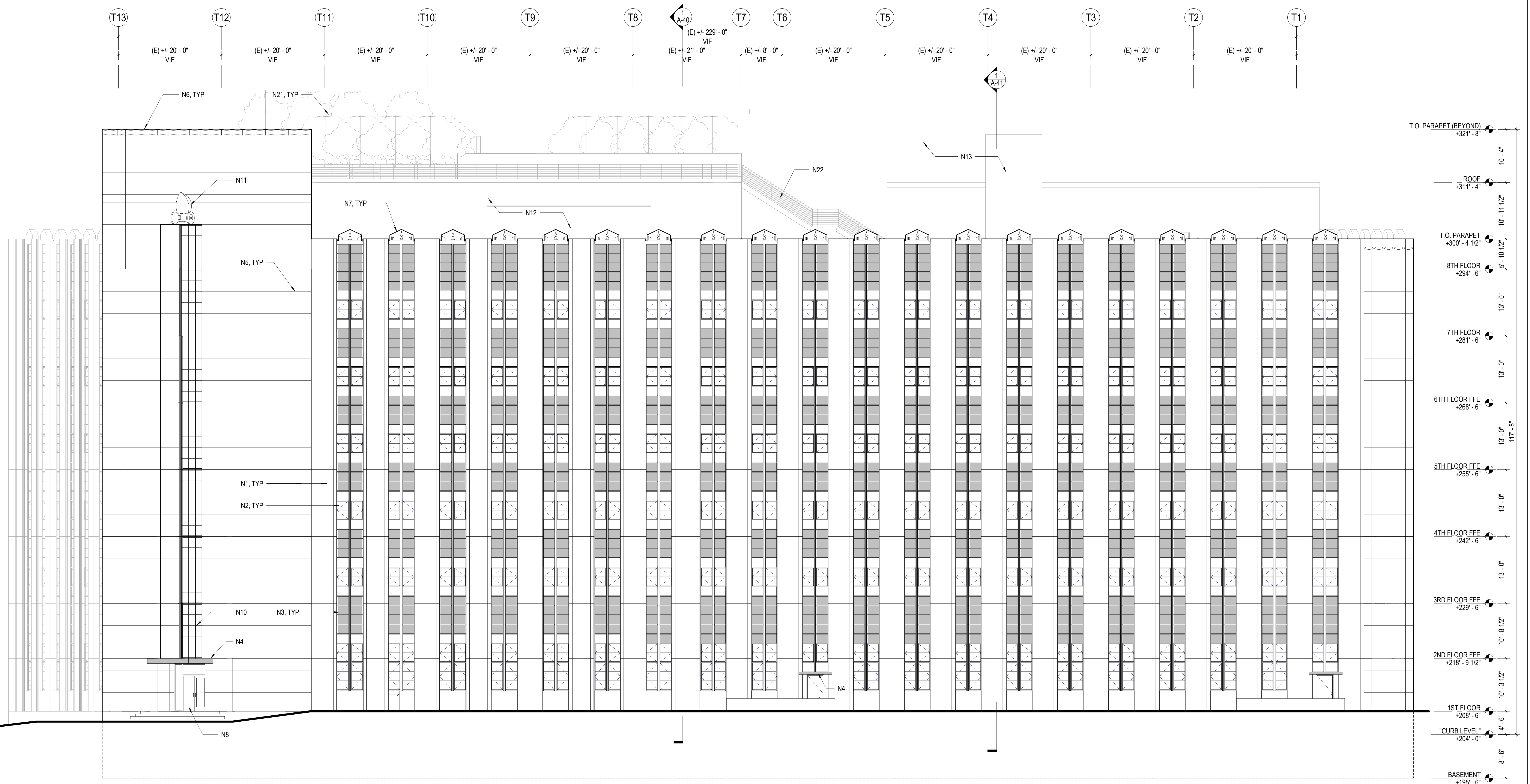


EXISTING TOWER SOUTH ELEVATION
1/8" = 1'-0"

1

NOTES

- | | | |
|---|---|---|
| N1. CLEAN, REPAIR AND REPAINT (E) SMOOTH STUCCO FINISH | N9. NOT USED | N19. (N) ENTRY CANOPY AT OFFICE ENTRANCE |
| N2. (E) MULTI-LIGHT CASEMENT WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECAULKED AND REPAINTED AS REQUIRED | N10. CLEAN AND REPAIR (E) METAL SCREEN AS REQUIRED | N20. (N) STEEL DOORS WITH GLAZING |
| N3. (E) MULTI-LIGHT FIXED STEEL WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECAULKED AND REPAINTED AS REQUIRED | N11. (E) SCROLL DETAIL TO BE REFURBISHED | N21. (N) LANDSCAPE AT ROOF LEVEL |
| N4. (E) ENTRY CANOPY TO BE REFURBISHED | N12. PENTHOUSE LEVEL BEYOND | N22. (N) EXTERIOR STEEL STAIR AND GUARDRAIL |
| N5. CLEAN AND REPAIR (E) HORIZONTAL STUCCO DETAILS AS REQUIRED | N13. ROOF LEVEL BEYOND | N23. (N) METAL FASCIA AT PROJECTION |
| N6. TOP OF (E) PARAPET AND (E) SCALLOPED CORNICE TO BE REFURBISHED | N14. (N) OPERABLE STEEL WINDOW SYSTEM | N24. (N) STEEL CASEMENT WINDOW |
| N7. (E) DECORATIVE CORNICE AND POINTED FINIALS TO BE REFURBISHED | N15. (N) STEEL STOREFRONT SYSTEM AT TERRACE | N25. 42" HIGH FIXED WINDOW |
| N8. CLEAN AND REPAIR (E) ENTRY STOREFRONT AS REQUIRED | N16. (N) 42" H PAINTED STEEL GUARDRAIL AT TERRACE | |
| | N17. (N) 12" CONCRETE SLAB PROJECTION AT TERRACE | |
| | N18. (N) STEEL STOREFRONT SYSTEM AT OFFICE ENTRANCE | |



EXISTING TOWER WEST ELEVATION
1/8" = 1'-0"

1

NOTES

- | | | |
|---|---|---|
| N1. CLEAN, REPAIR AND REPAINT (E) SMOOTH STUCCO FINISH | N9. NOT USED | N19. (N) ENTRY CANOPY AT OFFICE ENTRANCE |
| N2. (E) MULTI-LIGHT CASEMENT WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECAULKED AND REPAINTED AS REQUIRED | N10. CLEAN AND REPAIR (E) METAL SCREEN AS REQUIRED | N20. (N) STEEL DOORS WITH GLAZING |
| N3. (E) MULTI-LIGHT FIXED STEEL WINDOWS TO BE RETAINED, REPAIRED, REGLAZED, RECAULKED AND REPAINTED AS REQUIRED | N11. (E) SCROLL DETAIL TO BE REFURBISHED | N21. (N) LANDSCAPE AT ROOF LEVEL |
| N4. (E) ENTRY CANOPY TO BE REFURBISHED | N12. PENTHOUSE LEVEL BEYOND | N22. (N) EXTERIOR STEEL STAIR AND GUARDRAIL |
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DEPARTMENT OF
CITY PLANNING
COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

- SAMANTHA MILLMAN
PRESIDENT
- CAROLINE CHOE
VICE-PRESIDENT
- HELEN LEUNG
- KAREN MACK
- DANA M. PERLMAN
- YVETTE LOPEZ-LEDESMA
- JENNA HORNSTOCK
- RENEE DAKE WILSON
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- SHANA M.M. BONSTIN
DEPUTY DIRECTOR
- ARTHI L. VARMA, AICP
DEPUTY DIRECTOR
- LISA M. WEBBER, AICP
DEPUTY DIRECTOR

Filing Notification and Distribution

Tract Map No. VTT-73895
Tract Map Date: July 30, 2021
Property Address: 4680 W Wilshire Blvd
Community Plan: Wilshire

Distribution Date: September 22, 2021

Case Filing Date: October 23, 2015

COUNCIL DISTRICT NO. 4

Hillside Yes No

Neighborhood Council District:

Greater Wilshire

Bureau of Engineering

Bureau of Sanitation

Dept. of Building and Safety - Grading

St. Services / Investigation & Enforcement-(haul routes - email ONLY: bss.haulroute@lacity.org)

Dept. of Building and Safety – Zoning

Urban Forestry / Land Development Section

Dept. of Transportation

Housing Department (No P.S.)

DWP Real Estate

Board of Education/Environmental Health & Safety (No P.S.)

DWP Water Distribution Engineering

Board of Education/Transportation (No P.S.)

Dept. of Fire, Engineering and Hydrant Unit

County Health Department (No P.S.)

Bureau of Street Lighting

GIS (Final Map & LOD)

Animal Regulation (Hillside-ONLY)

Department of Recreation and Parks

DATE DUE: UPON RECEIPT

Please send your reports to the following e-mail address: planning.central@lacity.org. Thank you.

Pursuant to Sections 17.50 through 17.60 of the Los Angeles Municipal Code, the attached tentative tract map is submitted for your consideration. The Advisory Agency will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

VINCENT P. BERTONI, AICP
Advisory Agency

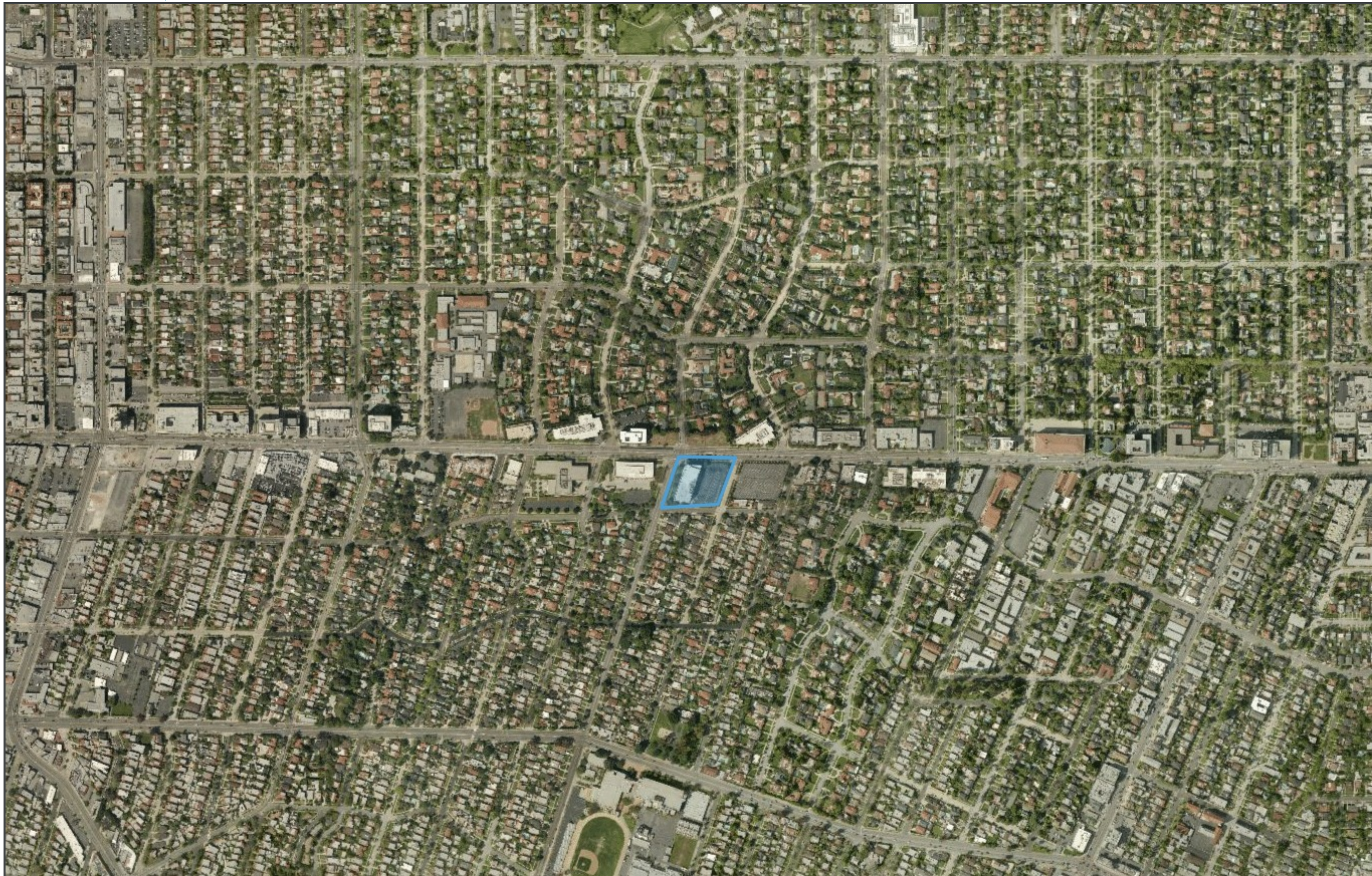
DEBORAH KAHEN
Deputy Advisory Agency
200 N. Spring Street, Room 621



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM



Aerial View of the Project Site



LEGEND

- City Limits

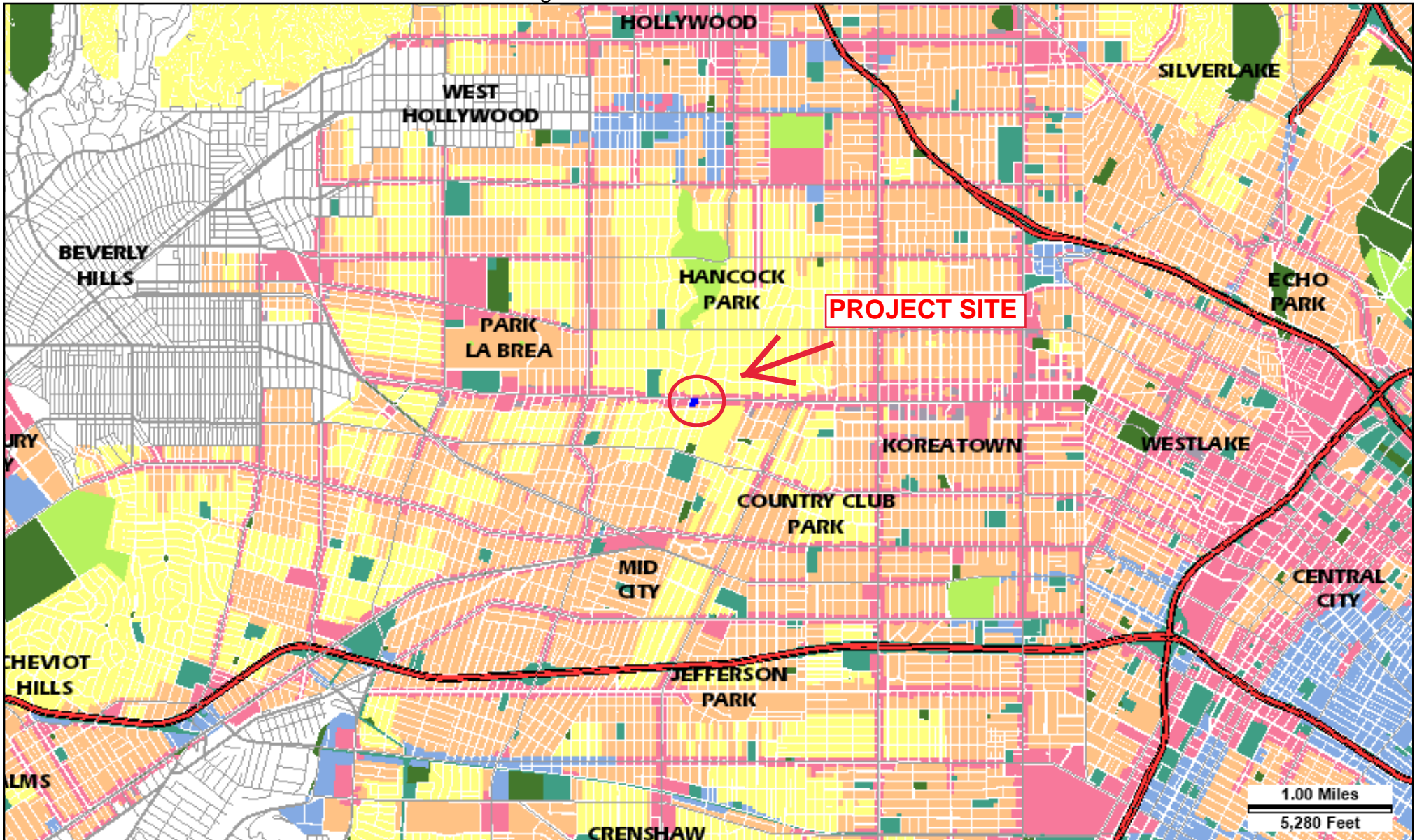
NOTES

0 0 Miles 0 0

SCALE 1: 9,028

Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

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Printed: 10/14/2021



Address: 4680 W WILSHIRE BLVD

APN: 5090009020

PIN #: 132B185 29

Tract: TR 3912

Block: None

Lot: 1

Arb: None

Zoning: CR(PKM)-1

General Plan: General Commercial

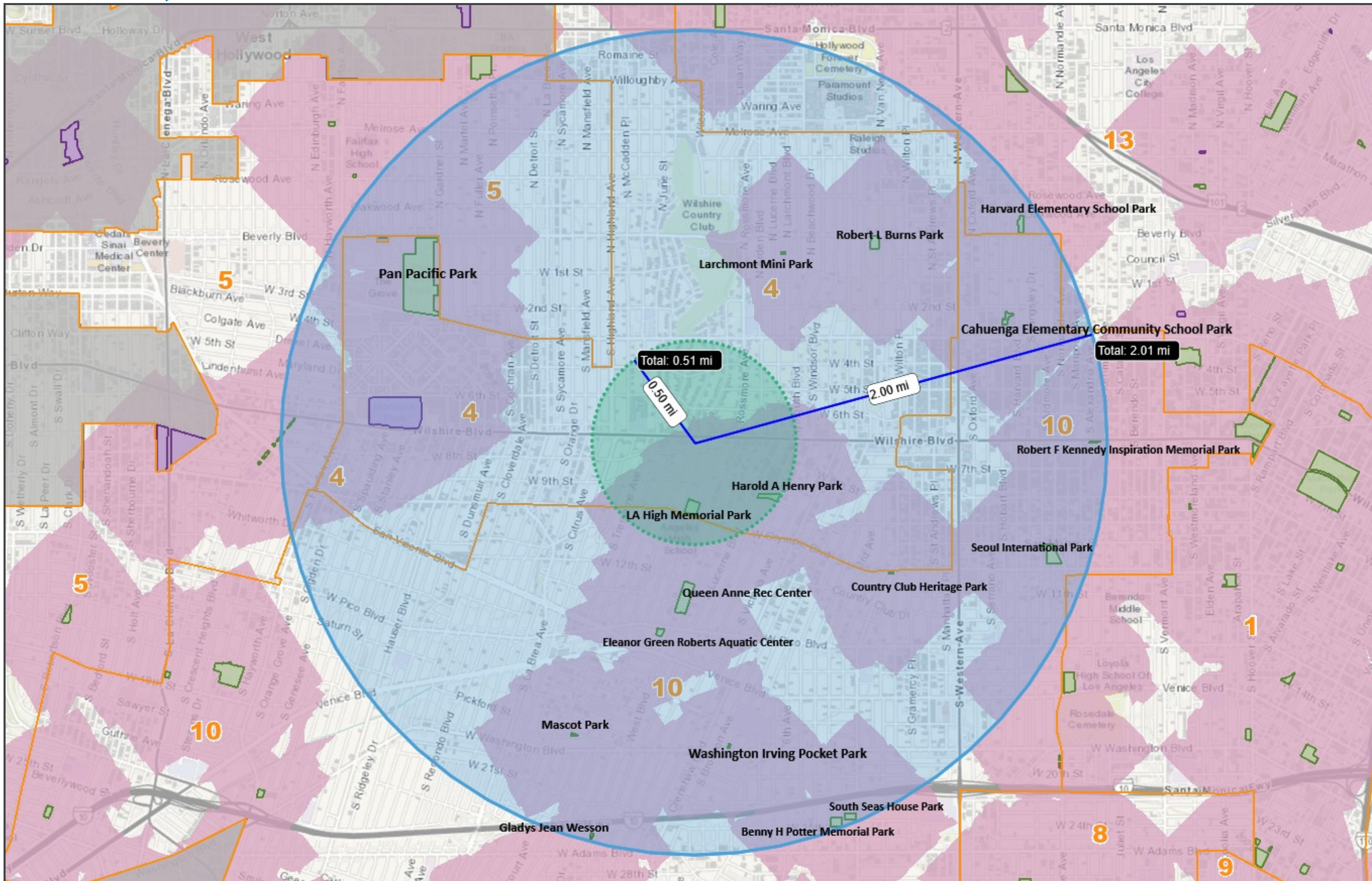




EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM



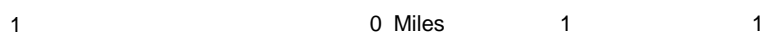
Project Site and Surrounding Parks



LEGEND

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- Future Parks
- City Limits
- All Improved Service Areas

NOTES



SCALE 1: 36,112

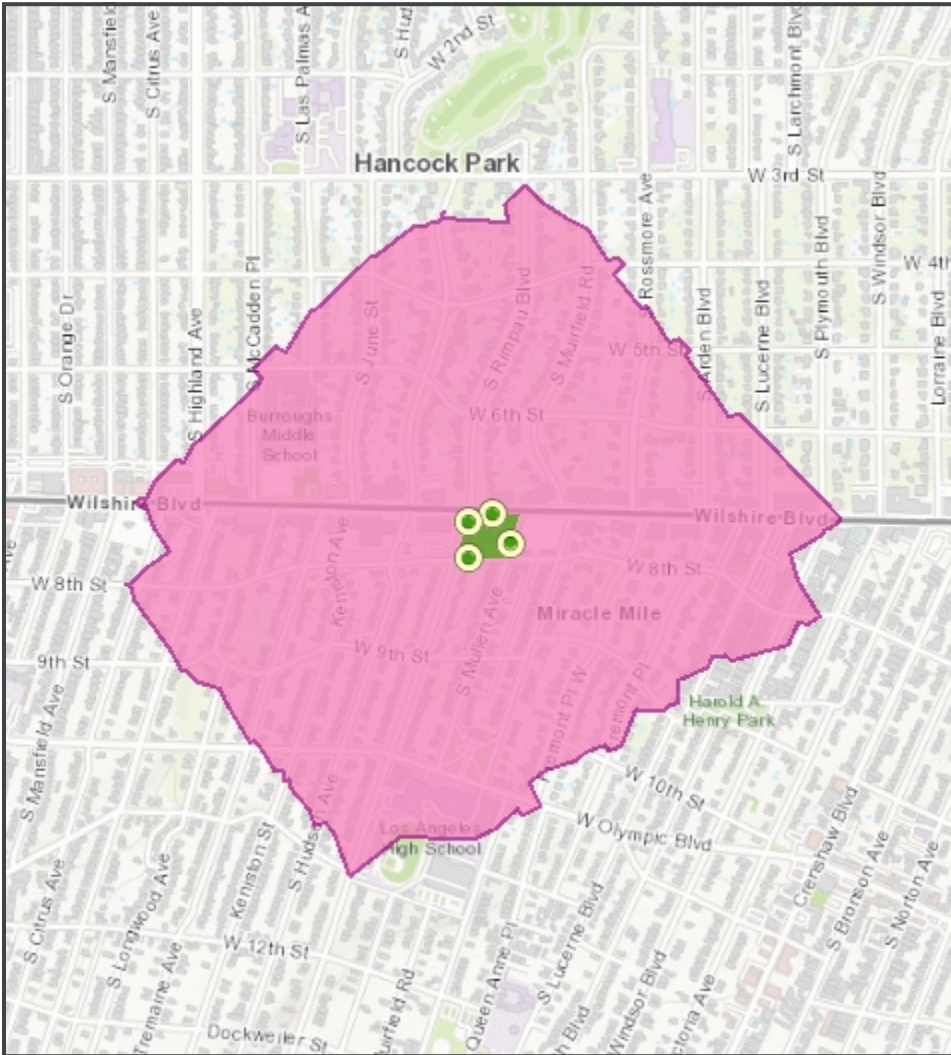
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EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

Park Analysis Report



Scenario Information

Scenario Name:

4680 W. Wilshire Boulevard

Description:

Adaptive reuse of a portion of an existing office building into 65 residential condominiums. Existing office space is to remain as 1 commercial condominium.

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset*:

All Parks (RAP and Non-RAP)

*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

Population and Age Breakdown

Household and Income Breakdown

	Total Residents Served:	Currently Non-Served Residents Served:
Residents Served:	3,108	830
Residents Served by Age		
Under Age 5:	176	47
Age 5 to 9:	170	66
Age 10 to 14:	186	66
Age 15 to 17:	91	35
Age 18 to 64:	1,992	474
Age 65 and Over:	493	142

	Total Households Served:	Currently Non-Served Households Served:
Households Served:	1,159	281
Households Served by Annual Income		
Under \$25,000:	85	22
\$25,000 to \$34,999:	67	2
\$35,000 to \$49,999:	56	1
\$50,000 to \$74,999:	223	34
\$75,000 and Over:	728	222

Source: Census/ACS 2010